

AGENDA

Lexington Planning Board

Thursday, April 17, 2025

Remote on Zoom: [https://www.lexingtonma.gov/377/Access-](https://www.lexingtonma.gov/377/Access-Virtual-Meetings)

Virtual-Meetings

6:00 PM

Development Administration

1. **162 Bedford Street & 5 Reed Street - Preliminary Subdivision**
Public meeting for a preliminary subdivision to create 3 lots. **Applicant has requested a continuance to May 7, 2025.**
2. **450 Marrett Road - Preliminary Subdivision**
Public meeting for a preliminary subdivision to divide the property into 2 lots. **Applicant has requested a continuance to May 7, 2025.**
3. **7 Hartwell Avenue - Continued public hearing**
Continued public hearing for a major site plan review for a multi-family proposal in the village high rise overlay district (continued from 1/30 & 3/12). Board will deliberate and vote on the application.
4. **16 Clarke Street - Preliminary Subdivision**
Public meeting for a preliminary subdivision to divide the property into 3 lots on a cul-de-sac.
5. **329 Massachusetts Avenue - Preliminary Subdivision**
Public meeting for a preliminary subdivision to divide the property into 2 lots.
6. **125 Hartwell Avenue - Preliminary Subdivision**
Public meeting for a preliminary subdivision to divide the property into 3 lots on a cul-de-sac.
7. **473 & 477 Lowell Street - ANR (Approval Not Required)**
Approval Not Required (ANR) Plan to reconfigure side lot lines at 473 Lowell Street and 477 Lowell Street, also known as Map 54, Lots 146 & 145.
8. **185, 187-189 Bedford Street - ANR (Approval Not Required)**

Approval Not Required (ANR) Plan to combine the two lots at 185 Bedford Street and 187-189 Bedford Street, also known as Map 64, Lots 72 and 73A.

Board Administration

- 1. Board Member & Staff Updates**
- 2. Review of Draft Meeting Minutes: 3/12 & 3/27/25**
Review and vote on draft meeting minutes for the March 12 and March 27, 2025 meetings.
- 3. Upcoming Meetings**
Review upcoming meeting schedule: Wednesdays 5/7, 5/28, 6/11, 6/25, and 7/16.

Adjourn

- 1. Adjourn – The meeting will continue until all items are finished. The estimated adjournment time is 9:30 pm.**
The meeting will continue until all items are finished. The estimated adjournment time is 9:30 pm.

Zoom Meeting Details

- 1. Zoom Details - <https://www.lexingtonma.gov/377/Access-Virtual-Meetings>**
Topic: Planning Board Meeting
Time: Apr 17, 2025 06:00 PM Eastern Time (US and Canada)
Join Zoom Meeting
[https://lexingtonma.zoom.us/j/82672499911?](https://lexingtonma.zoom.us/j/82672499911?pwd=BCctYjNFUJP4J6uneEbckbG797azqC.1)
[pwd=BCctYjNFUJP4J6uneEbckbG797azqC.1](https://lexingtonma.zoom.us/j/82672499911?pwd=BCctYjNFUJP4J6uneEbckbG797azqC.1)

Meeting ID: 826 7249 9911

Passcode: 879938



Meeting broadcast by LexMedia

AGENDA ITEM SUMMARY

LEXINGTON PLANNING BOARD

AGENDA ITEM TITLE:

162 Bedford Street & 5 Reed Street - Preliminary Subdivision

PRESENTER:

ITEM NUMBER:

SUMMARY:

Application of Bob Phelan, for approval of a preliminary subdivision plan under §175-5.0 of the Planning Board's Subdivision Regulations. Application proposes subdividing property into 3 lots. The properties are located at 162 Bedford Street and 5 Reed Street, Lexington, MA also known as Map 64, Lot 65 and 66 in the CN (Neighborhood Business), RS (One Family Dwelling) and VO (Village Overlay) zoning districts. Application materials may be viewed online at <https://lexingtonma.portal.opengov.com/records/102143>. Staff recommends accepting the applicant's continuance request to the May 7 meeting without discussion.

SUGGESTED MOTION:

Move to accept the Applicant's request to continue the public hearing for the proposal at 162 Bedford Street and 5 Reed Street to **Wednesday, May 7, 2025** at or after 6:00 pm on Zoom.

Move to accept the Applicant's request to extend the final action deadline to June 1, 2025.

FOLLOW-UP:

DATE AND APPROXIMATE TIME ON AGENDA:

4/17/2025

ATTACHMENTS:

Description	Type
☐ Continuance Request 162 Bedford Street	Cover Memo



Town of Lexington
PLANNING BOARD
1625 Massachusetts Avenue
Lexington, MA 02420
Tel (781) 698-4560
planning@lexingtonma.gov
www.lexingtonma.gov/planning

Michael Schanbacher, Chair
Robert Creech, Vice Chair
Melanie Thompson, Clerk
Charles Hornig, Member
Tina McBride, Member
Michael Leon, Associate Member

RECEIVED

11:38 am, Apr 10 2025

Date: April 9, 2025

Lexington Planning Board

TOWN CLERK

LEXINGTON MA

Re: Request for Continuance/Extension of Constructive Approval Date:

Project Address: 162 Bedford Street (Map 64, Block 66) and 5 Reed Street (Map 64, Block 65)

To the Lexington Planning Board:

I am hereby requesting that the public discussion of the preliminary subdivision plan application submitted on March 6, 2025, be held on **May 7, 2025**. I hereby agree to this continuance and further agree to extend any public hearing and action deadlines as follows to allow more time to update plans to submit requested material.

Currently Scheduled Meeting Date: April 17, 2025

Decision deadline date: Original deadline is April 21, 2025. **Applicant hereby agrees to extend the deadline to June 1, 2025.**

Respectfully,

Jonathan M. Silverstein
Signature

Print Name: Jonathan Silverstein, attorney for the applicant

AGENDA ITEM SUMMARY

LEXINGTON PLANNING BOARD

AGENDA ITEM TITLE:

450 Marrett Road - Preliminary Subdivision

PRESENTER:

Board Discussion

ITEM NUMBER:

SUMMARY:

The Planning Board will hold a virtual public meeting on the application of Tara Curtin, for approval of a preliminary subdivision plan under §175-5.0 of the Planning Board's Subdivision Regulations. Application proposes subdividing property into 2 lots.

The property is located at 450 Marrett Road, Lexington, MA also known as Map 33, Lot 83 in the RS (One Family Dwelling) and VO (Village Overlay) zoning districts.

Application materials may be viewed online at <https://lexingtonma.portal.opengov.com/records/102244>.

Staff recommends accepting the applicant's continuance request without discussion

SUGGESTED MOTION:

Move to accept the Applicant's request to continue the public hearing for the proposal at 450 Marrett Road to **Wednesday, May 7, 2025** at or after 6:00 pm on Zoom.

Move to accept the Applicant's request to extend the final action deadline to June 1, 2025.

FOLLOW-UP:

DATE AND APPROXIMATE TIME ON AGENDA:

4/17/2025

ATTACHMENTS:

Description	Type
☐ Continuance request - 450 Marrett Road	Cover Memo



Town of Lexington
PLANNING BOARD
1625 Massachusetts Avenue
Lexington, MA 02420
Tel (781) 698-4560
planning@lexingtonma.gov
www.lexingtonma.gov/planning

Michael Schanbacher, Chair
Robert Creech, Vice Chair
Melanie Thompson, Clerk
Charles Hornig, Member
Tina McBride, Member
Michael Leon, Associate Member

RECEIVED

11:36 am, Apr 10 2025

**TOWN CLERK
LEXINGTON MA**

Date: April 9, 2025

Lexington Planning Board

Re: Request for Continuance/Extension of Constructive Approval Date:

Project Address: 450 Marrett Road (Map 33, Parcel 83)

To the Lexington Planning Board:

I am hereby requesting that the public discussion of the preliminary subdivision plan application submitted on March 6, 2025, be held on **May 7, 2025**. I hereby agree to this continuance and further agree to extend any public hearing and action deadlines as follows to allow more time to update plans to submit requested material.

Currently Scheduled Meeting Date: April 17, 2025

Decision deadline date: Original deadline is April 21, 2025. **Applicant hereby agrees to extend the deadline to June 1, 2025.**

Respectfully,

Jonathan M. Silverstein
Signature

Print Name: Jonathan Silverstein, attorney for the applicant

AGENDA ITEM SUMMARY

LEXINGTON PLANNING BOARD

AGENDA ITEM TITLE:

7 Hartwell Avenue - Continued public hearing

PRESENTER:

Applicant: Dinosaur Capital Partners
LLC

ITEM NUMBER:

SUMMARY:

The Planning Board will re-open the continued public hearing on the application of Dinosaur Capital Partners LLC, for a major site plan review under §135-7.5 [Village & Multi-Family Overlay Districts] and 9.5 [Site Plan Review] of the Zoning Bylaw and Article VI of §181-71 Stormwater Management Regulations. Proposal also requests a special permit, pursuant to Section 5.1.14 and 5.1 [Off-Street Parking and Loading]. Application is to construct a 130-unit multifamily property in a five-story building with a small café, indoor bicycle parking spaces and outdoor visitor bicycle parking spaces, underground and surface automobile parking spaces, communal tenant amenities, and improved site amenities.

The property is located at 7 Hartwell Avenue, Lexington, MA also known as Map 84, Lot 81 in the CM (Manufacturing) and VHO (Village High- Rise Overlay) zoning districts.

Application materials may be viewed on the Planning Board's webpage under Current Projects at (Click files tab): <https://lexingtonma.portal.opengov.com/records/99194>

A staff memo and peer review memo are attached.

The Applicant will present updates since the last meeting, staff and peer review consultant will give an update, and board members will discuss and ask questions. The Chair will then open the hearing up to public comments. After public comments the Board will return to discussion among board members. Staff recommends approval and will prepare a draft approval decision with conditions for the Board's review.

SUGGESTED MOTION:

Move to close the public hearing for the site plan review and special permit application for 7 Hartwell Avenue.

Waivers:

1) Move to grant a partial waiver of the Tree Bylaw because the project's tree removal on the property is best mitigated with the proposed landscape planting plan that meets the tree replacement requirements on the project site and with a condition of approval requiring a tree protection plan prepared by a certified arborist.

2) Move to waive the strict requirements of §176-12.4.2.7 requiring each bicycle parking space to be at least 6 ft. x 2 ft. The Board finds this proposal meets the intent and purposes of this requirement by providing easy

access in a double rack system.

3) Move to waive the strict requirements of §176-12.4.2.9 prohibiting bicycle parking from being lifted off the floor. The Board finds this proposal is acceptable to meet the intent and purposes of this requirement by providing easy access for bicycle storage with 64 of the 195 bicycle spaces in a lift assisted system.

Special Permit:

Move to grant the special permit from Section 5.1.11.3 to allow the driveway, maneuvering aisle, and some parking spaces within 25 ft. of the unbuilt portion of Westview Street.

Site Plan Review & Stormwater Permit:

Move to approve the proposal submitted by Dinosaur Capital Partners LLC at 7 Hartwell Avenue with the findings and conditions included in the draft approval decision prepared by staff and the 69 conditions as may be modified this evening.

Move to have the Chair sign the decision and correct any non-substantive changes such as grammar, typos, and for consistency.

FOLLOW-UP:

DATE AND APPROXIMATE TIME ON AGENDA:

4/17/2025

ATTACHMENTS:

Description	Type
☐ Peer Review Memo 4.11.25	Cover Memo
☐ Staff Memo 4.11.25	Cover Memo

HANCOCK ASSOCIATES

Surveyors | Engineers | Scientists

April 11, 2025

Lexington Planning Board
c/o Abbigail McCabe, Planning Director
1625 Massachusetts Avenue
Lexington, MA 02420

Subject: Planning Board Project No. PLAN-24-26
7 Hartwell Avenue, Lexington, MA
Peer Review Letter #3

Dear Chair Schanbacher and Board Members,

Hancock Survey Associates, Inc. (Hancock) has received and reviewed the Nitsch response letter, dated 4/2/25, as well as the revised site plan submission in support of the Site Plan Review and Special Permit application filed by Dinosaur Capital Partners LLC for a proposed development at 7 Hartwell Avenue.

Hancock received and reviewed the following documents and plans:

1. A Site Plan Review plan set entitled, "7 Hartwell; Lexington, MA; Dinosaur Capital Partners; Site Plan Review 04/02/2025," prepared by Nitsch Engineering, revised 4/2/2025;
2. A stormwater report entitled "Stormwater Report; 7 Hartwell Avenue Housing Development," prepared for Dinosaur Capital Partners, LLC, prepared by Nitsch Engineering, revised April 2, 2025;
3. A report entitled "Long-Term Pollution Prevention Plan and Stormwater Operation and Maintenance Plan; 7 Hartwell Avenue Housing Development," prepared for Dinosaur Capital Partners, LLC, prepared by Nitsch Engineering, revised February 19th, 2025;
4. A report entitled "DRAFT Stormwater Pollution Prevention Plan (SWPPP)," prepared for Dinosaur Capital Partners, LLC, prepared by Nitsch Engineering, dated 11/25/2024; and
5. A **response to comments** memorandum entitled "Planning Board Project No. PLAN 24-26; 7 Hartwell Avenue, Lexington, MA," prepared by Nitsch Engineering, dated April 2, 2025.

The Hancock comments from the Peer Review Letter #2 with Nitsch responses are reproduced below in their entirety.

**LGB CH. 130, WETLAND PROTECTION &
RULES ADOPTED BY LEXINGTON CONSERVATION COMMISSION**

SECTION 5. Performance Standards

Per Standard (2), calculated runoff volumes shall be rounded to the nearest 1 cubic foot.

7. Runoff volumes in the stormwater report (Table 4) and the HydroCAD results should be revised from acre-feet to cubic feet.

Nitsch 2/10/25: Noted; this has been updated.

Hancock 3/4/25: The HydroCAD summary for “EXISTING – open space” still lists runoff volumes in acre-feet. However, Table 4 of the stormwater report lists the existing runoff volumes in cubic feet. These values are equal. ITEM CLOSED.

Nitsch 4/2/25: Noted.

Hancock: ITEM CLOSED.

CIVIL PLAN SET COMMENTS

Sheet C-400

17. CB-106 appears unnecessary, as surface grading slopes away from the catch basin. Revise as needed.

Nitsch 2/10/25: This condition has been revised.

Hancock: Shift the proposed trench drain away from the property line, offsetting the expansion joint to the property line by at least one foot.

Nitsch 4/2/25: Noted – the trench drain has been shifted as requested.

Hancock: ITEM CLOSED.

Sheet C-704

29. In WATER QUALITY STRUCTURE DETAIL, revise peak flow rate for WQS#302 to 0.63 to agree with Link Summary in stormwater report.

Nitsch 2/10/25: The table has been updated.

Hancock: Revise peak flow rate for WQS#301 to 1.72 to agree with Link Summary.

Nitsch 4/2/25: Noted – this has been updated.

Hancock: ITEM CLOSED.

Sheet C-705

30. Add inlet and outlet inverts to OUTLET CONTROL STRUCTURE details. Add 2” plugged orifice in weir plate for OCS-1 at an elevation below invert (for potential future maintenance of chambers).

Nitsch 2/10/25: Inverts and the plugged orifice have been added to each detail.

Hancock: OCS-2 outlet pipe is higher than inlet pipe due to lack of invert information at the stormwater main in Hartwell Avenue. Hancock recommends adding a note to

C-400: "CONTRACTOR TO VERIFY DRAIN MANHOLE INVERT AND NOTIFY DESIGN ENGINEER. DRAINPIPE FROM OCS-2 AND DMH-207 TO EXISTING DRAIN MANHOLE TO BE LOWERED, IF POSSIBLE, TO ALLOW SUBSURFACE INFILTRATION SYSTEM #2 TO DRAIN COMPLETELY FOR MAINTENANCE." Add note to C-705 OUTLET CONTROL STRUCTURE #2 detail that the orifice is contingent on outlet pipe being lowered.

Nitsch 4/2/25: Noted – these notes have been added to the plans.

Hancock: ITEM CLOSED.

**STORMWATER REPORT COMMENTS &
MASSDEP STORMWATER MANAGEMENT STANDARDS**

Appendix H

47. Remove the first two pages.

Nitsch 2/10/25: Please clarify what is to be removed – the first two pages are our phosphorus and TSS removal calculations.

Hancock: The 12/10/2024 stormwater report had two instruction sheets appended immediately after the "Appendix H" sheet and before the Phosphorus Removal Calculations sheets. These have been removed from the revised report. ITEM CLOSED.

Nitsch 4/2/25: Noted – these notes have been added to the plans.

Hancock: ITEM CLOSED.

NEW NOTE 48. It appears the building corner is directly on the 50'-radius right-of-way line at the intersection. This would put the building foundation footing within the right-of-way. Hancock recommends the applicant and architect review the building location and projection as well as the constructability of keeping the footing outside the right-of-way line.

Nitsch 4/2/25: The foundation at the corner will be designed asymmetrically so that it does not extend over the property line.

Hancock: ITEM CLOSED.

All outstanding comments have been addressed. Please do not hesitate to contact our office should you have any questions or concerns.

Regards,
Hancock Associates

Brian G. Geaudreau, PE
Sr. Associate & Project Manager

Robert M. DiBenedetto, PE
Project Engineer



TOWN OF LEXINGTON
PLANNING OFFICE

1625 Massachusetts Avenue
Lexington, Massachusetts 02420
Tel: 781-698-4560
planning@lexingtonma.gov
www.lexingtonma.gov/planning

Abby McCabe, Planning
Director
Meghan McNamara,
Assistant Director
Aaron Koepper, Planner
Carolyn Morrison, Planning
Coordinator



To: Lexington Planning Board

From: Meghan McNamara, Assistant Planning Director

Re: Site Plan Review and Special Permit for 7 Hartwell Ave.; Village High-Rise Overlay District

Date: April 11, 2025 (Memo #3)

Staff confirm that the proposal is in compliance with the Zoning Bylaw and Planning Board Zoning Regulations. Applicant is requesting one (1) Special Permit and two (2) waivers as noted below and supported by staff. Staff recommend the Planning Board vote to close the public hearing and vote to issue a favorable decision with conditions. Staff recommend partial waiver of the Tree Bylaw for the protected trees removed on the project site and no separate tree permit to be required for the onsite protected trees.

The Applicant submitted a Request for Determination of Applicability (RDA) to the Conservation Commission for review and approval of the proposed connection to the town drainage system. The hearing was opened on February 3, 2025, continued to the March 24, 2025 meeting and further continued to April 25, 2025 without discussion. It is staff's understanding that the Conservation Commission will close its hearing after the Planning Board hearing closes.

Peer review letter #3 from Brian Geaudreau, Hancock Associates, dated April 11, 2025 is provided under separate cover and reviews the site stormwater and utility plans under the local and state stormwater regulations as well as the Conservation Commission Performance Standards 5(2) and 5(6). All peer review comments to date have been addressed and there are no outstanding comments. The Conservation Commission hearing is scheduled for April 29.

On March 26, 2025 the project team met with Don Chisholm, Asst. Fire Chief, to discuss fire truck maneuvering on the site. The proposed site layout accommodates a fire truck entering from Hartwell and exiting onto Westview Street, and a fire truck entering from Westview Street and exiting onto Westview Street. There are no outstanding comments from the Fire Department.

Applicant was able to eliminate the need for a Special Permit from 5.1.11.3 of the Zoning Bylaw by redesigning the garage entrance to be flush with the southwest wall. This redesign has increased the size of the resident courtyard area above.

Staff requests the Applicant provide a one-time contribution to the Hartwell Transportation Demand Management Overlay District (TMO-1) Stabilization fund to support transportation related capital projects in the Hartwell area. Applicant has also committed to providing a site transportation coordinator, long- and short-term bicycle parking, and a bus shelter at the corner of Westview and Hartwell.

In response to a comment made during the previous meeting, the Applicant confirms that the percentage of balconies on the inclusionary dwelling units (40% or 8 units) is proportional to the percentage of market-rate units with balconies (40%).

Staff Comments:

- Applicant is continuing to work with the Engineering Department and it’s hired outside consultant to review proposed water and sewer calculations. It’s unlikely that any analysis will be complete prior to Planning Board closing it’s hearing, however Engineering staff don’t anticipate any impacts to existing services based on recent analyses performed at 17 Hartwell Ave. Applicant will be responsible for filing and receiving approval from state and local officials for all utility connections and be responsible for any required mitigation.
- A zero-foot setback is permitted on all sides of the property. The proposal complies, however Applicant will need to seek approval from the Select Board for the installation of a bus shelter, new concrete sidewalk, tree plantings, removal of the guardrail, and retaining walls within the ROW.
- Applicant has provided an Average Natural Grade (ANG) worksheet and Height Calculation Form signed by the land surveyor. The site’s ANG using 13 points is 141.44, measuring the proposed building height at 67.26 feet. The maximum allowed height is 70 feet.

Proposed Unit Count:

Unit-Type	Total Number	Market Rate	IDU/Affordable	Bedroom Count	Avg. Unit Size (SF)	% of Total
Studio	10	8	2	10	500	7.7%
Jr. 1 Bedroom	18	15	3	18	625	13.8%
1 Bedroom	44	38	8	44	660	33.8%
1+ Bedroom	18	15	1	18	800	13.8%
2 Bedroom	26	22	4	52	960	20%
3 Bedroom	14	12	2	42	1,065	10.8%

Vehicle and Bicycle Parking:

Vehicle Parking	Amount Required	Provided	Notes
Residential Vehicle Parking	1 car per unit	130	130 (90-garage, 40-surface)
Commercial Vehicle Parking	1 per 5 seats, or 1 per 200 SF, whichever is greater	2	2 dedicated surface spaces
Residential Long-Term Bike Parking	1.5 per unit	195	195
Residential Short-Term Bike Parking	0.1 per unit	13	14
EV Vehicle Charging (Garage)	Min 4%	4	4
EV Vehicle Charging (Surface Lot)	Min 4%	2	2

Special Permits Required/Requested:

§135-5.1 and 9.4 of the Zoning Bylaw: Parking spaces and drive aisle within 25 feet of street line for parking within the Westview right-of-way out paper road layout. Staff support the Applicant’s request due to the irregular shape of the lot, the fact that it is surrounded by street lines on all sides, and Westview Street, in staff’s opinion, is unlikely to be built out.

Waivers Required/Requested:

12.4.2.9 of the Planning Board Zoning Regulations: parking shall not require lifting bicycles off the floor or carrying bicycles up or down stairs. Staff support this waiver request because 67% (131) of the long-term bike spaces are at-grade and the remaining 33% (64) are in the ‘Dero Decker’ lift-assist rack system

12.4.2.7 of the Planning Board Zoning Regulations: each bicycle parking spaces shall be at least six feet by two feet. This is not met for 33% of bikes in the lift-assist rack. Applicant proposes 4 oversized spaces (3’x10’)

Landscaping & Tree Removal:

- Applicant proposes the removal of 13 trees (totaling 148 DBH inches removed) within the town right-of-way along Hartwell Ave and Westview St. Removal of public shade trees requires an application and a public hearing with the Tree Warden, pursuant to §120-7. Staff recommends any trees that are removed be required to be replaced in the Hartwell Ave. right of way.
- Within the setbacks on the property, 50 trees (totaling 634 DBH inches removed) are proposed for removal. This equates to 734 DBH inches required for replanting under the Tree Bylaw for on-site tree removal. Applicant proposes exactly 734 caliper inches for replacement both on site and within the ROW. Per the Tree Bylaw, planting may occur in the Town right-of-way with permission of the Tree Warden.
- Under MA Chapter 87, the street trees may not be removed unless permission is given by the Tree Warden (if there are no objections) or the Select Board (on consideration of any objections), after the public tree hearing. If trees are proposed for removal after that hearing, the applicant shall have the trees appraised by a certified arborist and pay the appraised value of the trees removed to the Tree Fund in accordance with § 120-8C.

Important Dates/Timelines	
Public Meeting	January 30, 2025, continued to March 12, 2025 and further continued to April 17, 2025
Filed with Town Clerk	December 20, 2024
Decision Deadline (150 days)	May 19, 2025

AGENDA ITEM SUMMARY

LEXINGTON PLANNING BOARD

AGENDA ITEM TITLE:

16 Clarke Street - Preliminary Subdivision

PRESENTER:

Applicant: North Shore Residential
Development

ITEM NUMBER:

SUMMARY:

The Planning Board will hold a virtual public meeting on the application of North Shore Residential Development, Inc., for approval of a preliminary subdivision plan under §175-5.0 of the Planning Board's Subdivision Regulations. Application proposes subdividing property into 3 lots on a cul-de-sac. The property is located at 16-16 Clarke Street, Lexington, MA also known as Map 49, Lot 79 in the CB (Central Business) and MFO (Multi-Family Overlay) zoning districts. The property is also in the Battle Green Historic District. Any exterior changes including new construction require review and approval by the Historic District Commission.

Application materials may be viewed online at <https://lexingtonma.portal.opengov.com/records/102157>.

Staff recommends approval with conditions to be incorporated into the definitive subdivision plan submission.

SUGGESTED MOTION:

Staff recommends approval with conditions of items to be incorporated into a definitive subdivision plan submission.

Move to approve the preliminary subdivision plan with conditions for 16 Clarke Street as outlined in the draft approval prepared by staff.

FOLLOW-UP:

DATE AND APPROXIMATE TIME ON AGENDA:

4/17/2025

ATTACHMENTS:

Description

Type

❏ Preliminary Subdivision Plan Set

Exhibit

PRELIMINARY SUBDIVISION PLAN

16 CLARKE STREET
 LOCATED IN
LEXINGTON, MASSACHUSETTS
 (MIDDLESEX COUNTY)
 DATE: MARCH 9, 2025

APPLICANT:
NORTH SHORE RESIDENTIAL DEVELOPMENT, INC
 215 SALEM STREET
 WOBURN, MA 01801
 (781) 932-1776

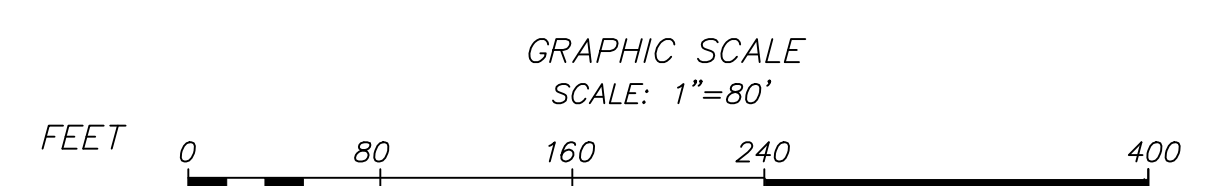
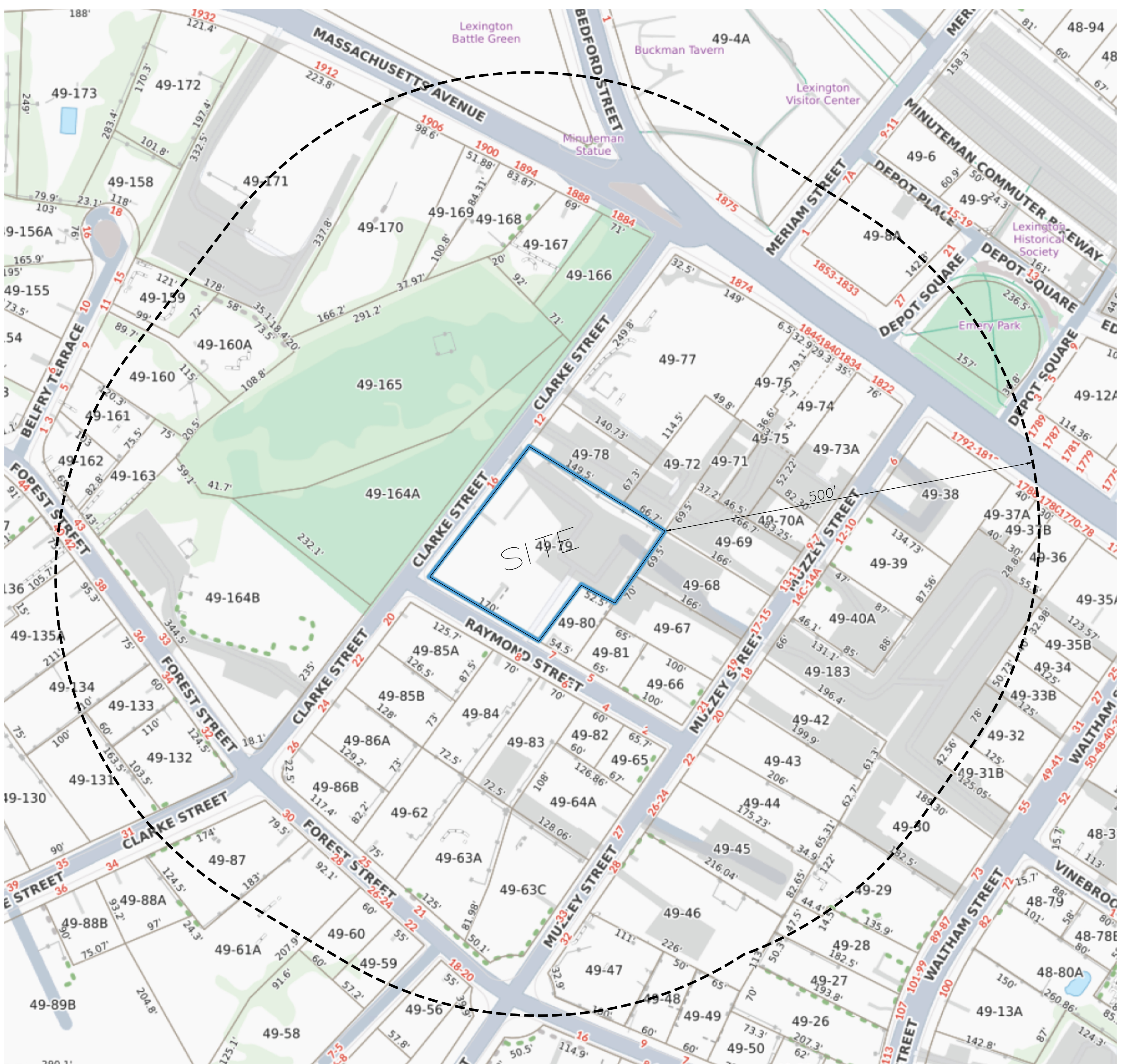
ENGINEER:
SULLIVAN ENGINEERING GROUP, LLC
 P.O. BOX 2004
 WOBURN, MA 01888
 (781) 854-8644

RECORD OWNERS:

ASSESSOR'S MAP 49, LOT 79-1 #16 CLARKE STREET #1 JOHN Q. ZHANG 16 CLARKE STREET LEXINGTON, MA 02421 - DEED BOOK 34105, PAGE No. 339	ASSESSOR'S MAP 49, LOT 79-2 #16 CLARKE STREET #2 YILIN ZHANG, TRUSTEE 16 CLARKE STREET #B2 LEXINGTON, MA 02421 - DEED BOOK 49129, PAGE No. 186	ASSESSOR'S MAP 49, LOT 79-3 #16 CLARKE STREET #3 RICHARD YILIN ZHANG 16 CLARKE STREET LEXINGTON, MA 02421 - DEED BOOK 55523, PAGE No. 367	ASSESSOR'S MAP 49, LOT 79-4 #16 CLARKE STREET #4 RICHARD ZHANG 16 CLARKE STREET #4 LEXINGTON, MA 02421 - DEED BOOK 68874, PAGE No. 496
ASSESSOR'S MAP 49, LOT 79-5 #16 CLARKE STREET #5 B5 LLC 16 CLARKE STREET #13 LEXINGTON, MA 02421 - DEED BOOK 81723, PAGE No. 37	ASSESSOR'S MAP 49, LOT 79-11 #16 CLARKE STREET #11 SAMUEL J. ANDONIAN, TRS. 34 GARLAND ROAD LINCOLN, MA 01773 - DEED BOOK 80304, PAGE No. 121	ASSESSOR'S MAP 49, LOT 79-12 #16 CLARKE STREET #12 ROBERT W. ASTAPOVEH 16 CLARKE STREET #12 LEXINGTON, MA 02421 - DEED BOOK 80602, PAGE No. 134	ASSESSOR'S MAP 49, LOT 79-13 #16 CLARKE STREET #13 TAMAR A. MYERS 16 CLARKE STREET #13 LEXINGTON, MA 02421 - DEED BOOK 44434, PAGE No. 109
ASSESSOR'S MAP 49, LOT 79-14 #16 CLARKE STREET #14 16-14 CLARKE STREET LLC 7 FAIRBANKS ROAD LEXINGTON, MA 02421 - DEED BOOK 71487, PAGE No. 233	ASSESSOR'S MAP 49, LOT 79-15 #16 CLARKE STREET #15 DENTAL MINUTEMAN LLC 16 CLARKE STREET, SUITE 15 LEXINGTON, MA 02421 - DEED BOOK 55959, PAGE No. 530	ASSESSOR'S MAP 49, LOT 79-16 #16 CLARKE STREET #16 ELISHA ADAMS, TRUSTEE 16 CLARKE STREET, UNIT 21 LEXINGTON, MA 02421 - DEED BOOK 52108, PAGE No. 267	ASSESSOR'S MAP 49, LOT 79-21 #16 CLARKE STREET #21 GOLDEN ENTERPRISES, LLC 16 CLARKE STREET, UNIT 21 LEXINGTON, MA 02421 - DEED BOOK 76702, PAGE No. 312
ASSESSOR'S MAP 49, LOT 79-22 #16 CLARKE STREET #22 HANA LAZNICKOVA 32 ROCKMONT ROAD BELMONT, MA 02478 - DEED BOOK 37163, PAGE No. 337	ASSESSOR'S MAP 49, LOT 79-23 #16 CLARKE STREET #23 HEIDI LACK, TR. 16 CLARKE STREET, SUITE 23 LEXINGTON, MA 02421 - DEED BOOK 63446, PAGE No. 531		

SHEET INDEX:

- 1 COVER SHEET & LOCUS MAP
- 2 EXISTING CONDITIONS PLAN
- 3 SITE CONSTRUCTION PLAN
- 4 GEOMETRIC PROOF PLAN
- 5 SITE CONSTRUCTION DETAILS



ZONING:

CB & MULTI-FAMILY OVERLAY DISTRICT

ASSESSOR INFO:

TAX MAP 49 LOT 79

TOWN OF LEXINGTON
PLANNING BOARD

THE ENDORSEMENT OF THIS PLAN IS NOT A DETERMINATION BY THE PLANNING BOARD AS TO COMPLIANCE WITH THE ZONING BY-LAW OF THE TOWN OF LEXINGTON.

APPROVED _____, 20__

FOR REGISTRY OF DEEDS USE ONLY

I DECLARE, TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THAT THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

I CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS PLAN IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY THE SUBDIVISION REGULATIONS AND PROCEDURAL RULES OF THE PLANNING BOARD OF THE TOWN OF LEXINGTON.



JOHN D. SULLIVAN III, P.E. 3-09-2025
DATE

LEGEND:

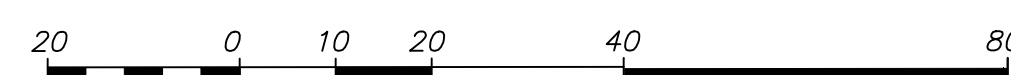
- 167x0 SPOT GRADE
- 167--- 2 FOOT CONTOUR
- DECIDUOUS TREE (> 6" DIA.)
- ⊙ EVERGREEN TREE (> 6" DIA.)
- ⊕ UTILITY POLE
- ⊙ SEWER MANHOLE
- S— SEWER MAIN
- W— COMPILED WATER MAIN
- CB □ CATCHBASIN
- D— DRAIN LINE
- BIT. BITUMINOUS
- CONC. CONCRETE
- EOP EDGE OF PAVEMENT
- TH ⊕ TEST PIT
- WETLAND FLAG
- VGC VERTICAL GRANITE CURB



NOTES:

1. THE TOPOGRAPHY, SITE DETAIL & SURFACE IMPROVEMENTS DEPICTED HEREON WERE OBTAINED FROM PLANS OF RECORD AND THE TOWN GIS SYSTEM.
2. THE LOCUS PROPERTY DEPICTED IS LOCATED IN ZONING DISTRICT CB & MFO
3. THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND ARE BASED UPON A PARTIAL FIELD SURVEY AND COMPILATION OF PLANS OF RECORD. THE DESIGN ENGINEER DOES NOT WARRANT NOR GUARANTEE THE LOCATION OF ALL UTILITIES DEPICTED OR NOT DEPICTED. THE CONTRACTOR, PRIOR TO COMMENCEMENT OF CONSTRUCTION, SHALL VERIFY THE LOCATION OF ALL UTILITIES AND CONTACT DIG SAFE AT 1-888-344-7233.
4. THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT, VISIBLE USES OF THE LAND; HOWEVER, THIS DOES NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.
5. THE ELEVATIONS DEPICTED HEREON WERE BASED UPON THE 1988 NGVD.
6. THE LOCUS PROPERTY IS NOT LOCATED WITHIN A FLOOD ZONE AS DEPICTED ON THE FEET LATEST FLOOD INSURANCE RATE MAP.
7. PROJECT SITE IS NOT HABITAT FOR RARE OR ENDANGERED SPECIES.

GRAPHIC SCALE
SCALE: 1"=20'



REVISIONS

NO.	DATE	DESCRIPTION	BY	CHK'D

PRELIMINARY SUBDIVISION PLAN
16 CLARKE STREET

EXISTING CONDITIONS PLAN
LOCATED IN
LEXINGTON, MASSACHUSETTS
(MIDDLESEX COUNTY)

PREPARED FOR
N.S.R.D.

SCALE: 1"= 20' DATE: MARCH 9, 2025

PREPARED BY
SULLIVAN ENGINEERING GROUP, LLC
P.O. BOX 2004
WOBURN, MA 01888
(781) 854-8644

SHEET No. 2 OF 5



LEGEND:

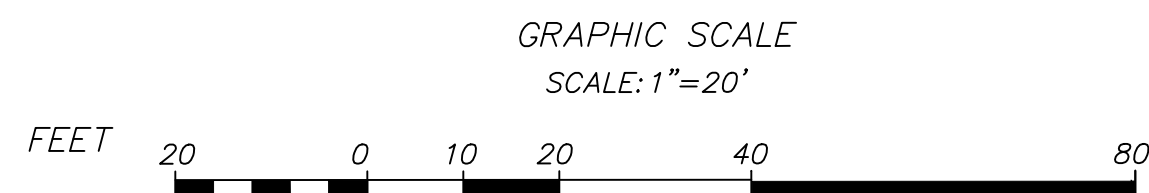
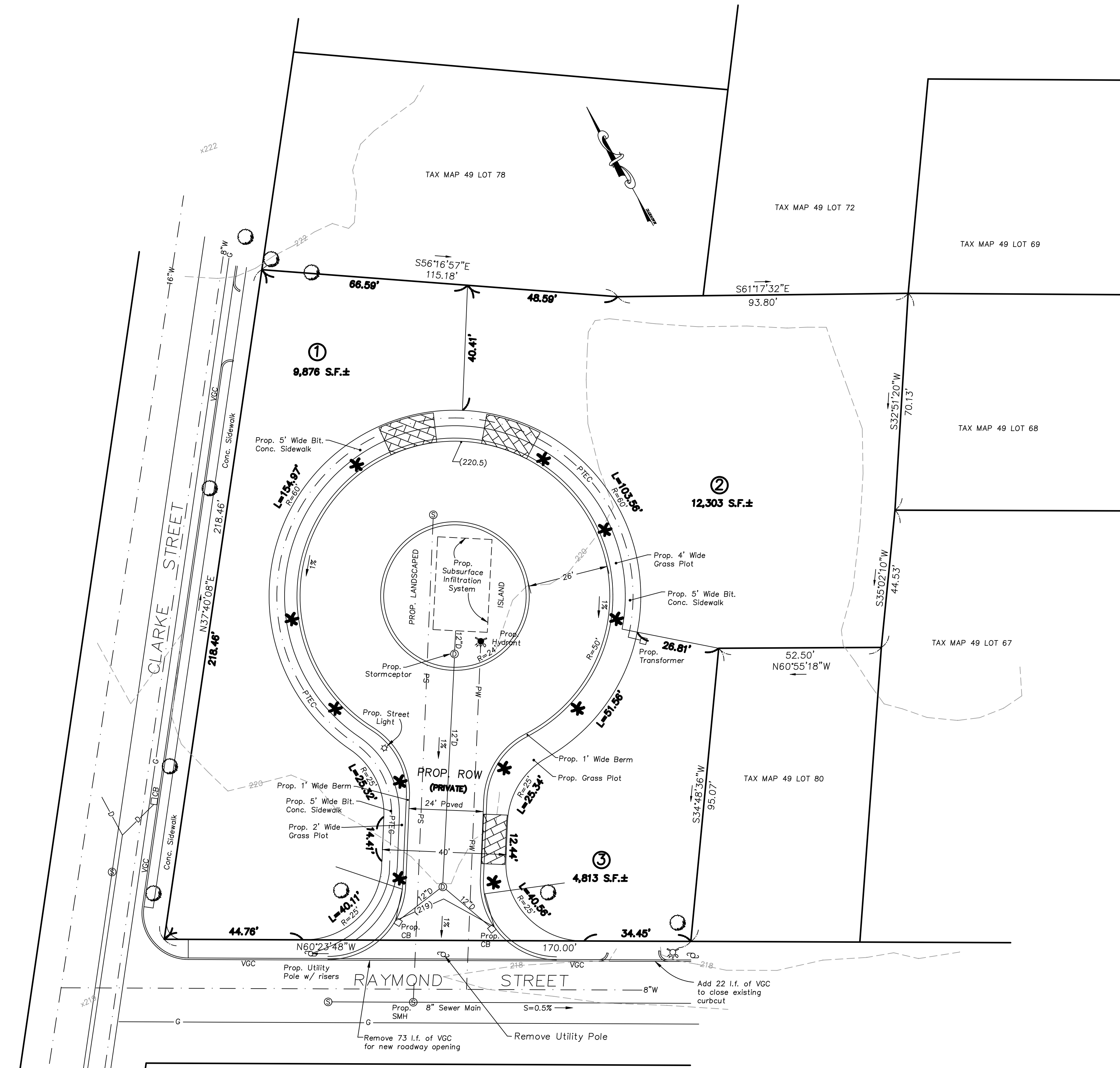
- 167x0 SPOT GRADE
- 167--- 2 FOOT CONTOUR
- DECIDUOUS TREE (> 6" DIA.)
- ⊛ EVERGREEN TREE (> 6" DIA.)
- ⊕ UTILITY POLE
- ⊙ SEWER MANHOLE
- S— SEWER MAIN
- W— COMPILED WATER MAIN
- CB □ CATCHBASIN
- D— DRAIN LINE
- BIT. BITUMINOUS
- CONC. CONCRETE
- EOP EDGE OF PAVEMENT
- VGC VERTICAL GRANITE CURB
- ☆ POST & LIGHT FIXTURE
- PS— PROP. SEWER MAIN (8" PVC)
- PW— PROP. WATER MAIN (8" DICL)
- PTEC— PROP. UNDERGROUND TELEPHONE, ELECTRIC, AND CABLE
- ▨ PROP. DRIVEWAY APRON
- * PROP. STREET TREE

ZONING TABLE:

	CB	MFO
		MULTI-FAMILY OVERLAY
MIN LOT SIZE (SF)	N/A	DOES NOT APPLY
MIN LOT FRONTAGE (FT)	20	0
MIN. FRONT YARD (FT)	10	0-15
MIN. SIDE YARD (FT)	N/A	15
MIN. REAR YARD (FT)	10	15
MIN. SIDE & REAR YARD ADJACENT TO A RESIDENTIAL DISTRICT (FT)	30	DOES NOT APPLY
MAX. NON-RESIDENTIAL FLOOR AREA RATIO (FAR)	2.0	NOT RESTRICTED
LOT COVERAGE (%) MAX	N/A	NOT RESTRICTED
INSTITUTIONAL BUILDINGS, MAX. HEIGHT IN STORIES:	2	NOT RESTRICTED
IN FEET:	30	52
OTHER BUILDINGS, MAX. HEIGHT IN STORIES:	2	NOT RESTRICTED
IN FEET:	25	52

MINOR RESIDENTIAL STREET:

- WIDTH OF PROPOSED RIGHT-OF-WAY: 40'
- MINIMUM PAVEMENT WIDTH: 24'
- MAXIMUM PROPOSED GRADE: 8%
- MINIMUM PROPOSED GRADE: 1%
- MAXIMUM PROPOSED GRADE WITHIN 75' OF INTERSECTIONS: 2%
- PROPOSED CENTERLINE RADIUS: 150'
- PROPOSED RADIUS OF RIGHT-OF-WAY ROUNDING: 25'



REVISIONS				
NO.	DATE	DESCRIPTION	BY	CHK'D

FOR REGISTRY OF DEEDS USE ONLY

I DECLARE, TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THAT THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

I CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS PLAN IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY THE SUBDIVISION REGULATIONS AND PROCEDURAL RULES OF THE PLANNING BOARD OF THE TOWN OF LEXINGTON.



3-09-2025
JOHN D. SULLIVAN III, P.E. DATE

**TOWN OF LEXINGTON
PLANNING BOARD**

THE ENDORSEMENT OF THIS PLAN IS NOT A DETERMINATION BY THE PLANNING BOARD AS TO COMPLIANCE WITH THE ZONING BY-LAW OF THE TOWN OF LEXINGTON.

APPROVED _____, 20__

NOT FOR CONSTRUCTION

**PRELIMINARY SUBDIVISION PLAN
16 CLARKE STREET**

SITE CONSTRUCTION PLAN
LOCATED IN
LEXINGTON, MASSACHUSETTS
(MIDDLESEX COUNTY)

PREPARED FOR
N.S.R.D.

SCALE: 1" = 20' DATE: MARCH 9, 2025

PREPARED BY
SULLIVAN ENGINEERING GROUP, LLC
P.O. BOX 2004
WOBURN, MA 01888
(781) 854-8644

SHEET No. 3 OF 5



LEGEND:

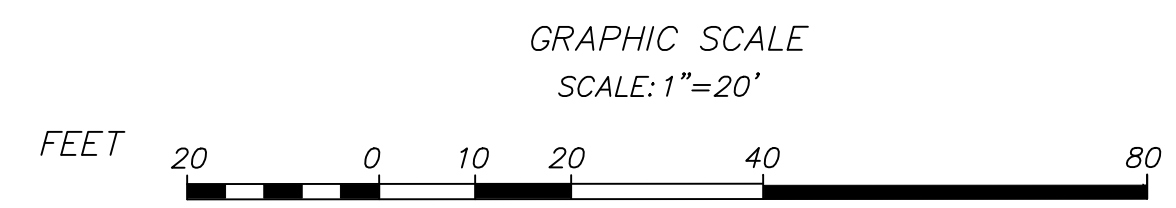
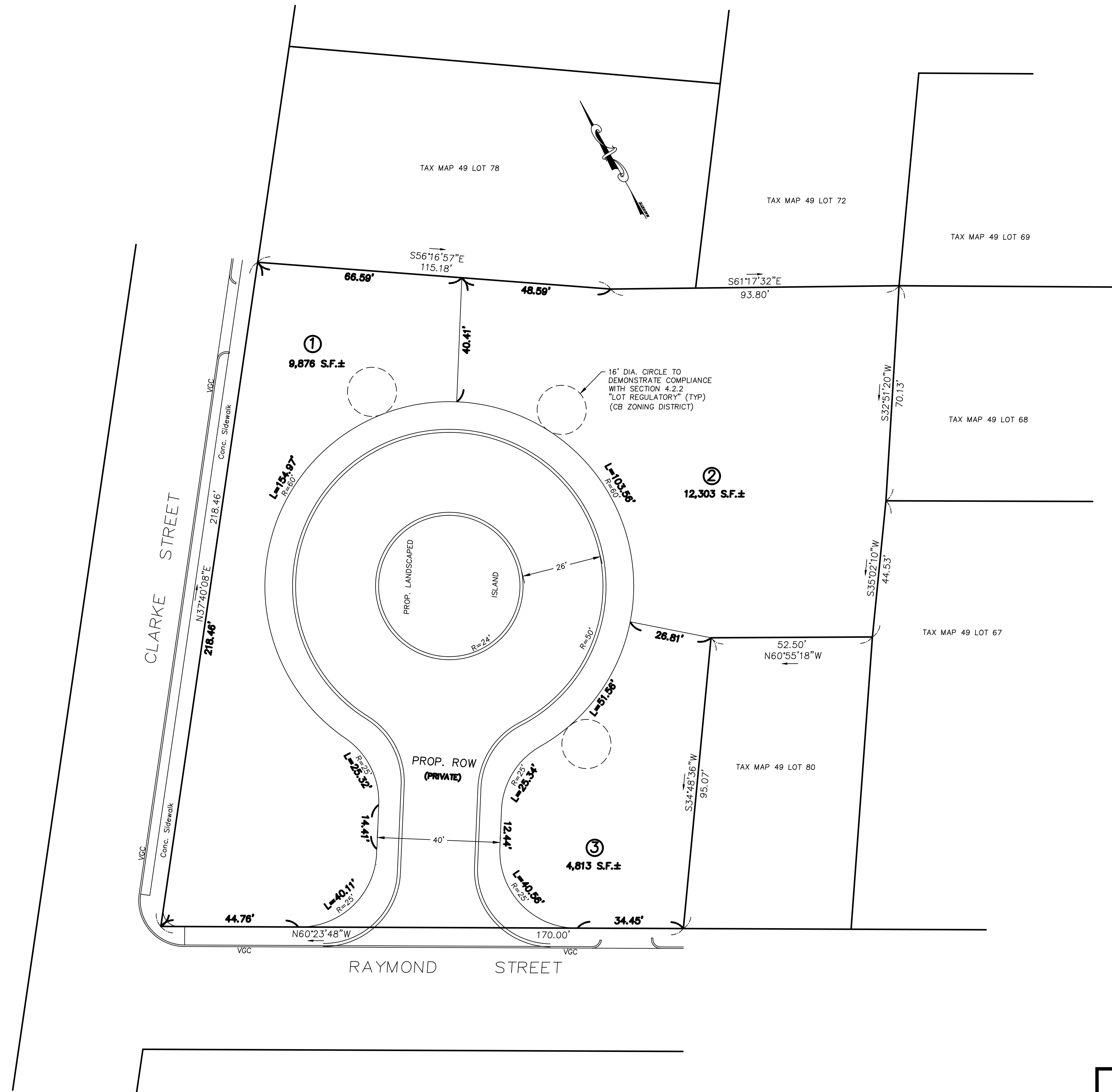
- ☉ UTILITY POLE
- BIT. BITUMINOUS
- CONC. CONCRETE
- EOP EDGE OF PAVEMENT
- VGC VERTICAL GRANITE CURB

ZONING TABLE:

	CB	MFO
		MULTI-FAMILY OVERLAY
MIN LOT SIZE (SF)	N/A	DOES NOT APPLY
MIN LOT FRONTAGE (FT)	20	0
MIN. FRONT YARD (FT)	10	0-15
MIN. SIDE YARD (FT)	N/A	15
MIN. REAR YARD (FT)	10	15
MIN. SIDE & REAR YARD ADJACENT TO A RESIDENTIAL DISTRICT (FT)	30	DOES NOT APPLY
MAX. NON-RESIDENTIAL FLOOR AREA RATIO (FAR)	2.0	NOT RESTRICTED
LOT COVERAGE (%) MAX	N/A	NOT RESTRICTED
INSTITUTIONAL BUILDINGS, MAX. HEIGHT IN STORIES: IN FEET:	2 30	NOT RESTRICTED 52
OTHER BUILDINGS, MAX. HEIGHT IN STORIES: IN FEET:	2 25	NOT RESTRICTED 52

MINOR RESIDENTIAL STREET:

- WIDTH OF PROPOSED RIGHT-OF-WAY: 40'
- MINIMUM PAVEMENT WIDTH: 24'
- MAXIMUM PROPOSED GRADE: 8%
- MINIMUM PROPOSED GRADE: 1%
- MAXIMUM PROPOSED GRADE WITHIN 75' OF INTERSECTIONS: 2%
- PROPOSED CENTERLINE RADIUS: 150'
- PROPOSED RADIUS OF RIGHT-OF-WAY ROUNDING: 25'



REVISIONS				
NO.	DATE	DESCRIPTION	BY	CHK'D

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JOHN D. SULLIVAN III, P.E. 3-09-2025
DATE

TOWN OF LEXINGTON PLANNING BOARD
THE ENDORSEMENT OF THIS PLAN IS NOT A DETERMINATION BY THE PLANNING BOARD AS TO COMPLIANCE WITH THE ZONING BY-LAW OF THE TOWN OF LEXINGTON.

APPROVED _____, 20__

NOT FOR CONSTRUCTION

**PRELIMINARY SUBDIVISION PLAN
16 CLARKE STREET**

GEOMETRIC PROOF PLAN
LOCATED IN
LEXINGTON, MASSACHUSETTS
(MIDDLESEX COUNTY)

PREPARED FOR
N.S.R.D.
SCALE: 1" = 20' DATE: MARCH 9, 2025

PREPARED BY
SULLIVAN ENGINEERING GROUP, LLC
P.O. BOX 2004
WOBURN, MA 01888
(781) 854-8644

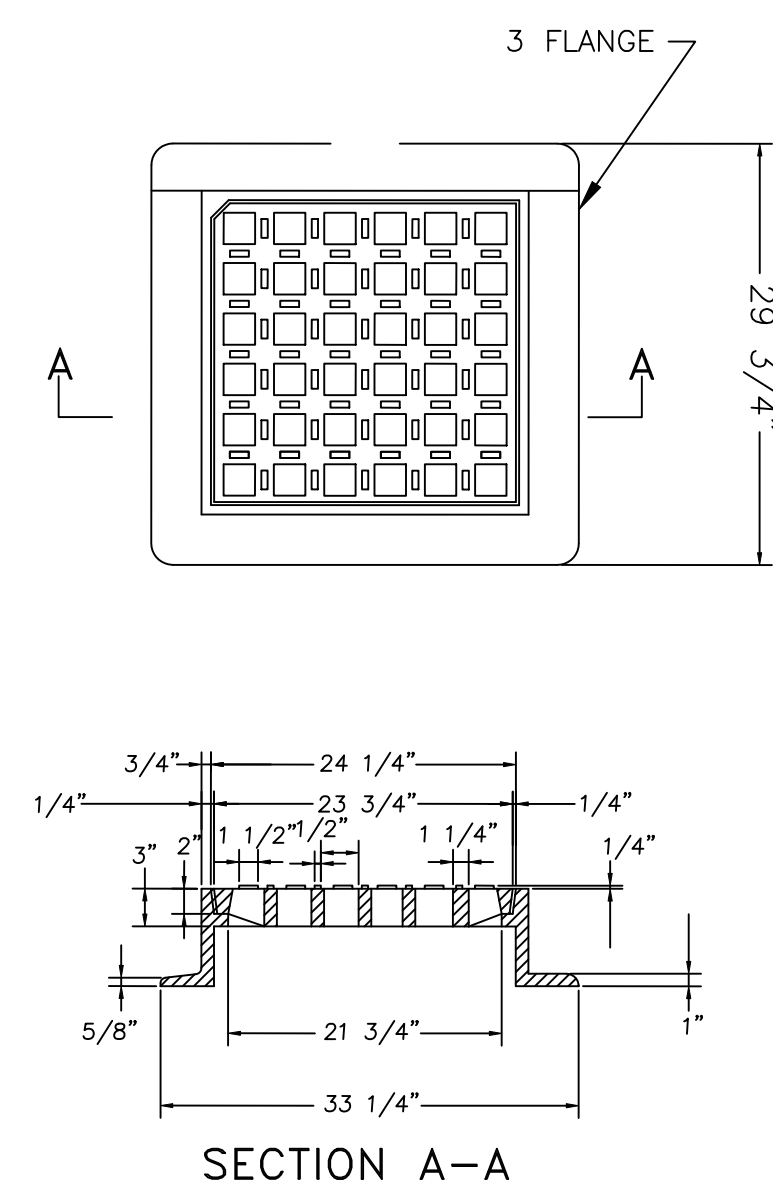
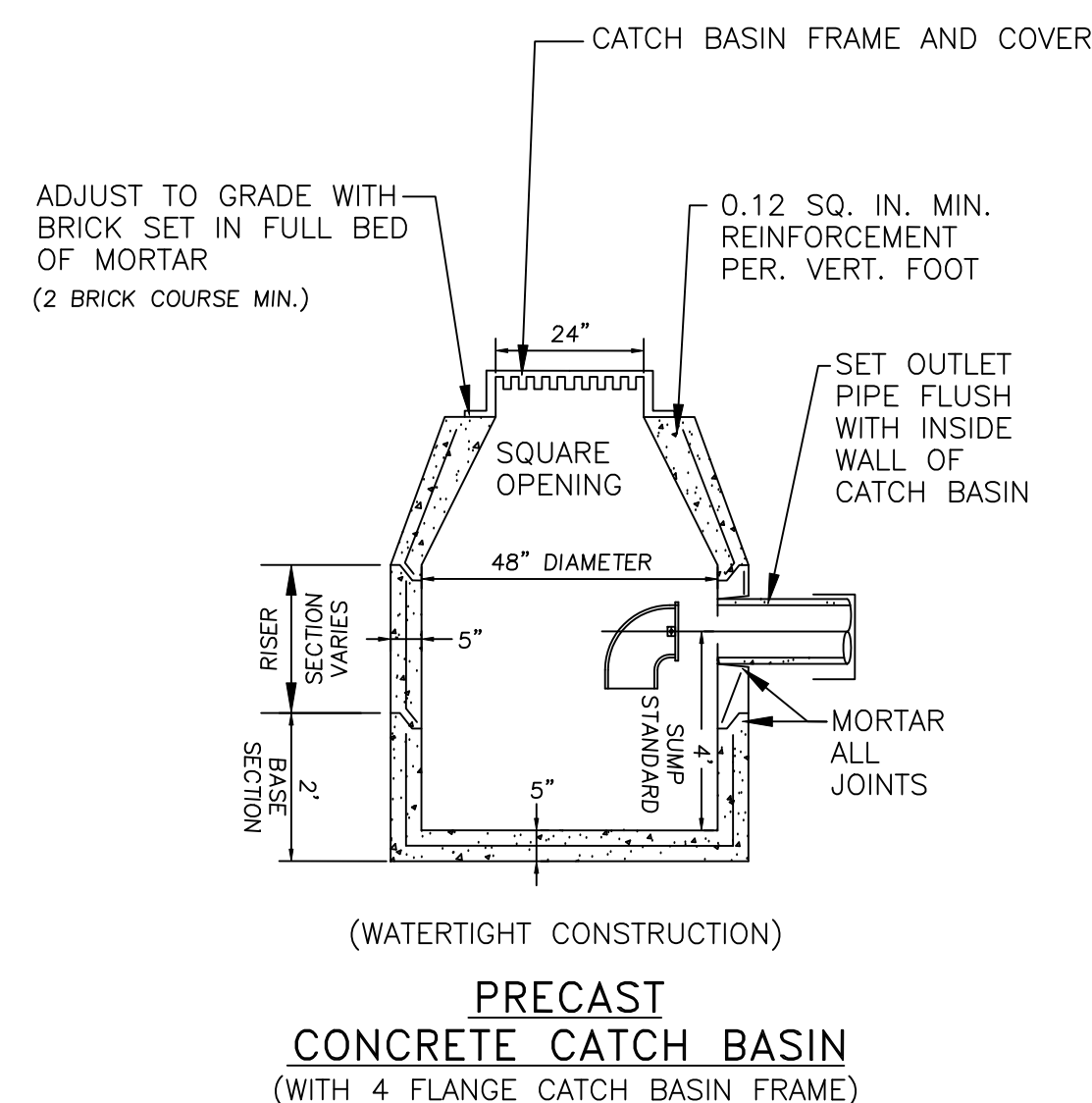
SHEET No. 4 OF 5



**TOWN OF LEXINGTON
PLANNING BOARD**

THE ENDORSEMENT OF THIS PLAN IS NOT A DETERMINATION BY THE PLANNING BOARD AS TO COMPLIANCE WITH THE ZONING BY-LAW OF THE TOWN OF LEXINGTON.

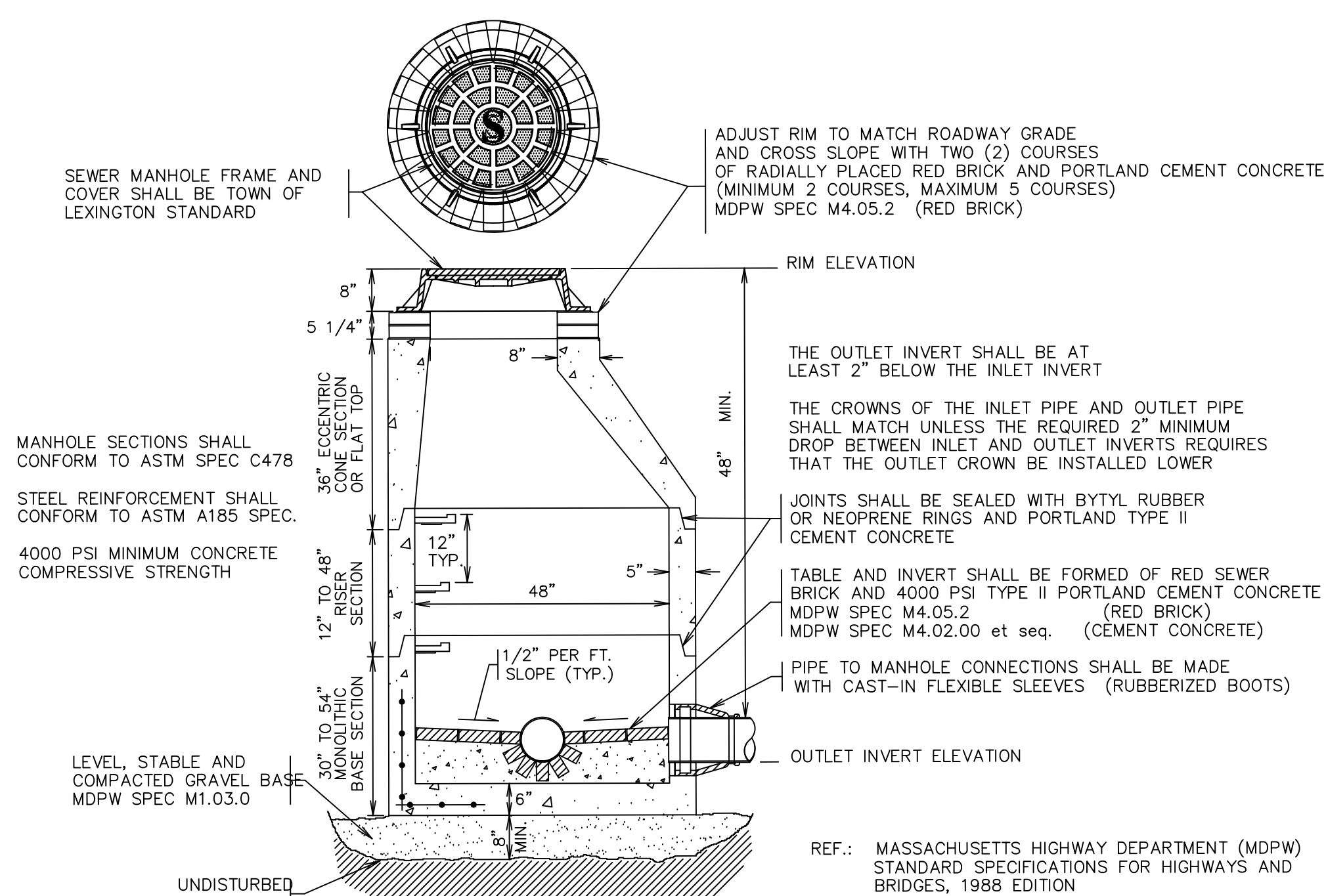
APPROVED _____, 20__



NOTE: FRAME AND GRATE SHALL BE HEAVY DUTY CLASS 30 GRAY IRON.

CATCH BASIN FRAME AND GRATE

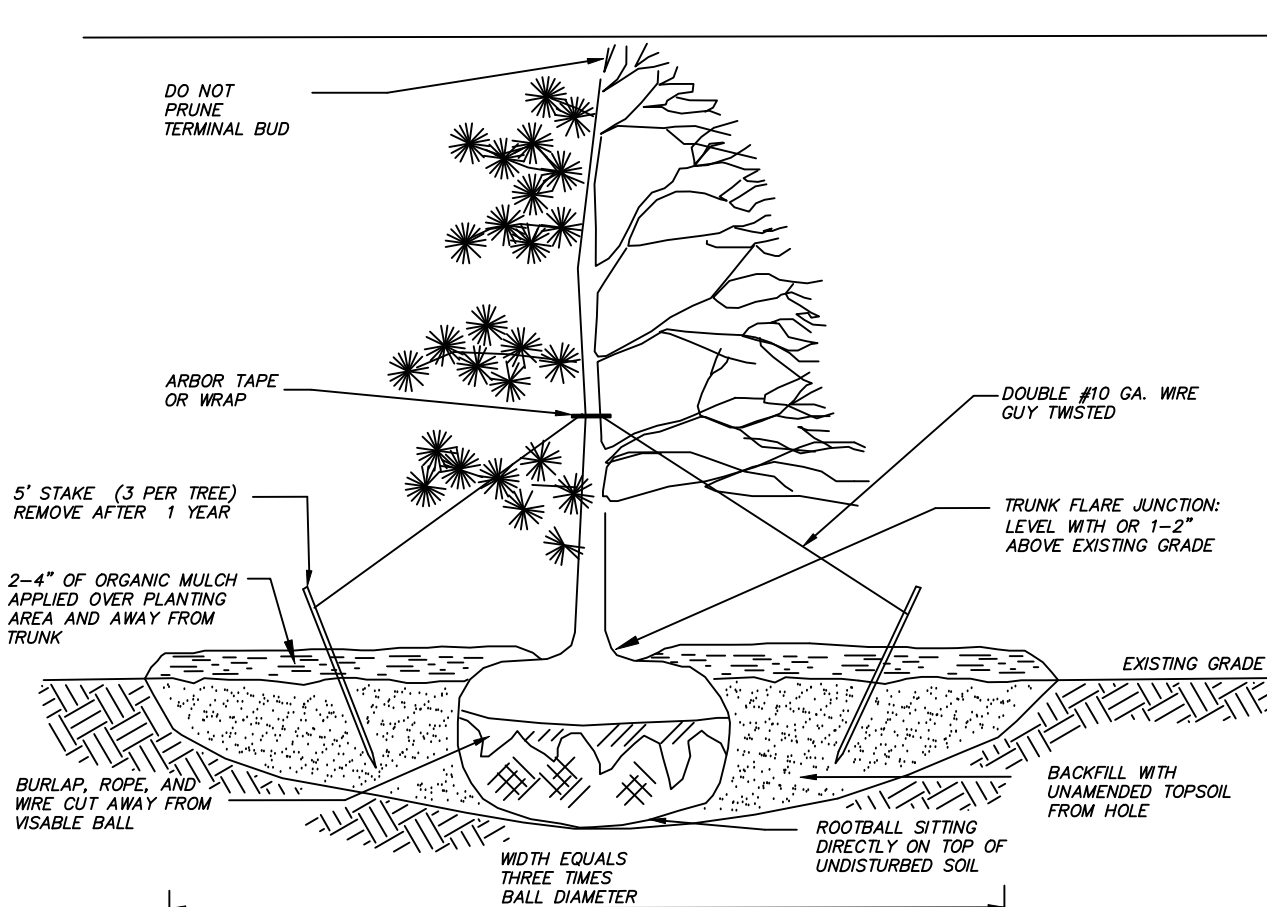
NOTE: CATCH BASIN FRAME AND COVERS ARE TO BE LeBARON TYPE CATALOG #LF248-3 OR EQUAL



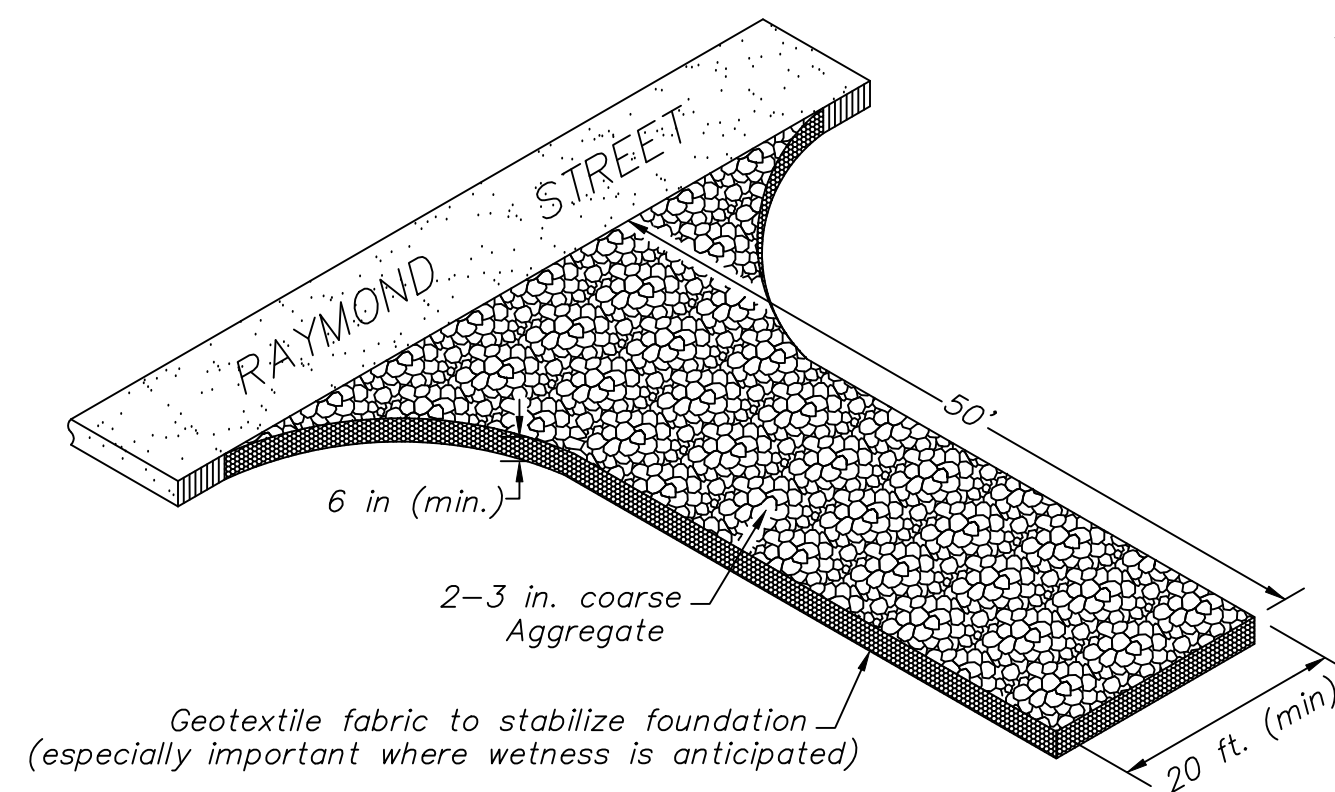
REF.: MASSACHUSETTS HIGHWAY DEPARTMENT (MDPW) STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, 1988 EDITION

TYPICAL SEWER MANHOLE DETAIL

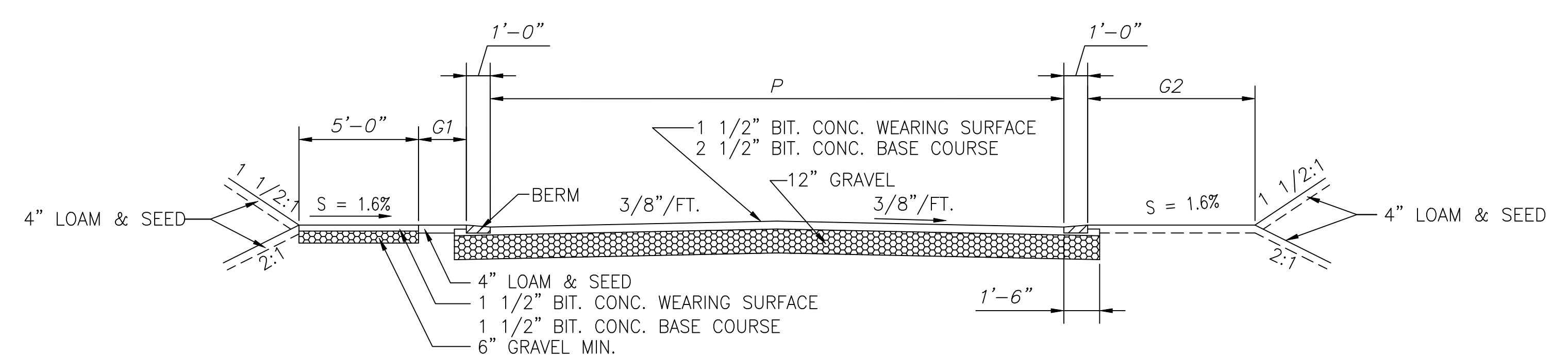
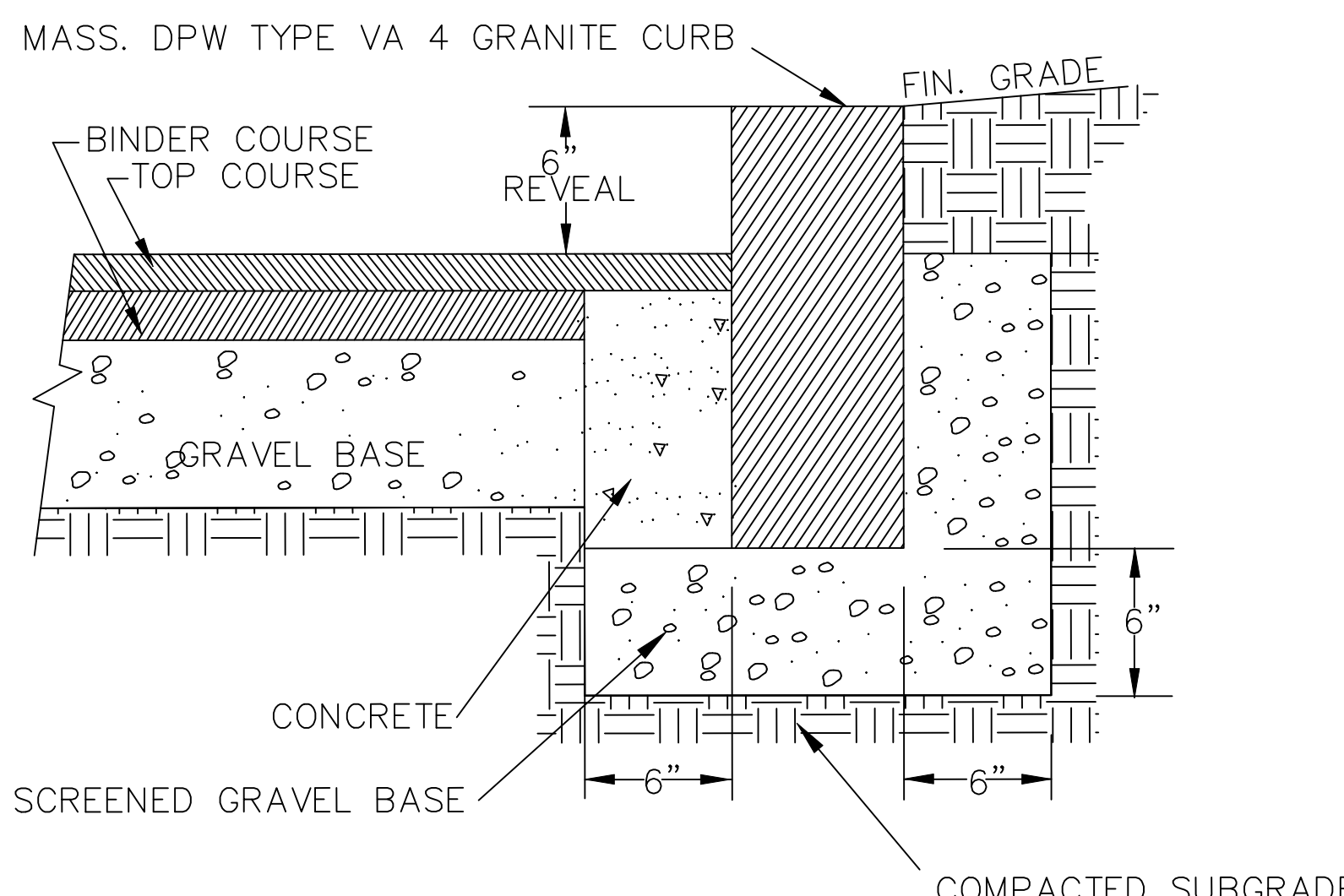
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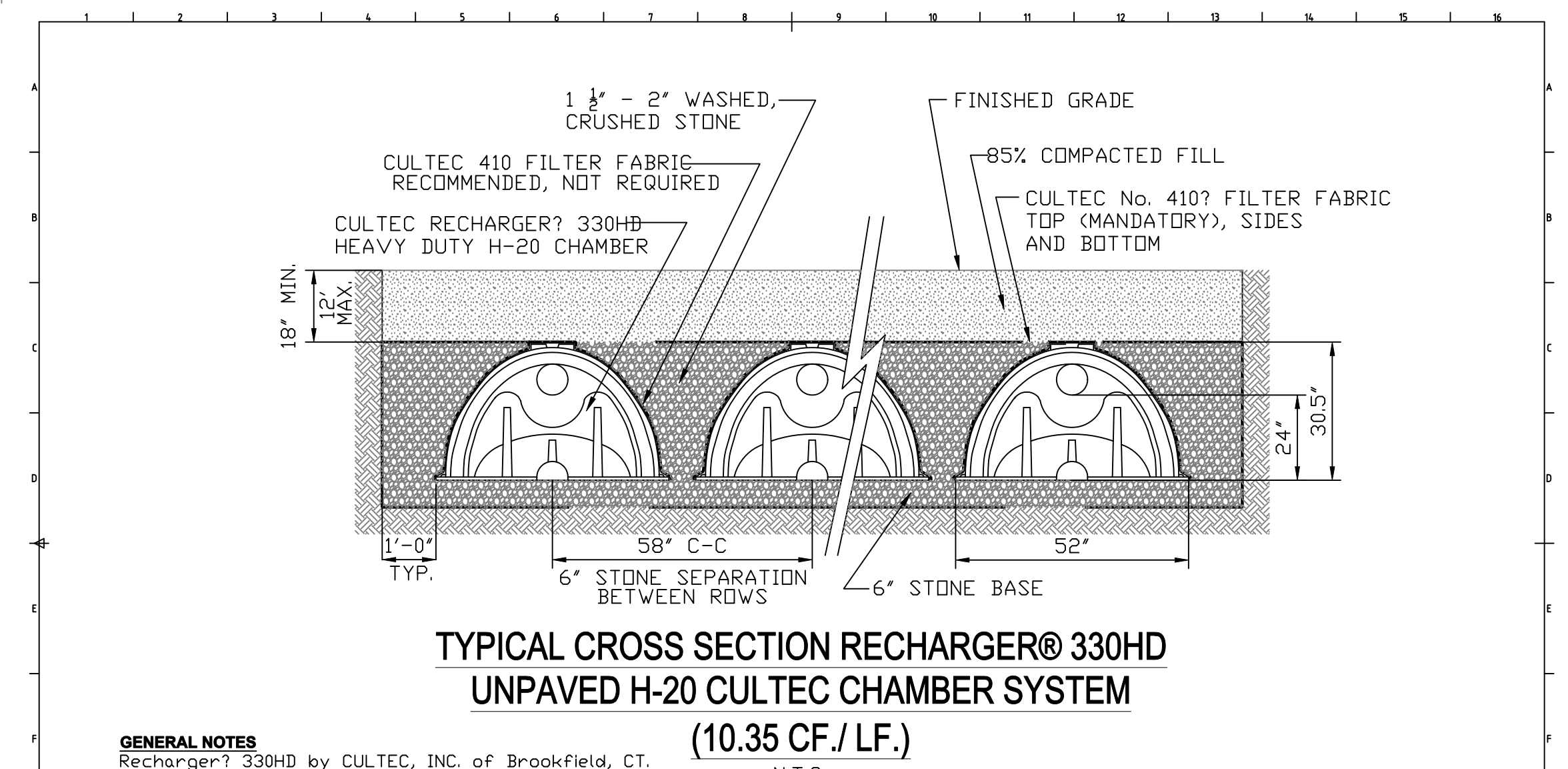
- NOTES**
- STAKES TO BE DRIVEN INTO UNDISTURBED SOIL.
 - PRUNE ALL BRANCHES OR DAMAGED BRANCHES.
 - GROUND LINE TO BE THE SAME AS EXISTED AT NURSERY.
 - MATERIALS WITH A FALL PLANTING HAZARD SHALL BE HANDLED ACCORDINGLY.
 - ALL PLANT MATERIAL SHALL CONFORM TO THE AMER. ASSOC. OF NURSERMEN'S STANDARDS.
 - ALL TREES TO BE A MINIMUM OF 1 1/2" CALIBER AT BASE OF TRUNK.
 - THE FOLLOWING IS A LIST OF SUITABLE TREES FOR STREET PLANTING:
- | | |
|---------------------------------------|------------------------------------|
| ACER (MAPLES) | QUERCUS (OAK) |
| CAESPISTRE (HEDGE) | ALBA (WHITE) |
| RUBRUM (RED) | COCOAEA (SCARLET) |
| SACCHARUM (SUGAR) | FALCATUS (PIN) |
| AESCULUS GLABRA (OHIO BUCKEYE) | ROBUR (ENGLISH) |
| AESCULUS HIPPOCASTANUM (HORSEHESTNUT) | RUBRA (RED) |
| CARPINUS BETULUS (EUROPEAN HORNBEAM) | VELUTINA (BLACK) |
| FRAXINUS PENNSYLVANICA (GREEN ASH) | SOPHORA JAPONICA (PAGODA TREE) |
| OLEA FRUTICOSA (OLIVE) | SASSAPARILLA (AMERICAN CASAHUANA) |
| LIQUIDAMBAR STRYACIFLUA (SWEETGUM) | TILIA |
| LIRIODENDRON TULIPIFERA (TULIP TREE) | AMERICANA (BASSWOOD) |
| PLATANUS X ACERIFOLIA (PLATANETREE) | CORDATA (LITTLELEAF LINDEN) |
| | ULMUS AMERICANA (AMERICAN ELM) |
| | ZELKOVA SERRATA (JAPANESE ZELKOVA) |



NOTE:
CONSTRUCT "TEMPORARY CONSTRUCTION ENTRANCE" AS SHOWN ON DETAIL PLAN PRIOR TO THE BEGINNING OF ANY CONSTRUCTION ACTIVITIES. ALL CONSTRUCTION VEHICLES SHALL EXIT THE SITE OVER THIS "TEMPORARY CONSTRUCTION ENTRANCE". THE CONTRACTOR SHALL USE THIS AREA TO REMOVE SOIL FROM THE TIRES OF CONSTRUCTION VEHICLES. "TEMPORARY CONSTRUCTION ENTRANCE" TO CONSIST OF SIX TO TWELVE INCHES OF TWO TO THREE INCH STONE.



LAYOUT WIDTH "L"	PAVEMENT WIDTH "P"	SHOULDER WIDTH	
		G1	G2
40'	24'-0"	2'-0"	7'-0"



GENERAL NOTES
Recharger? 330HD by CULTEC, INC. of Brookfield, CT.
All Recharger? 330HD Chambers must be installed in accordance with all applicable local, state and federal regulations.
Refer to manufacturer, CULTEC, INC.'s recommended installation guidelines.
All Recharger? 330HD H20 Heavy Duty units are marked with a 4" stripe along the length of the chamber.
CALCULATIONS BASED ON 40% STONE VOID

	CULTEC, Inc. P.O. Box 280 878 Federal Road Brookfield, CT 06804	PH: (203) 775-4416 PH: (800) 4-CULTEC FX: (203) 775-1462 USA.cultec.com
	CULTEC Contactor® and Recharger® Plastic Septic and Stormwater Chambers	
DATE 7/22/03	SCALE N/S	Title 330HD UNPVD H-20

**PRELIMINARY SUBDIVISION PLAN
16 CLARKE STREET**

CONSTRUCTION SITE DETAILS
LOCATED IN
LEXINGTON, MASSACHUSETTS
(MIDDLESEX COUNTY)

PREPARED FOR
N.S.R.D.
SCALE: N.T.S. DATE: MARCH 9, 2025

PREPARED BY
SULLIVAN ENGINEERING GROUP, LLC
P.O. BOX 2004
WOBURN, MA 01888
(781) 854-8644



AGENDA ITEM SUMMARY

LEXINGTON PLANNING BOARD

AGENDA ITEM TITLE:

329 Massachusetts Avenue - Preliminary Subdivision

PRESENTER:

Applicant Team: Fred Gilgun & Mike
Novak

ITEM NUMBER:

SUMMARY:

The Planning Board will hold a virtual public meeting on the application of Kathleen Maloney, for approval of a preliminary subdivision plan under §175-5.0 of the Planning Board's Subdivision Regulations. Application proposes subdividing property into 2 lots on a new right of way.

The property is located at 329 Massachusetts Avenue, Lexington, MA also known as Map 13, Lot 360 in the CRS (Retail Shopping) and VO (Village Overlay) zoning districts.

Application materials may be viewed online at <https://lexingtonma.portal.opengov.com/records/102299>.

SUGGESTED MOTION:

Move to *disapprove* the preliminary subdivision as submitted for 329 Massachusetts Avenue because the proposed subdivision does not comply with the Board's Subdivision Regulations as follows:

- 1) the center line of the paved area in the proposed road modification does not follow the center line of the right of way (Section 7.2.E(8)); and
- 2) Proposed street system is not designed to permit the safe, efficient and orderly movement of motor vehicles, pedestrians and cars (Section 7.2.A(1)(a))

Or,

Move to *approve* the preliminary subdivision plan with conditions to be incorporated into a Definitive Subdivision submission for 329 Massachusetts Avenue.

NOTE: A disapproval does not prevent the owner/applicant from submitting a definitive subdivision plan.

FOLLOW-UP:

DATE AND APPROXIMATE TIME ON AGENDA:

4/17/2025

ATTACHMENTS:

Description	Type
☐ Preliminary Subdivision Plan Set	Exhibit
☐ Draft Approval	Cover Memo
☐ Draft Disapproval	Cover Memo

NOTES:

1. THE INFORMATION DEPICTED ON THIS PLAN HAS BEEN COMPILED FROM THE TOWN OF LEXINGTON GIS SYSTEM
2. LAND USE WITHIN 300 FEET OF THE SUBJECT PROPERTY CONSISTS OF A MIX OF SINGLE FAMILY DWELLINGS, AN APARTMENT COMPLEX AND COMMERCIAL USE

329 MASSACHUSETTS AVENUE ASSESSORS MAP 13 LOTS 360 PRELIMINARY SUBDIVISION PLAN LOCATED IN LEXINGTON, MA MARCH 7, 2025

PREPARED BY:



PATRIOT Engineering
PO BOX 362
LEXINGTON, MASSACHUSETTS 02420
T: (978) 726-2654
www.patriot-eng.com



SHEET INDEX

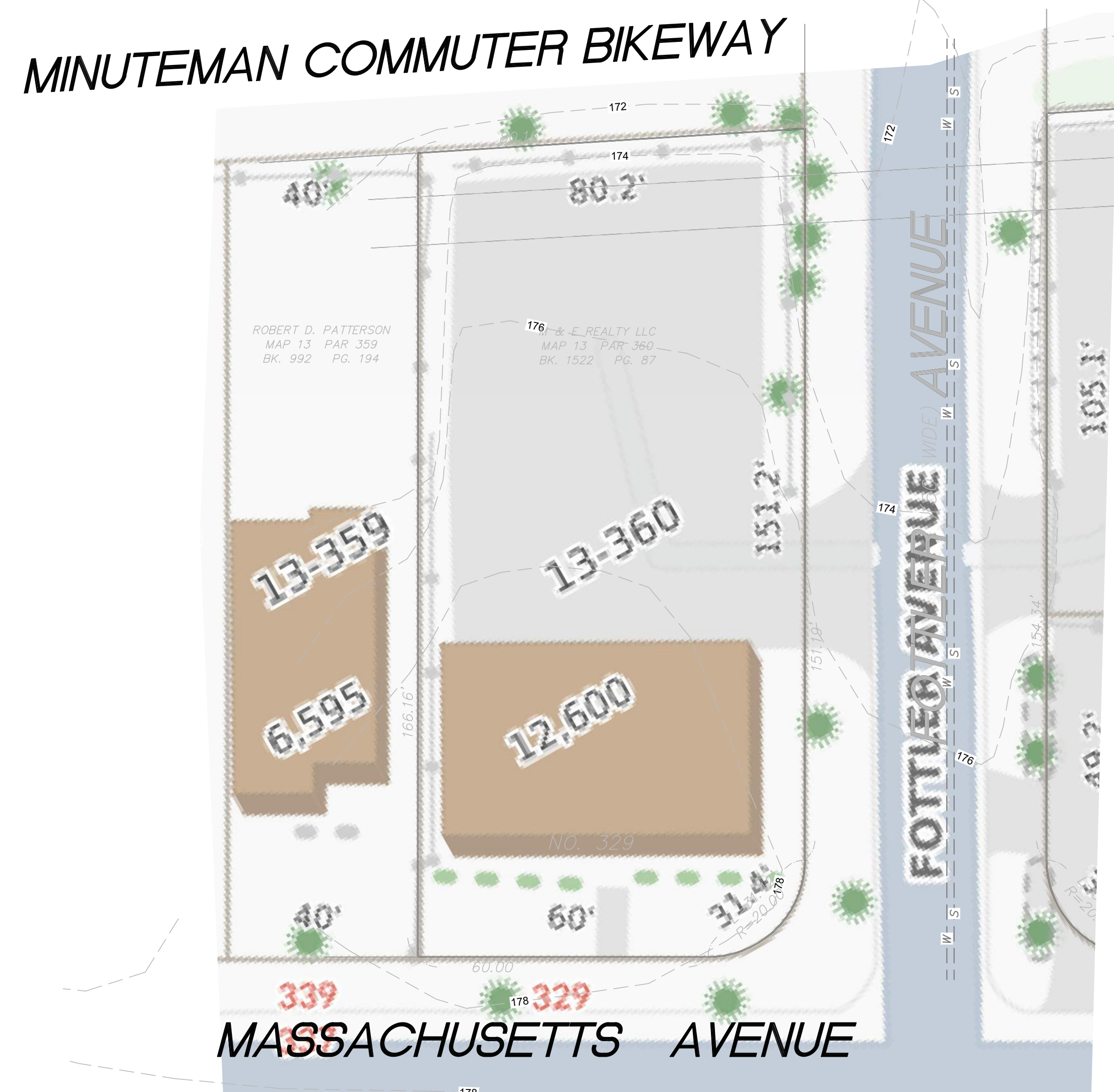
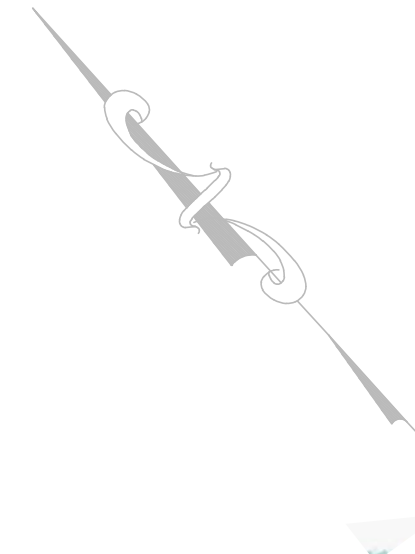
	COVER SHEET
C-1	EXISTING CONDITIONS PLAN
C-2	CONSTRUCTION MANAGEMENT PLAN
C-3	PRELIMINARY SUBDIVISION PLAN
C-4	SITE PLAN -GRADING AND DRAINAGE
C-5	SITE PLAN-UTILITY
C-6.1- C-6.5	DETAILS

RECORD OWNER:

THE TRI-S LEXINGTON REALTY TRUST,
TRI-S302 REALTY TRUST, AND
OXBOW REALTY TRUST VI
PO BOX 515
LEXINGTON, MA 02420

LOCUS CONTEXT MAP

(SCALE 1"=100')



NOTES:

1. THIS PLAN IS BASED ON A PARTIAL SURVEY PERFORMED ON THE GROUND BY KEENAN SURVEY, LEXINGTON GIS AND RECORD PLANS.
2. THE SUBJECT PROPERTY DEPICTED IS LOCATED WITHIN THE CRS ZONING DISTRICT.
3. THE SUBJECT PROPERTY IS DEPICTED AS LOT 360 ON THE TOWN OF LEXINGTON ASSESSOR'S MAP 13.
4. THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND ARE BASED UPON A PARTIAL FIELD SURVEY AND PLANS OF RECORD. THIS PLAN DOES NOT GUARANTEE THE LOCATION OF UTILITIES DEPICTED. THE CONTRACTOR, PRIOR TO COMMENCEMENT OF CONSTRUCTION, SHALL VERIFY THE LOCATION OF ALL UTILITIES AND CONTACT DIG SAFE AT 1-888-344-7233.
5. THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST.

TABLE OF DIMENSIONAL REQUIREMENTS

ITEM	REQUIREMENT	
	ZONE: CRS	ZONE: VO (VILLAGE OVERLAY)
MIN LOT AREA	15,500 S.F.	DOES NOT APPLY
MIN FRONTAGE	125'	20'
MIN FRONT YARD	30'	0' or 15'
MIN SIDE YARD	15'	7.5' - 15'
MIN REAR YARD	15'	15'
MIN REAR YARD (ADJACENT TO RESIDENTIAL)	30'	DOES NOT APPLY

ALL UNDERGROUND UTILITY DATA REPRESENTS RECORD INFORMATION RECOVERED THROUGH RESEARCH WITHOUT SURFACE DEMARCATION NOR SUBSURFACE VERIFICATION.

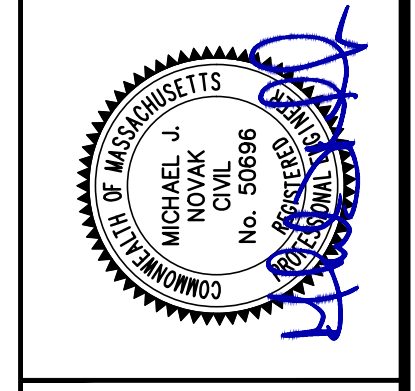
NOT FOR CONSTRUCTION

329 MASS AVE
LEXINGTON, MA

DRAWN BY: MVC
CHECKED BY: MIN

DATE: 3-5-2025

DATE	BY	DESCRIPTION

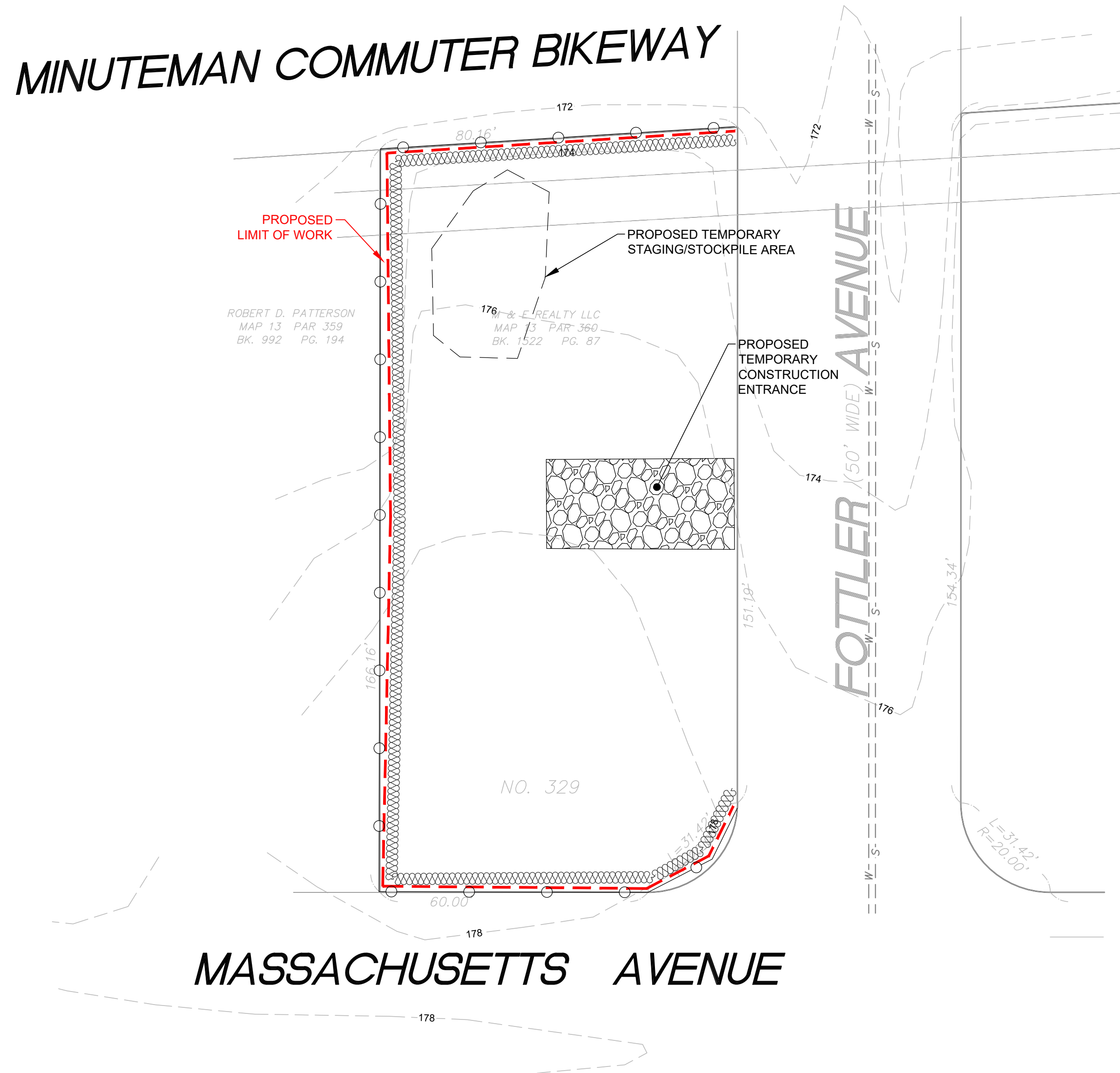


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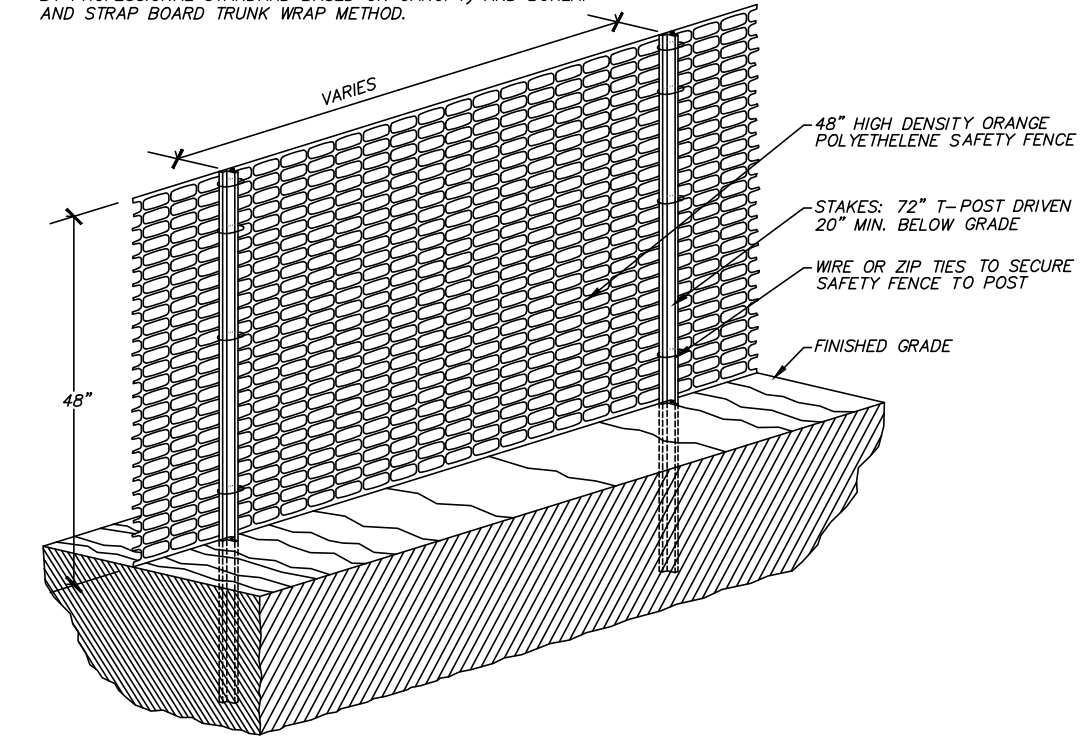
EXISTING CONDITIONS PLAN
 LOCATED IN
 LEXINGTON, MA
 (MIDDLESEX COUNTY)
 PREPARED FOR
 SEAN MALONEY TRUSTEE

SHEET
C-1

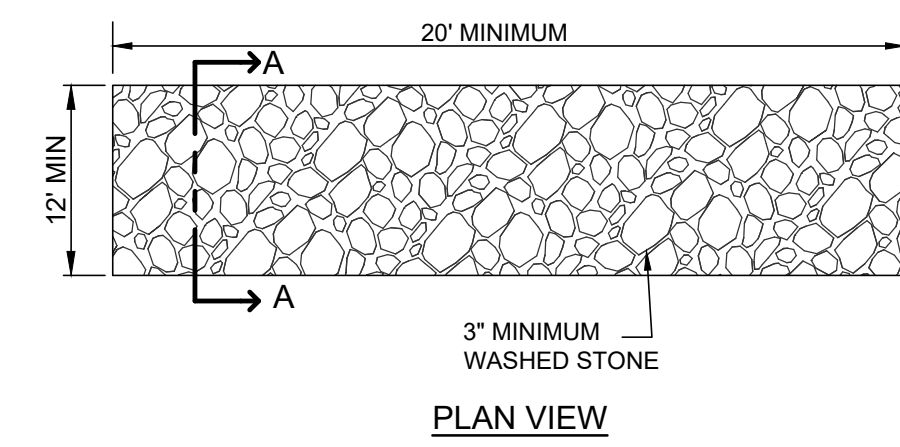
MINUTEMAN COMMUTER BIKEWAY



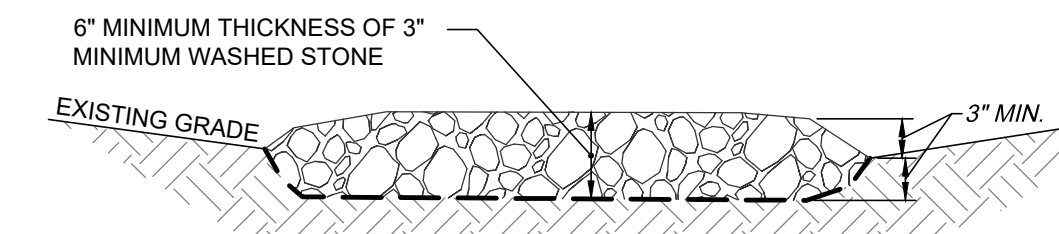
NOTE:
 1. EXISTING TREES TO BE SAVED SHALL BE PROTECTED WITH ORANGE CONSTRUCTION FENCE (OFF-SET FROM THE TREE TRUNK BY PROFESSIONAL STANDARD BASED ON CANOPY) AND BURLAP AND STRAP BOARD TRUNK WRAP METHOD.



CONSTRUCTION FENCE/TREE PROTECTION
 (NOT TO SCALE)

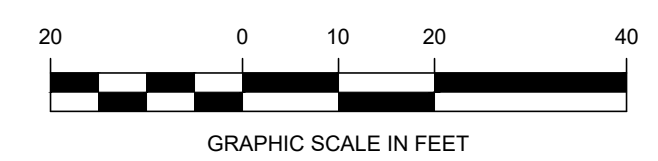


PLAN VIEW



SECTION A-A
CONSTRUCTION ENTRANCE
 (NOT TO SCALE)

LEGEND	DESCRIPTION
	PROPOSED LIMIT OF WORK LINE
	PROPOSED FILTERMITT
	PROPOSED TEMPORARY CONSTRUCTION ENTRANCE
	PROPOSED TEMPORARY CONSTRUCTION PARKING
	PROPOSED TEMPORARY CONSTRUCTION FENCING

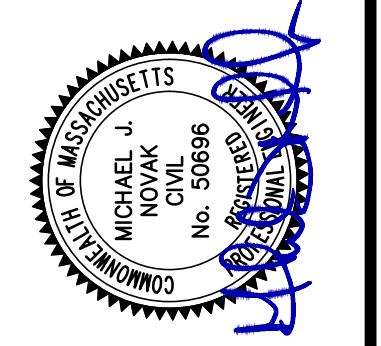


ALL UNDERGROUND UTILITY DATA REPRESENTS RECORD INFORMATION RECOVERED THROUGH RESEARCH WITHOUT SURFACE DEMARCATION NOR SUBSURFACE VERIFICATION.

NOT FOR CONSTRUCTION

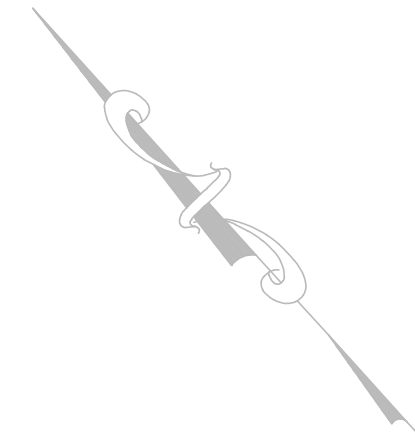
329 MASS AVE
 LEXINGTON, MA
 DRAWN BY: MVC
 CHECKED BY: MIN
 DATE: 3-5-2025

REVISIONS	DESCRIPTION
DATE	BY

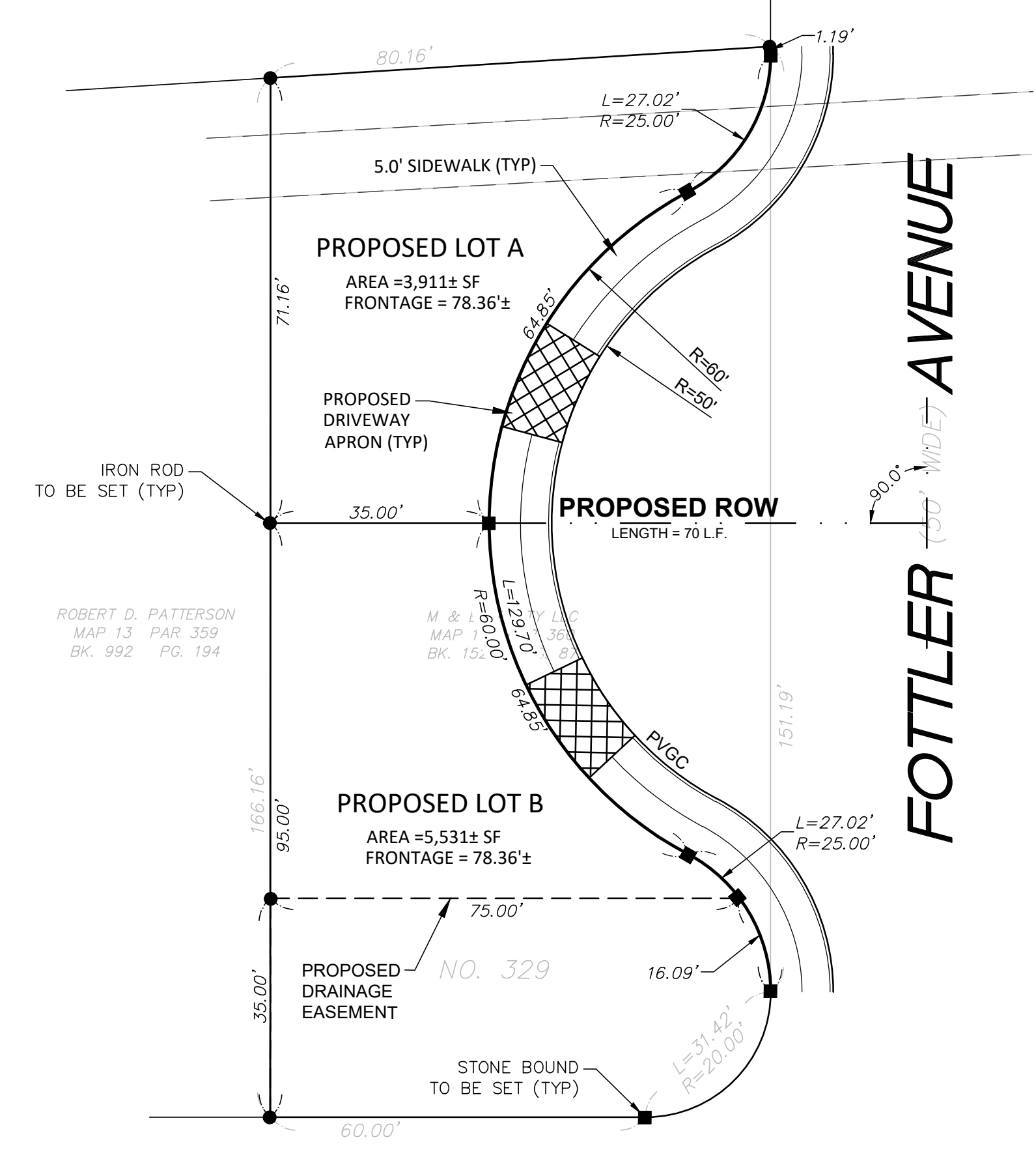


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CONSTRUCTION MANAGEMENT PLAN
 LOCATED IN
 LEXINGTON, MA
 (MIDDLESEX COUNTY)
 PREPARED FOR
 SEAN MALONEY TRUSTEE

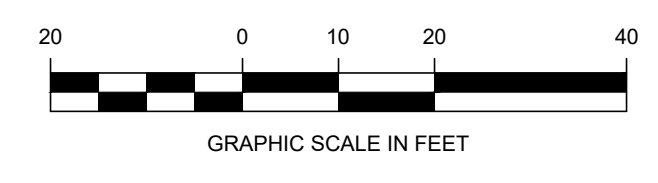


MINUTEMAN COMMUTER BIKEWAY



MASSACHUSETTS AVENUE

FOTTLER AVENUE



NOTES:

1. THIS PLAN IS BASED ON A PARTIAL SURVEY PERFORMED ON THE GROUND BY KEENAN SURVEY, LEXINGTON GIS AND RECORD PLANS.
2. THE SUBJECT PROPERTY DEPICTED IS LOCATED WITHIN THE CRS ZONING DISTRICT.
3. THE SUBJECT PROPERTY IS DEPICTED AS LOT 360 ON THE TOWN OF LEXINGTON ASSESSOR'S MAP 13.
4. THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND ARE BASED UPON A PARTIAL FIELD SURVEY AND PLANS OF RECORD. THIS PLAN DOES NOT GUARANTEE THE LOCATION OF UTILITIES DEPICTED. THE CONTRACTOR, PRIOR TO COMMENCEMENT OF CONSTRUCTION, SHALL VERIFY THE LOCATION OF ALL UTILITIES AND CONTACT DIG SAFE AT 1-888-344-7233.
5. THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST.

TABLE OF DIMENSIONAL REQUIREMENTS

ITEM	REQUIREMENT	
	ZONE: CRS	ZONE: VO (VILLAGE OVERLAY)
MIN LOT AREA	15,500 S.F.	DOES NOT APPLY
MIN FRONTAGE	125'	20'
MIN FRONT YARD	30'	0' or 15'
MIN SIDE YARD	15'	7.5' - 15'
MIN REAR YARD	15'	15'
MIN REAR YARD (ADJACENT TO RESIDENTIAL)	30'	DOES NOT APPLY

LEGEND:

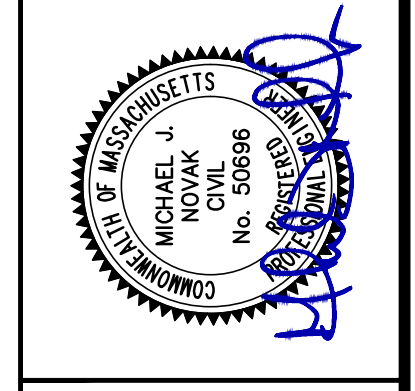
- APPROXIMATE EXISTING PROPERTY LINES
- PROOF CIRCLE
- PROPOSED CENTERLINE
- R= RADIUS
- TYP TYPICAL
- PEOP PROPOSED EDGE OF PAVEMENT
- SF SQUARE FEET
- ROW RIGHT OF WAY
- PROPOSED PAVEMENT
- PROPOSED DRIVEWAY APRON
- PROPOSED STONE BOUND
- PROPOSED IRON ROD

329 MASS AVE
LEXINGTON, MA

DRAWN BY: MVC
CHECKED BY: MIN

DATE: 3-5-2025

REVISIONS	DESCRIPTION

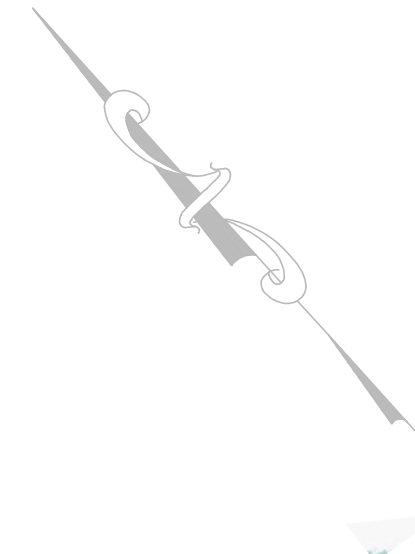


PATRIOT Engineering
 PO BOX 362
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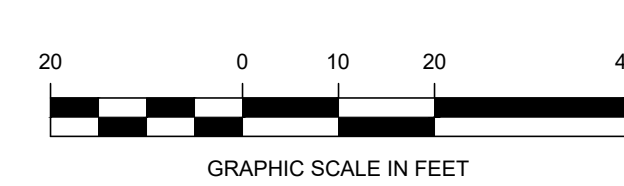
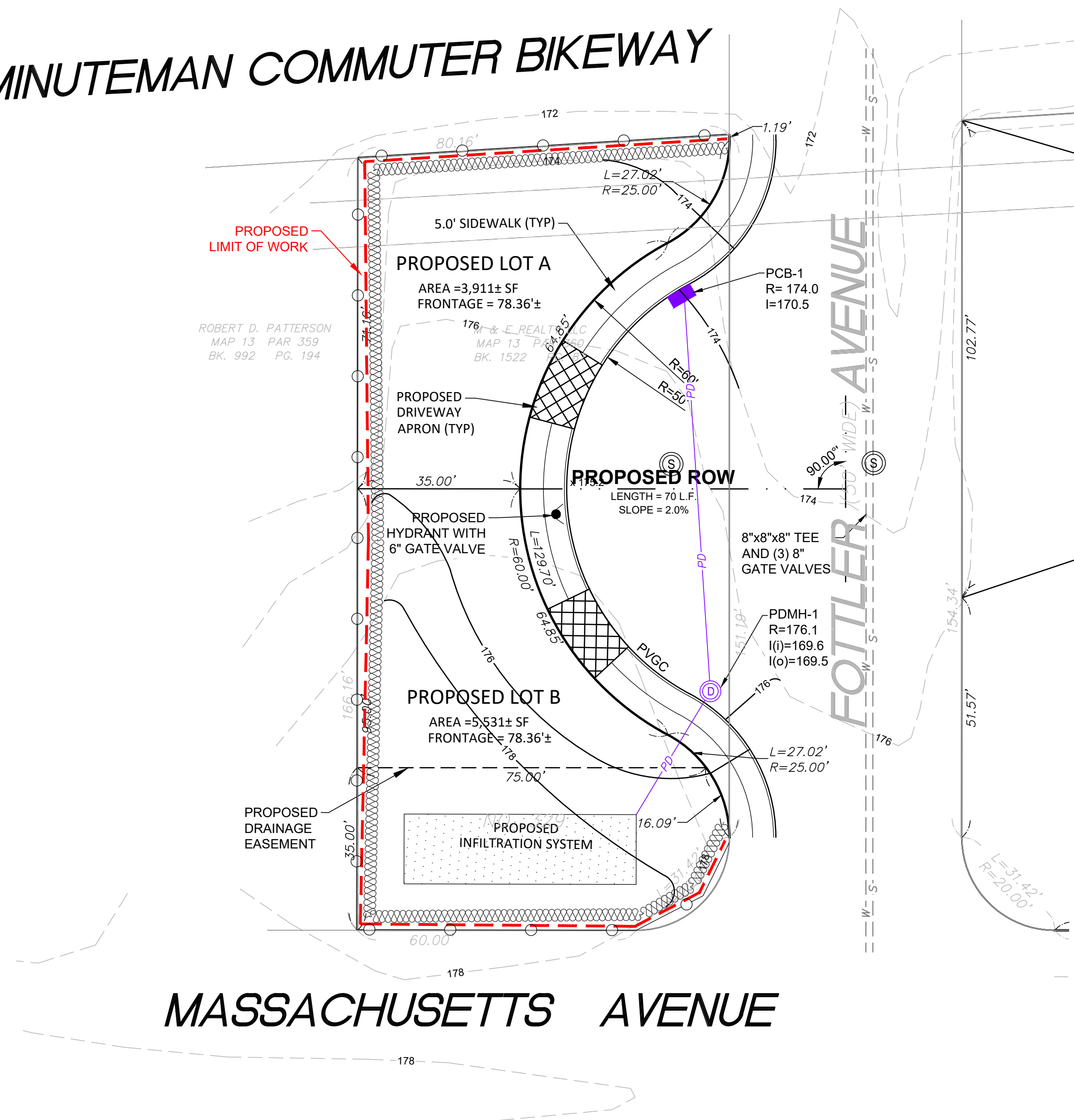
PRELIMINARY SUBDIVISION PLAN
 LOCATED IN
 LEXINGTON, MA
 (MIDDLESEX COUNTY)
 PREPARED FOR
 SEAN MALONEY TRUSTEE

SHEET
C - 3

NOT FOR CONSTRUCTION



MINUTEMAN COMMUTER BIKEWAY



LEGEND	DESCRIPTION
PEOP	PROPOSED EDGE OF PAVEMENT
PVGC	PROPOSED VERTICAL GRANITE CURB
■	PROPOSED CATCH BASIN (PCB)
—178—	PROPOSED CONTOUR
⊕	PROPOSED DRAIN MANHOLE (PDMH)
⦿	PROPOSED FIRE HYDRANT
▨	PROPOSED FILTERMITT
- - - - -	PROPOSED LIMIT OF WORK LINE
⊙	PROPOSED SEWER MANHOLE (PSMH)

ITEM	REQUIREMENT	
	ZONE: CRS	ZONE: VO (VILLAGE OVERLAY)
MIN LOT AREA	15,500 S.F.	DOES NOT APPLY
MIN FRONTAGE	125'	20'
MIN FRONT YARD	30'	0' or 15'
MIN SIDE YARD	15'	7.5' - 15'
MIN REAR YARD	15'	15'
MIN REAR YARD (ADJACENT TO RESIDENTIAL)	30'	DOES NOT APPLY

ALL UNDERGROUND UTILITY DATA REPRESENTS RECORD INFORMATION RECOVERED THROUGH RESEARCH WITHOUT SURFACE DEMARCATION NOR SUBSURFACE VERIFICATION.

NOT FOR CONSTRUCTION

329 MASS AVE
LEXINGTON, MA

DRAWN BY: MVC
CHECKED BY: MIN

DATE: 3-5-2025

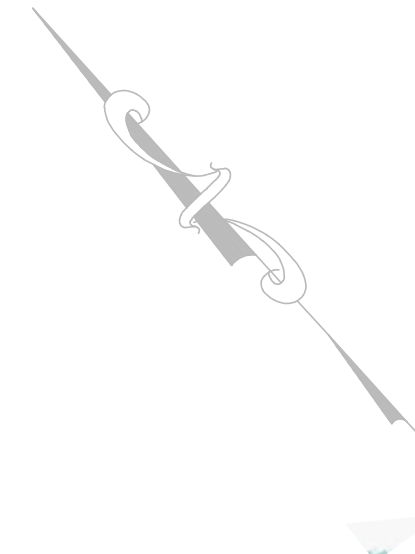
REVISIONS	DATE	BY	DESCRIPTION

PATRIOT Engineering

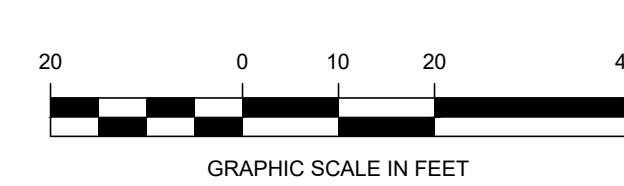
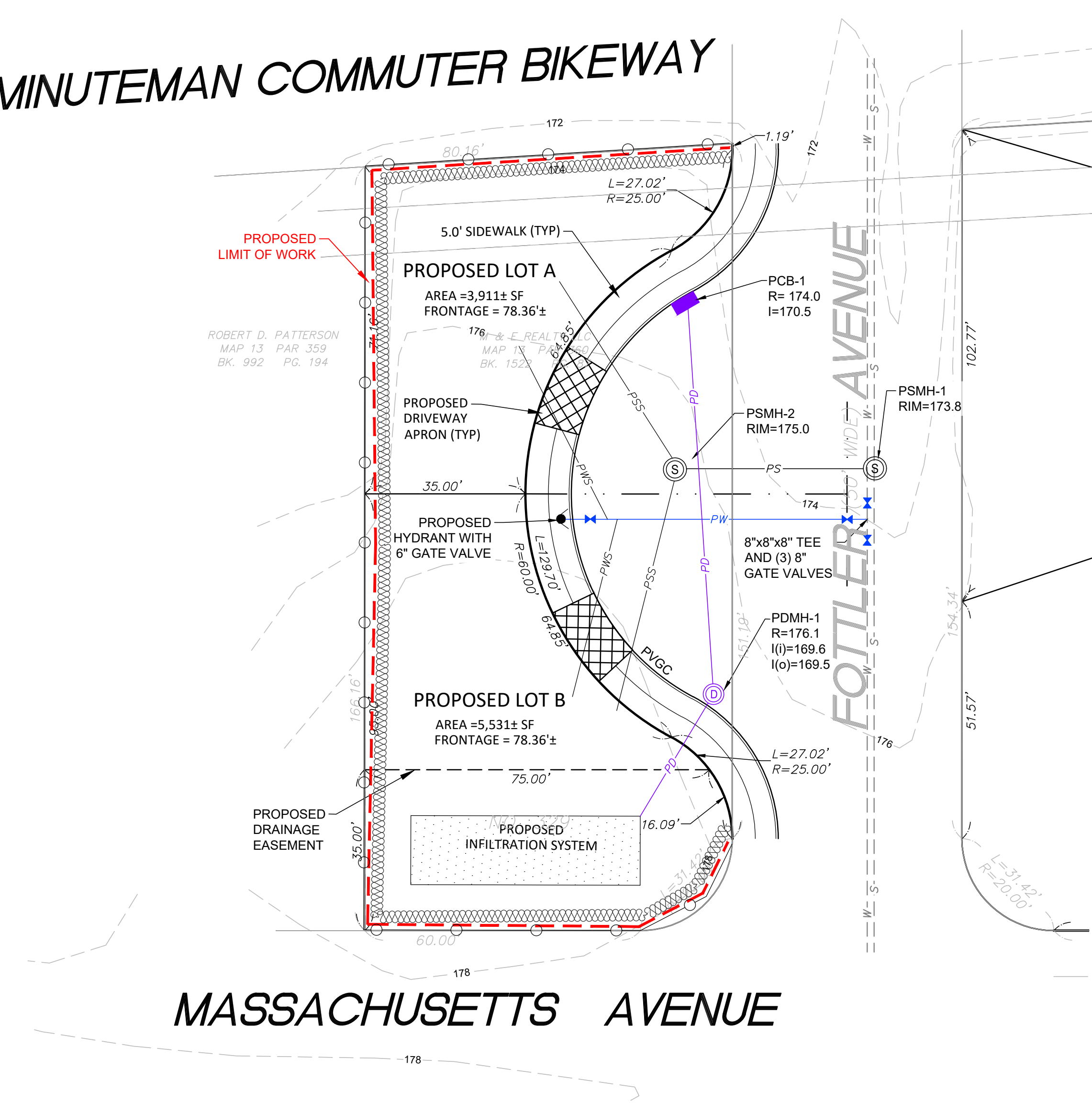
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T: (978) 726-2654
www.patriot-eng.com

SITE PLAN - GRADING & DRAINAGE
LOCATED IN
LEXINGTON, MA
(MIDDLESEX COUNTY)
PREPARED FOR
SEAN MALONEY TRUSTEE

SHEET
C - 4



MINUTEMAN COMMUTER BIKEWAY



NOTES:

1. THE TOPOGRAPHY, SITE DETAIL & SURFACE IMPROVEMENTS DEPICTED HEREON WERE OBTAINED FROM A PLAN PREPARED BY MERIDIAN ASSOCIATES, INC.
2. THE SUBJECT PROPERTY DEPICTED IS LOCATED WITHIN THE RS ZONING DISTRICT.
3. THE SUBJECT PROPERTY IS DEPICTED AS LOTS 8,9 & 10D ON THE TOWN OF LEXINGTON ASSESSOR'S MAP 41.
4. THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND ARE BASED UPON A PARTIAL FIELD SURVEY AND PLANS OF RECORD. THIS PLAN DOES NOT GUARANTEE THE LOCATION OF UTILITIES DEPICTED. THE CONTRACTOR, PRIOR TO COMMENCEMENT OF CONSTRUCTION, SHALL VERIFY THE LOCATION OF ALL UTILITIES AND CONTACT DIG SAFE AT 1-888-344-7233.
5. THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST.

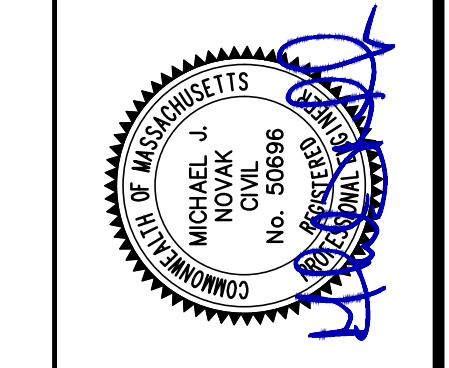
UTILITY NOTES:

1. ALL SEWER MAINS SHALL BE 8" SCH 40 PVC, UNLESS OTHERWISE NOTED.
2. ALL PROPOSED SEWER SERVICES SHALL BE 6" SCH 40 PVC AND AT A MINIMUM 2% SLOPE, UNLESS OTHERWISE NOTED.
3. ALL WATER MAINS SHALL BE 8" DI, UNLESS OTHERWISE NOTED.
4. ALL PROPOSED WATER SERVICES SHALL BE 1.5" COPPER, UNLESS OTHERWISE NOTED.
5. SEPARATION OF SEWER AND WATER LINES SHALL BE 18 INCHES (18") VERTICALLY OR 10 FEET (10') HORIZONTALLY. IF THIS CANNOT BE ACHIEVED THE SEWER SHALL BE INCASED IN CONCRETE.
6. ALL STORM DRAIN MAINS AND LATERALS SHALL BE 12" SCHEDULE 40 PVC. (EXCEPT ROOF AND YARD DRAIN CONNECTIONS WHICH SHALL BE 6" SCHEDULE 40 PVC OR APPROVED EQUAL)
7. ALL CABLE/POWER UTILITIES TO BE INSTALLED UNDERGROUND ONSITE

LEGEND	DESCRIPTION
PEOP	PROPOSED EDGE OF PAVEMENT
PVGC	PROPOSED VERTICAL GRANITE CURB
■	PROPOSED CATCH BASIN (PCB)
⊙	PROPOSED DRAIN MANHOLE (PDMH)
— PD —	PROPOSED DRAIN LINE
— PS —	PROPOSED SEWER LINE
— PWS —	PROPOSED WATER SERVICE
— PSS —	PROPOSED SEWER SERVICE
▲	PROPOSED FIRE HYDRANT
⊙	PROPOSED SEWER MANHOLE (PSMH)
— PW —	PROPOSED WATER LINE

329 MASS AVE
LEXINGTON, MA
DRAWN BY: MVC
CHECKED BY: MIN
DATE: 3-5-2025

REVISIONS	DESCRIPTION
DATE	BY

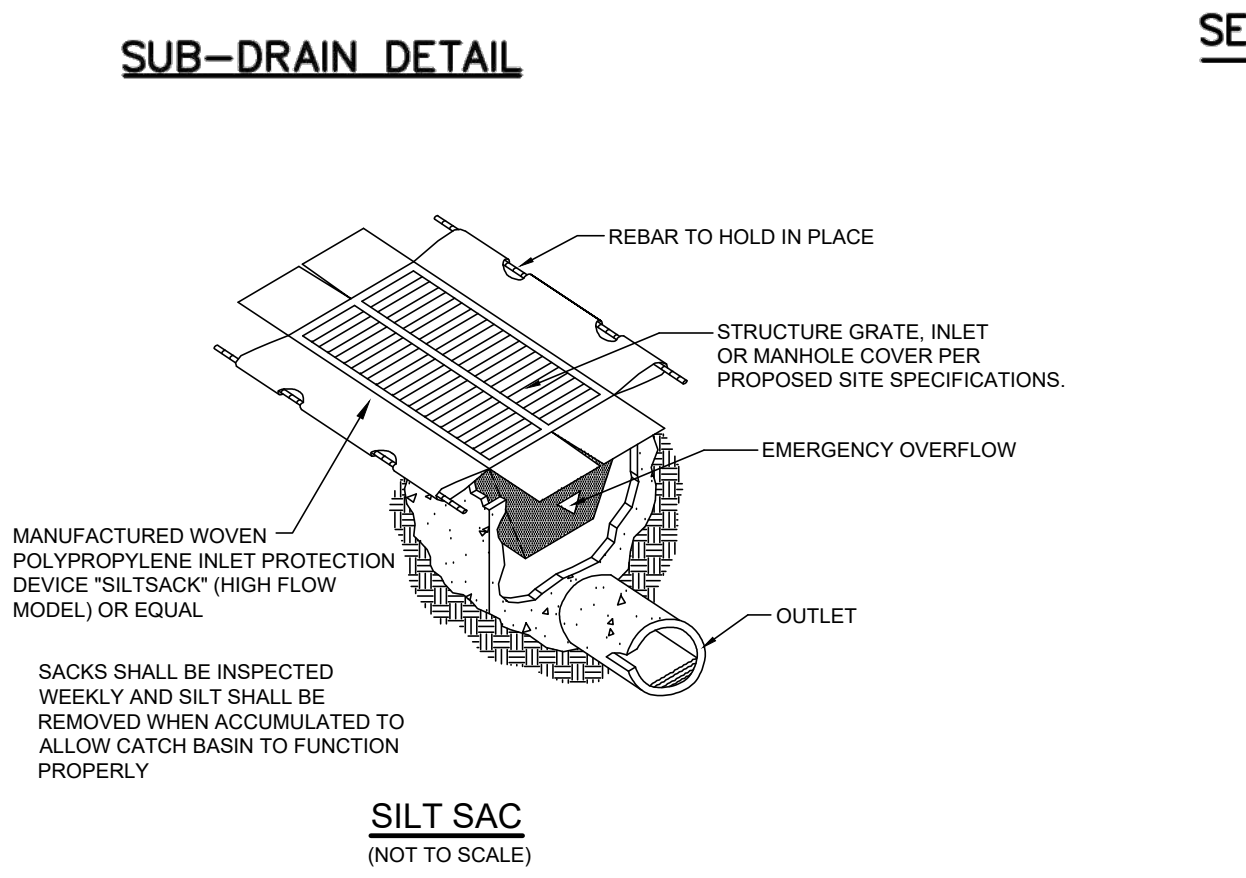
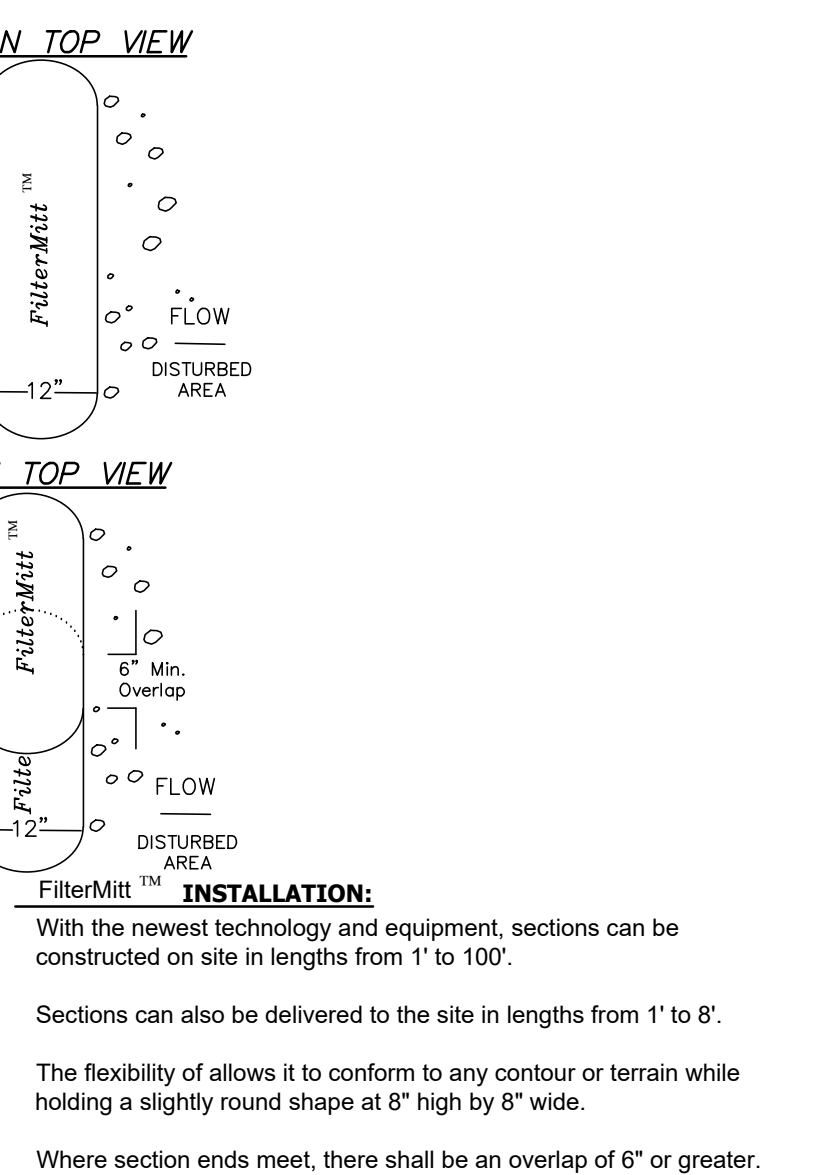
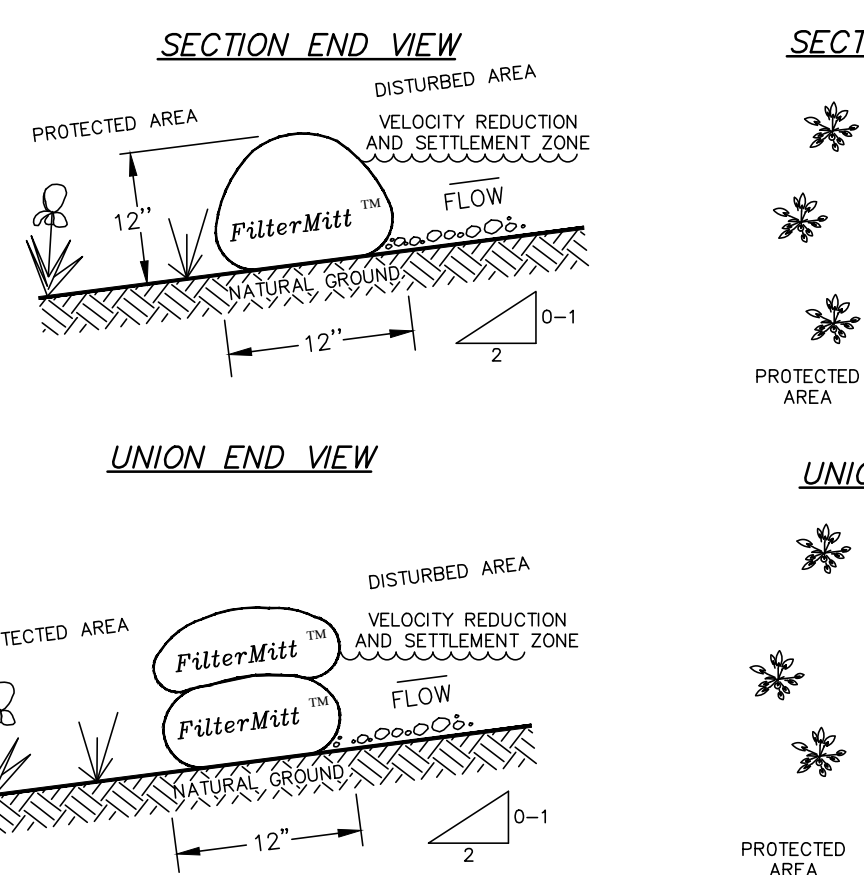
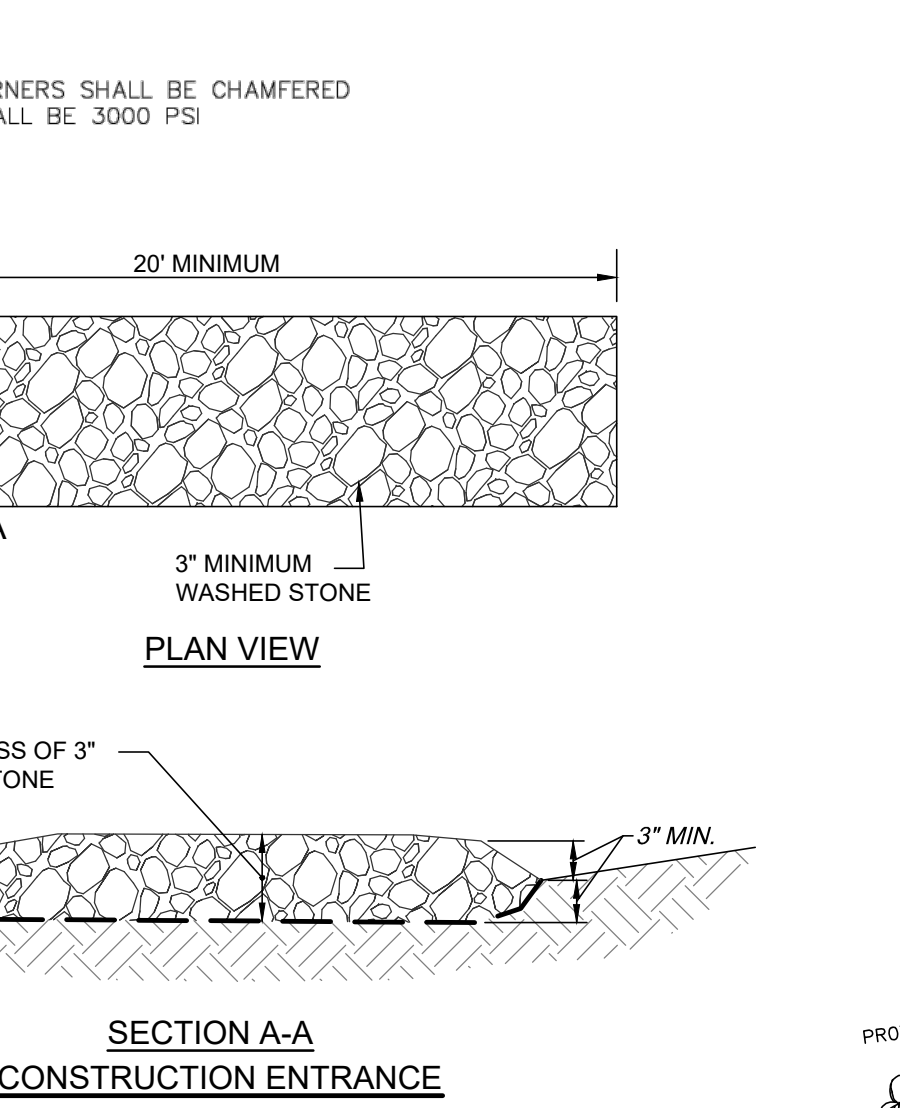
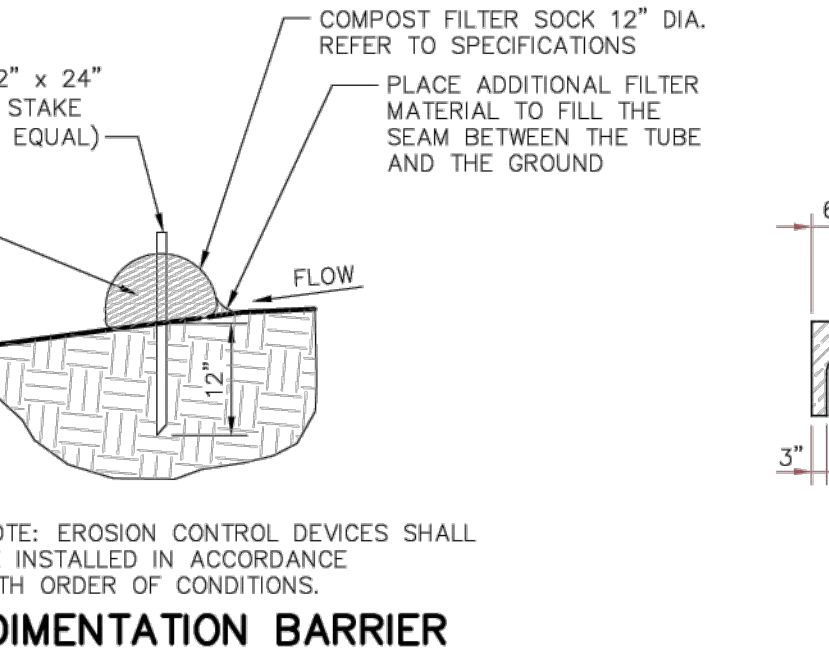
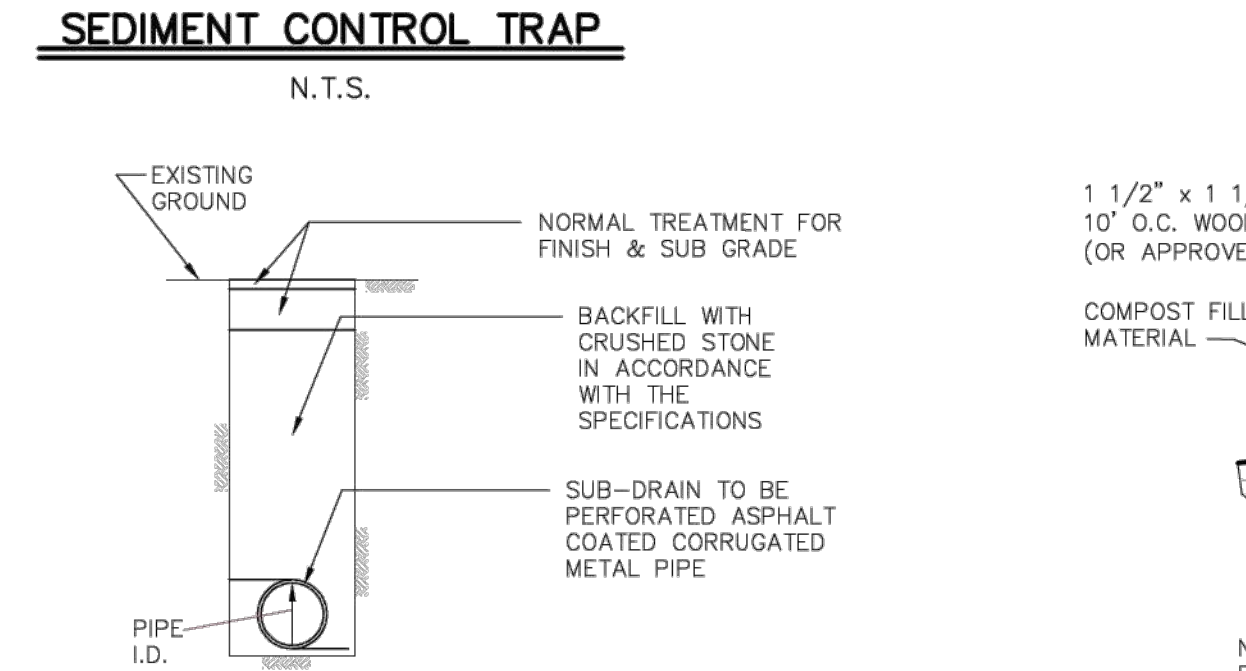
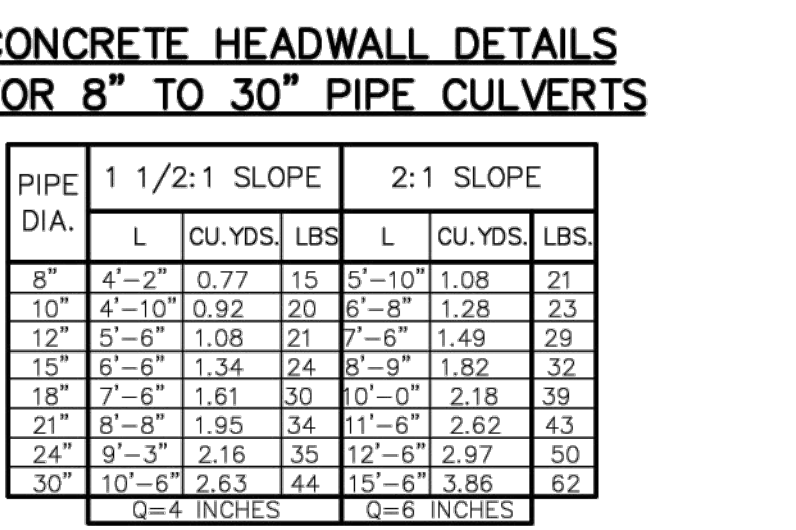
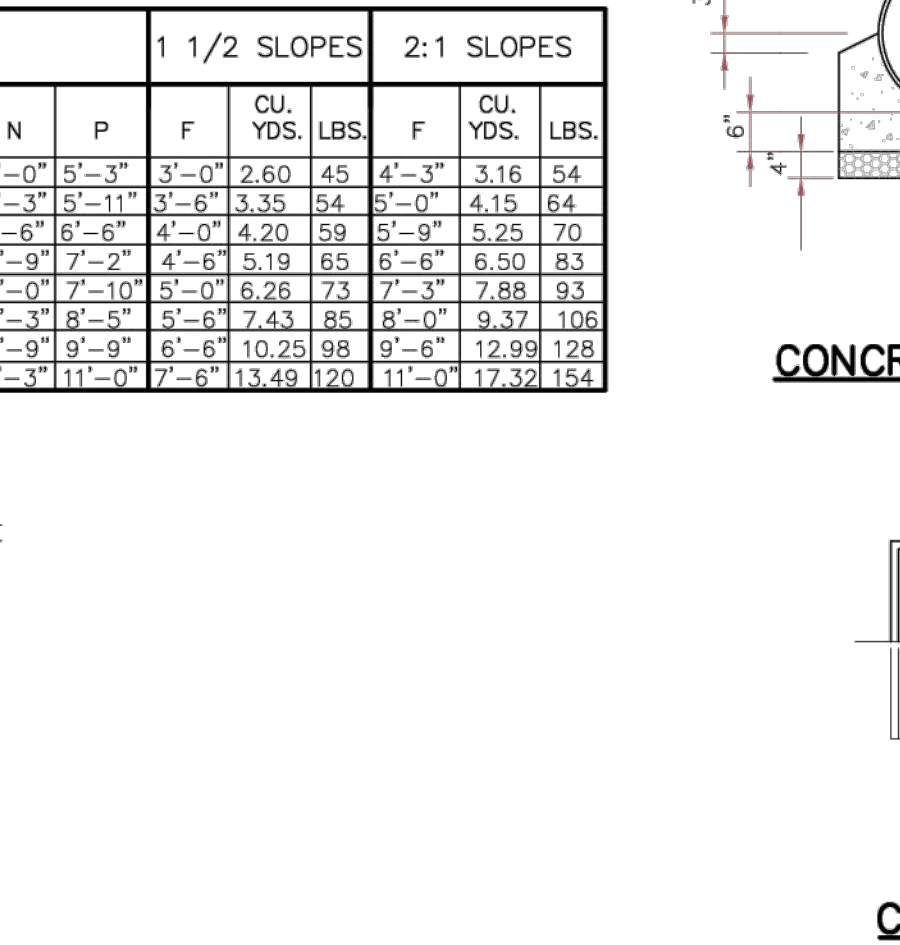
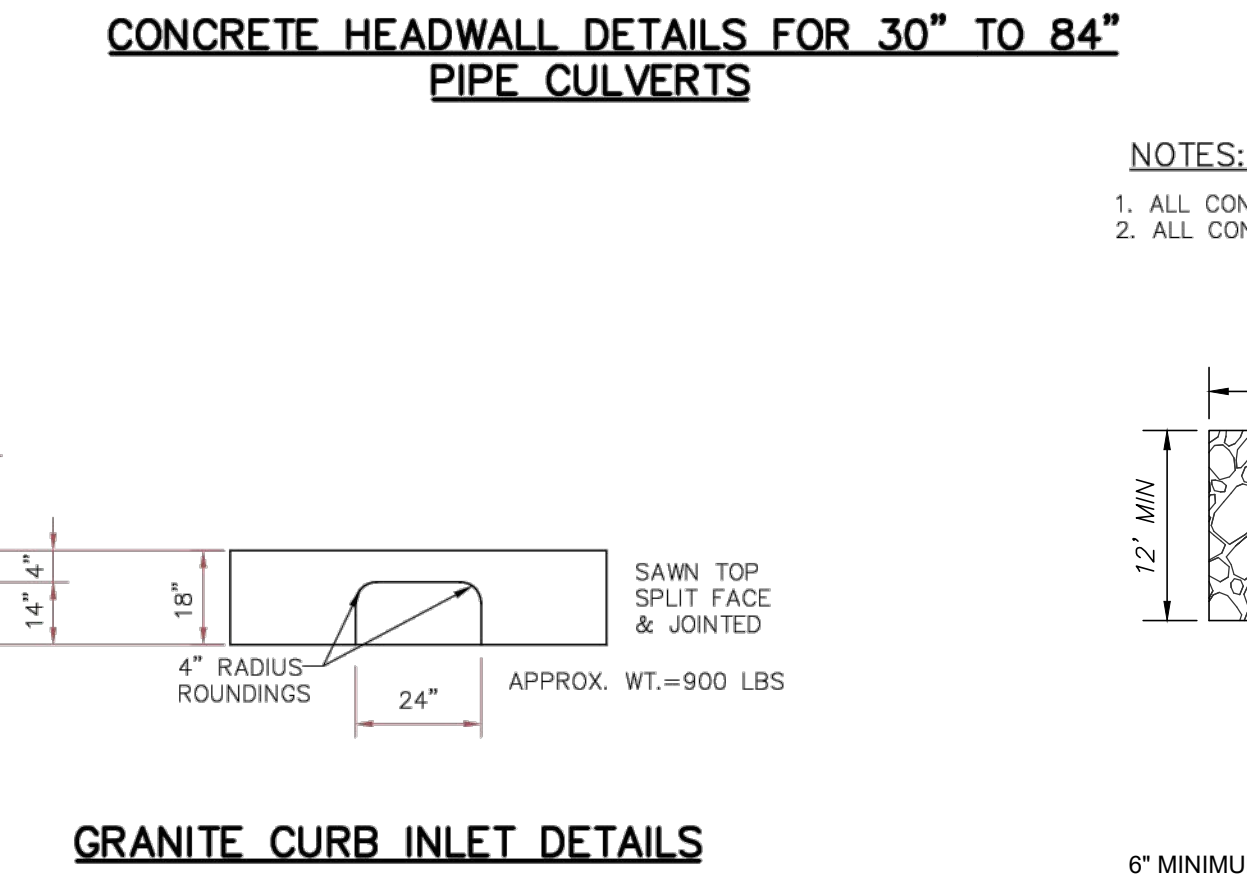
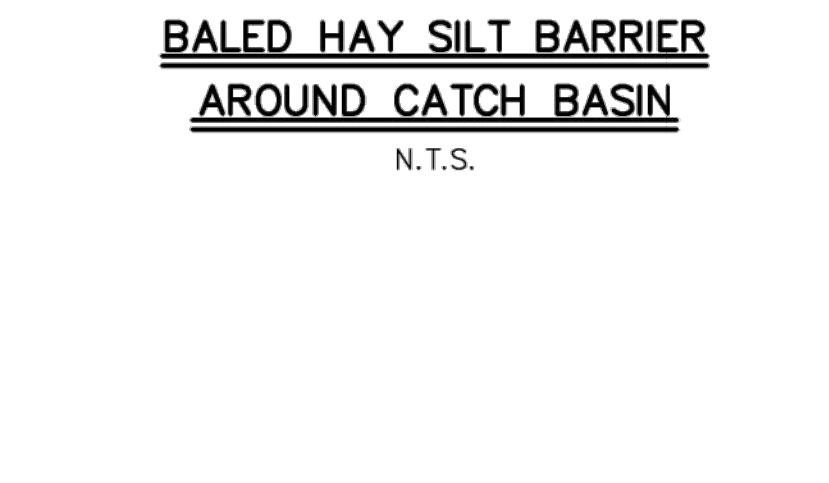
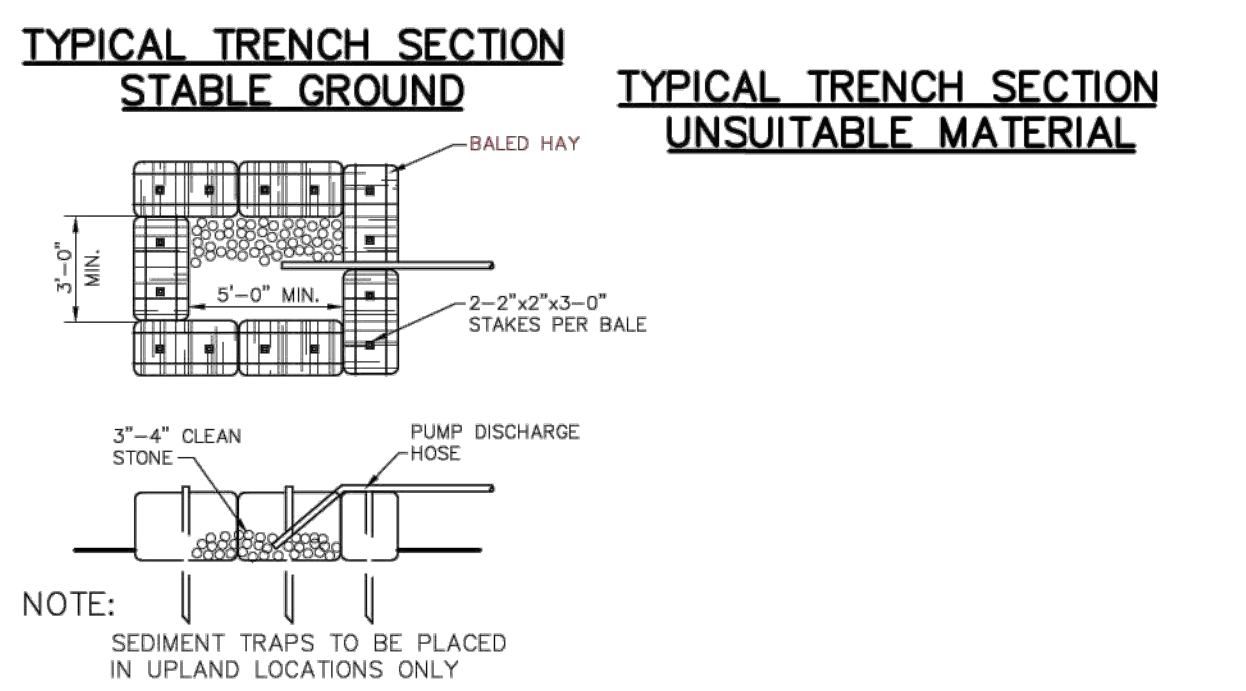
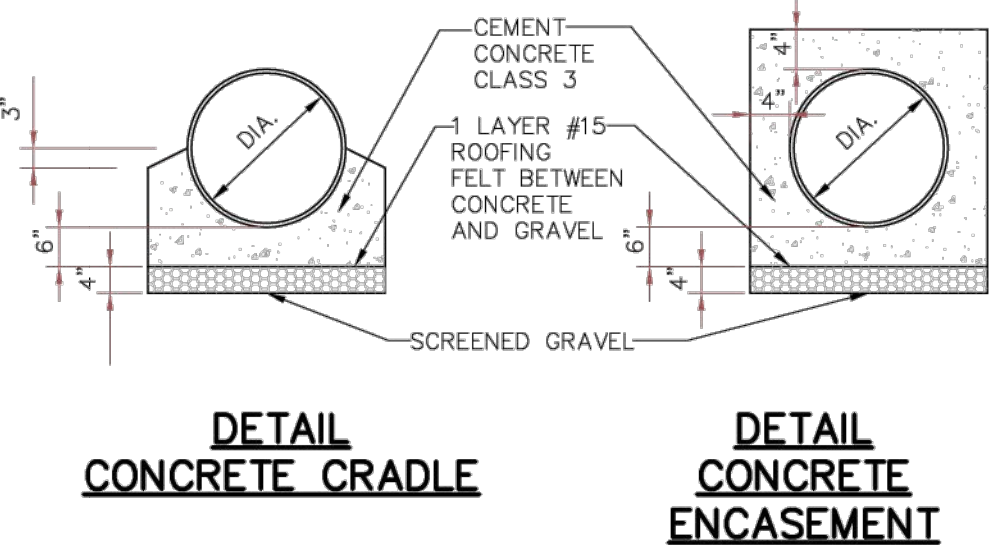
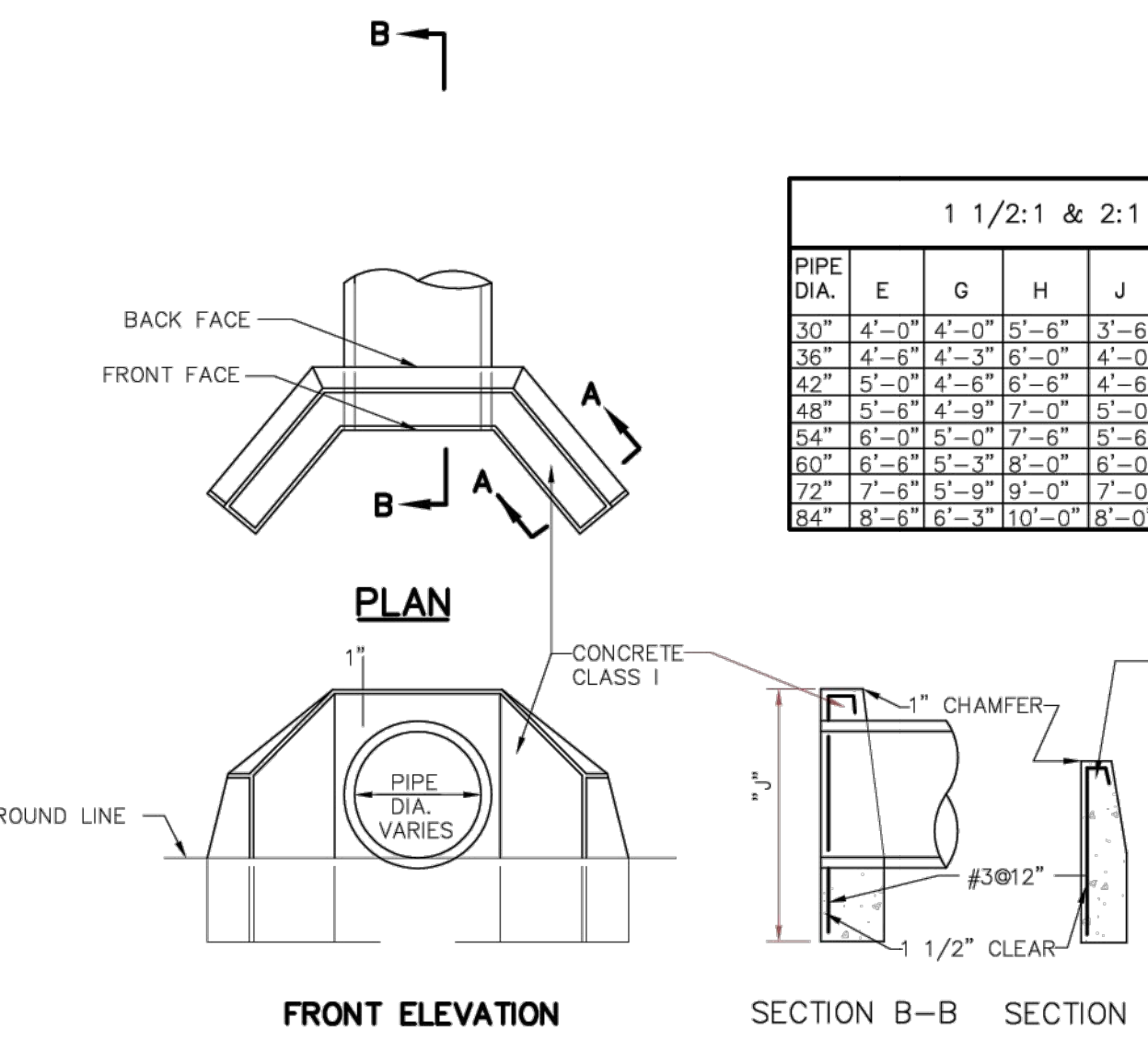
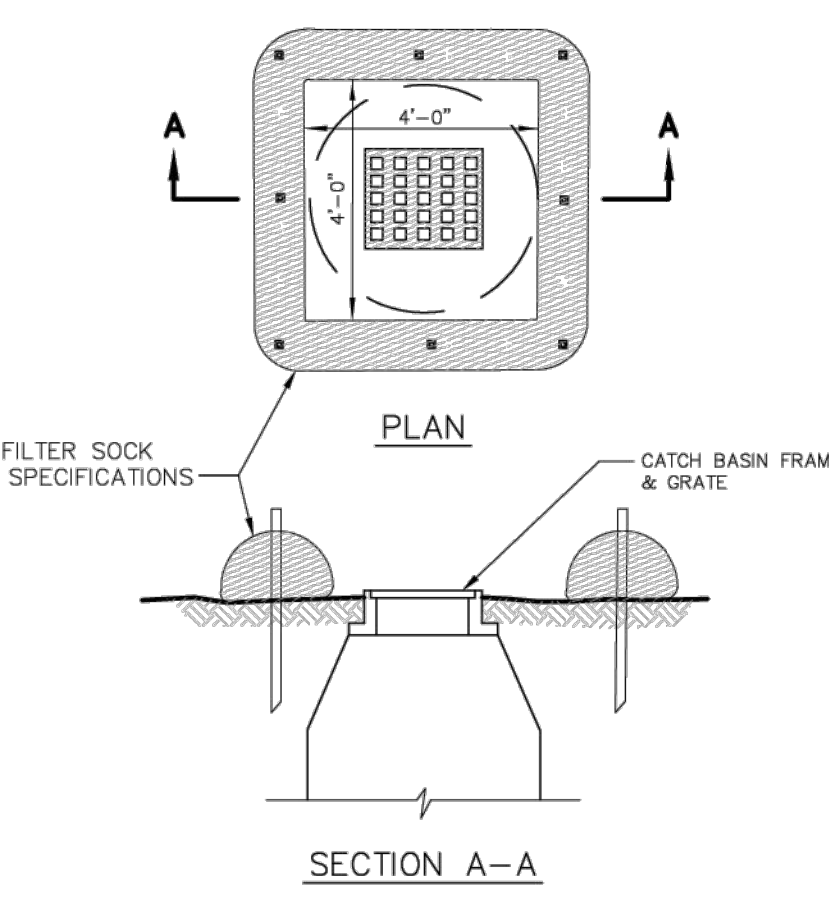
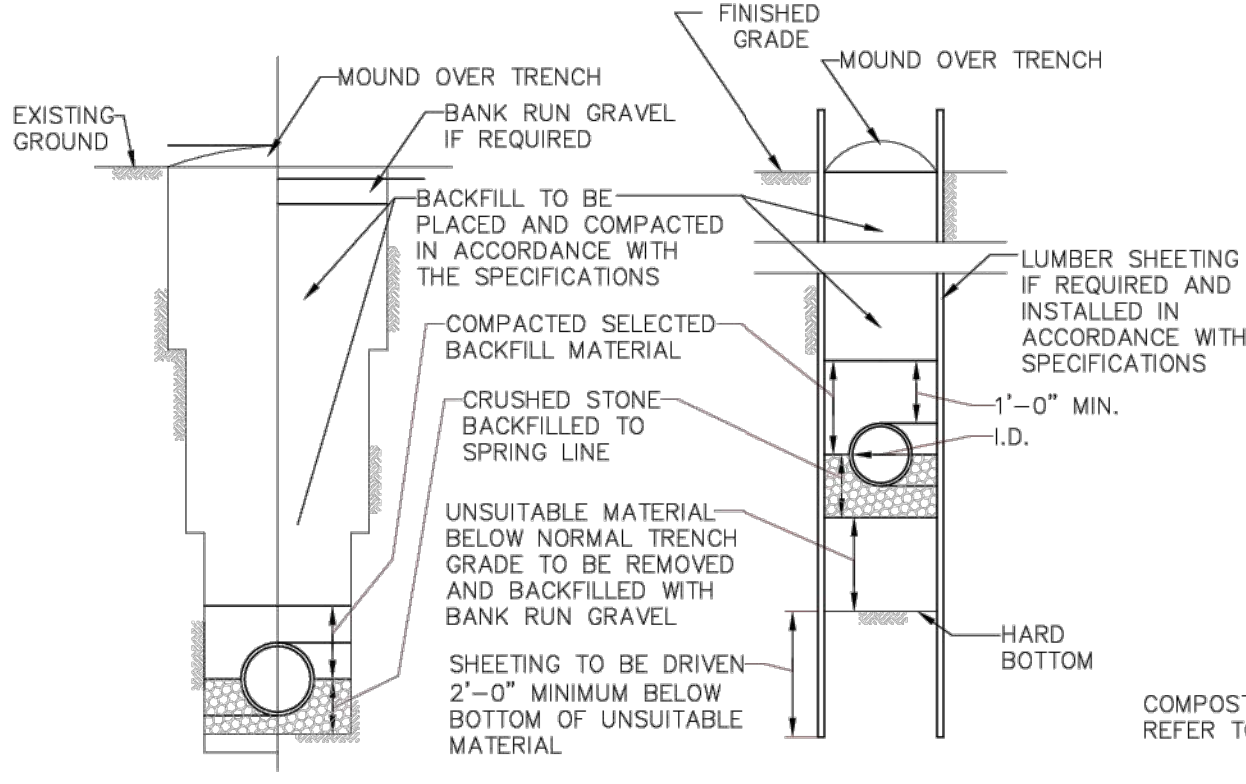
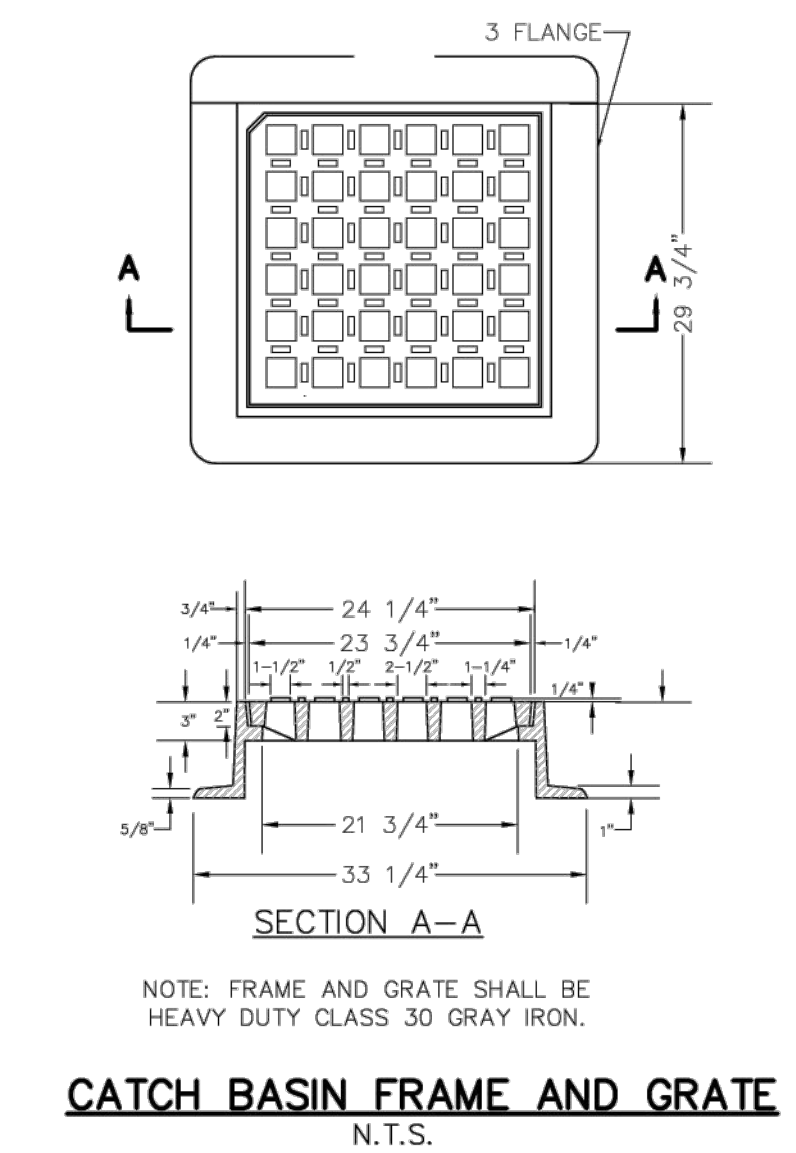
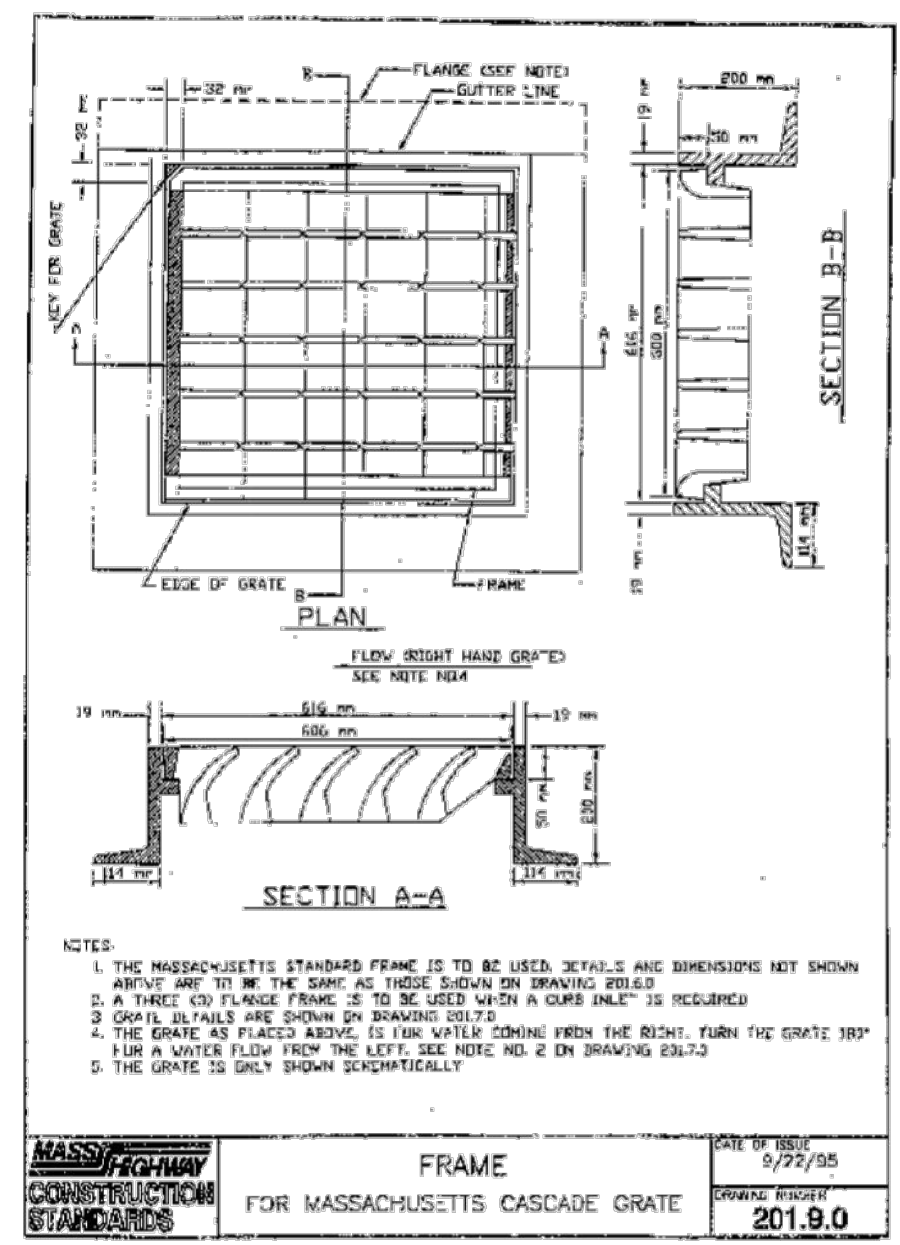
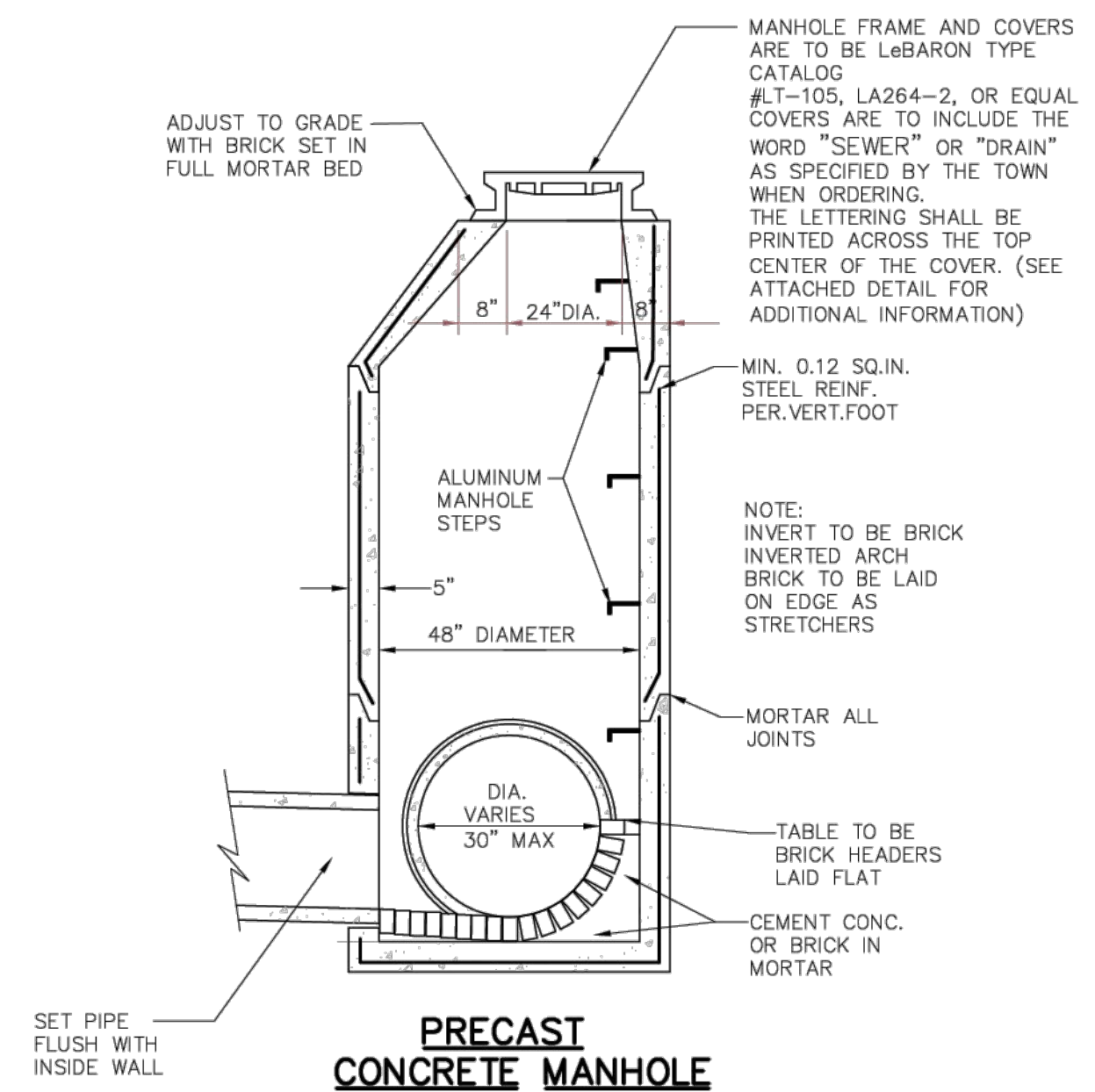
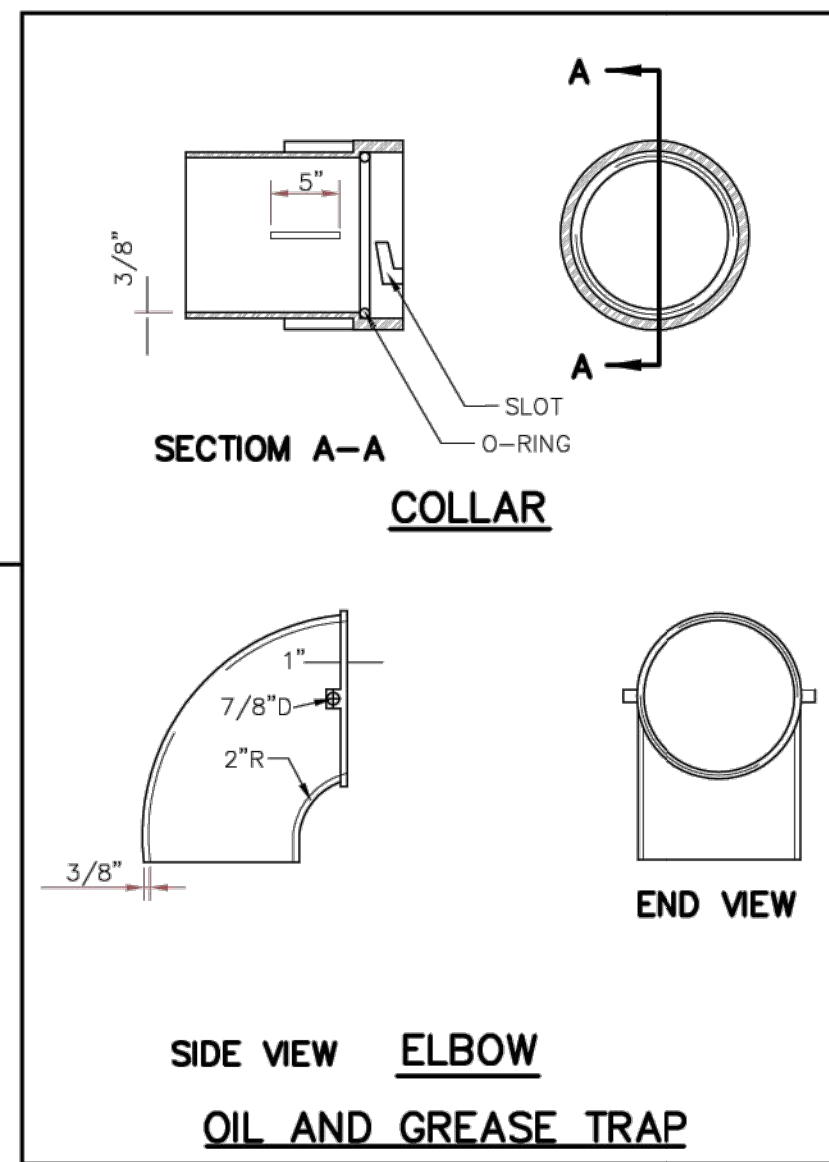
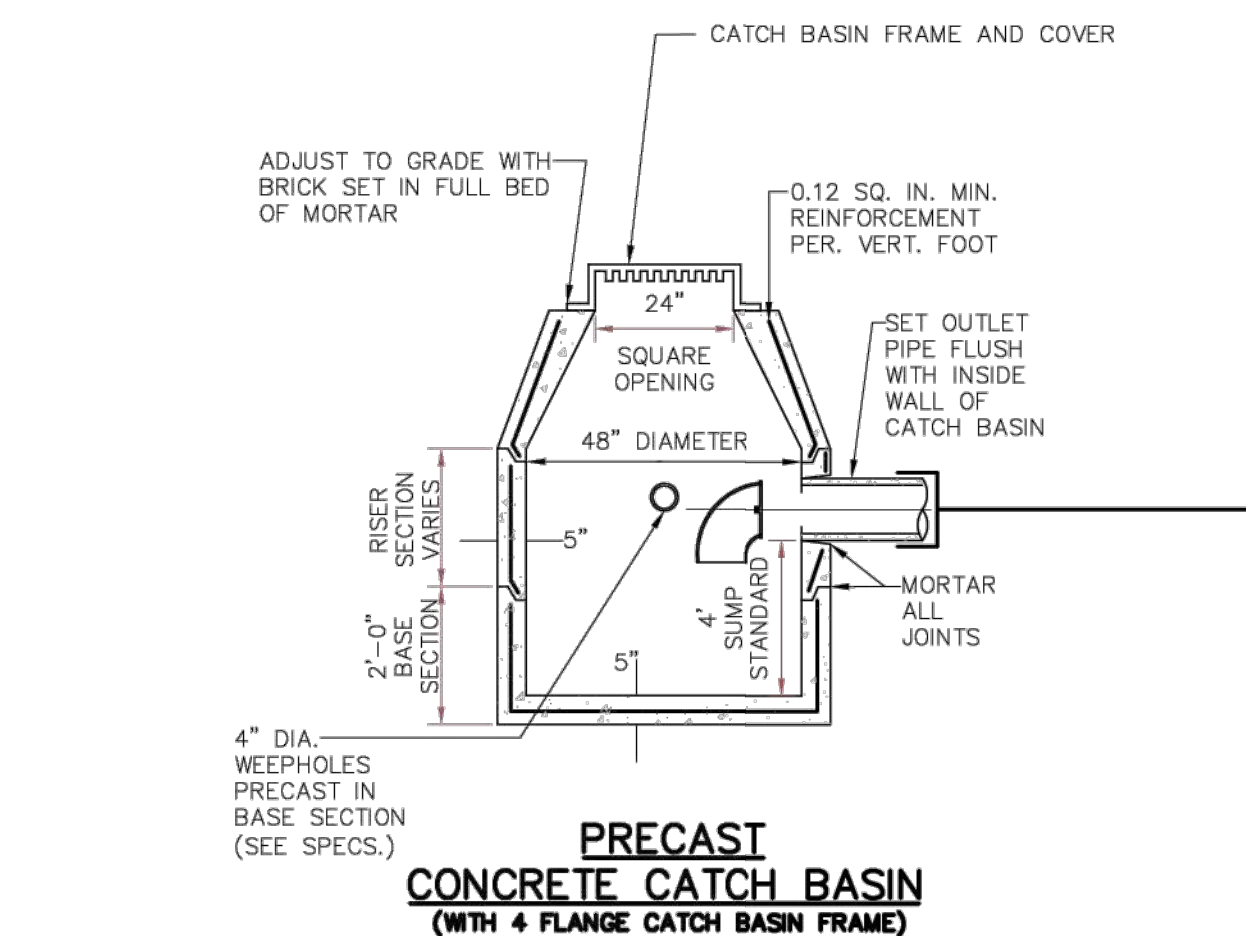


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SITE PLAN - UTILITY
LOCATED IN
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(MIDDLESEX COUNTY)
PREPARED FOR
SEAN MALONEY TRUSTEE

ALL UNDERGROUND UTILITY DATA REPRESENTS RECORD INFORMATION RECOVERED THROUGH RESEARCH WITHOUT SURFACE DEMARCATION NOR SUBSURFACE VERIFICATION.

NOT FOR CONSTRUCTION



ALL DETAILS ARE NOT TO SCALE

FILTERMITT 2:1 SLOPES OR LESS

NOT FOR CONSTRUCTION

329 MASS AVE
LEXINGTON, MA

DATE: 03-05-2025
DRAWN BY: MVC
CHECKED BY: MJN

REVISIONS

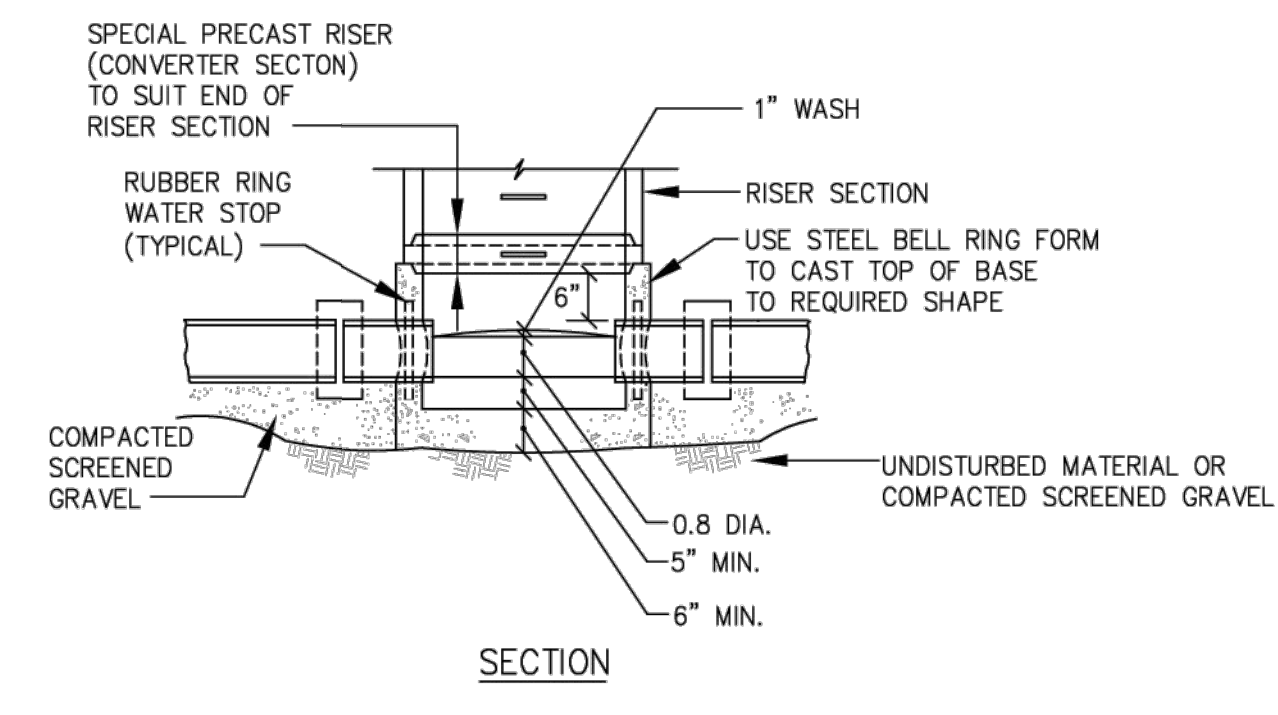
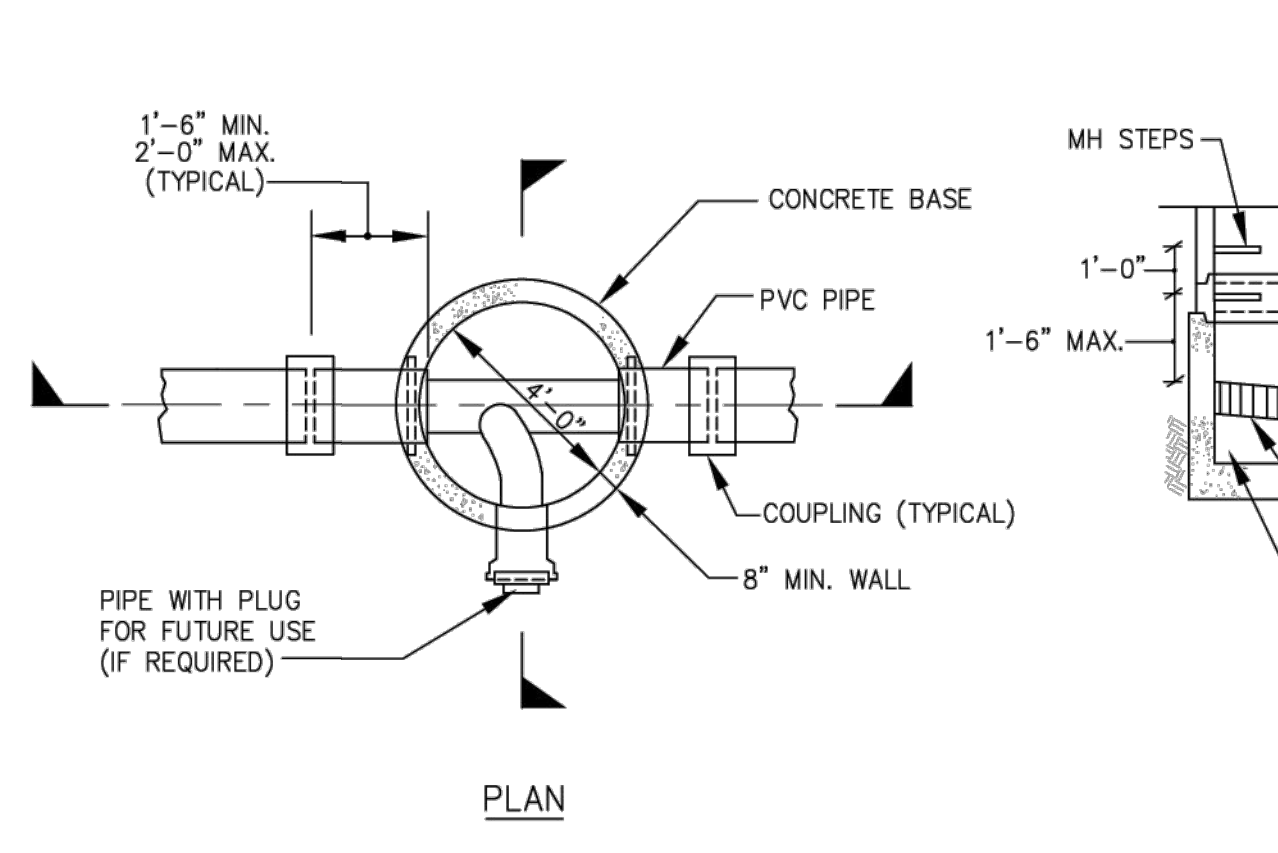
DATE	BY	DESCRIPTION

MASSACHUSETTS PROFESSIONAL ENGINEERING SEAL
MICHAEL J. NOVAK
No. 50696
EXPIRES 03/05/2025

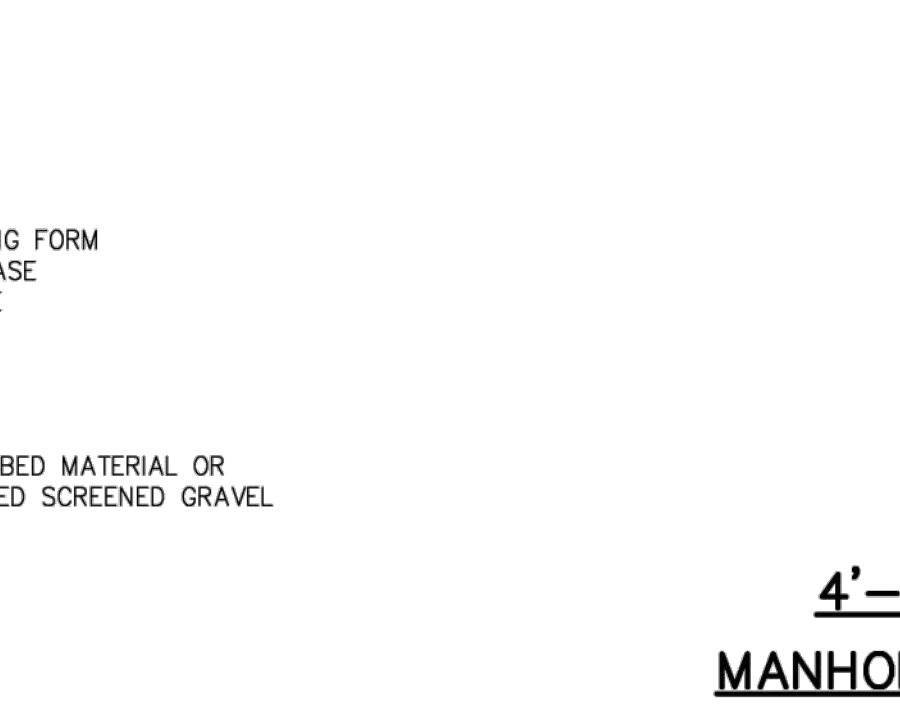
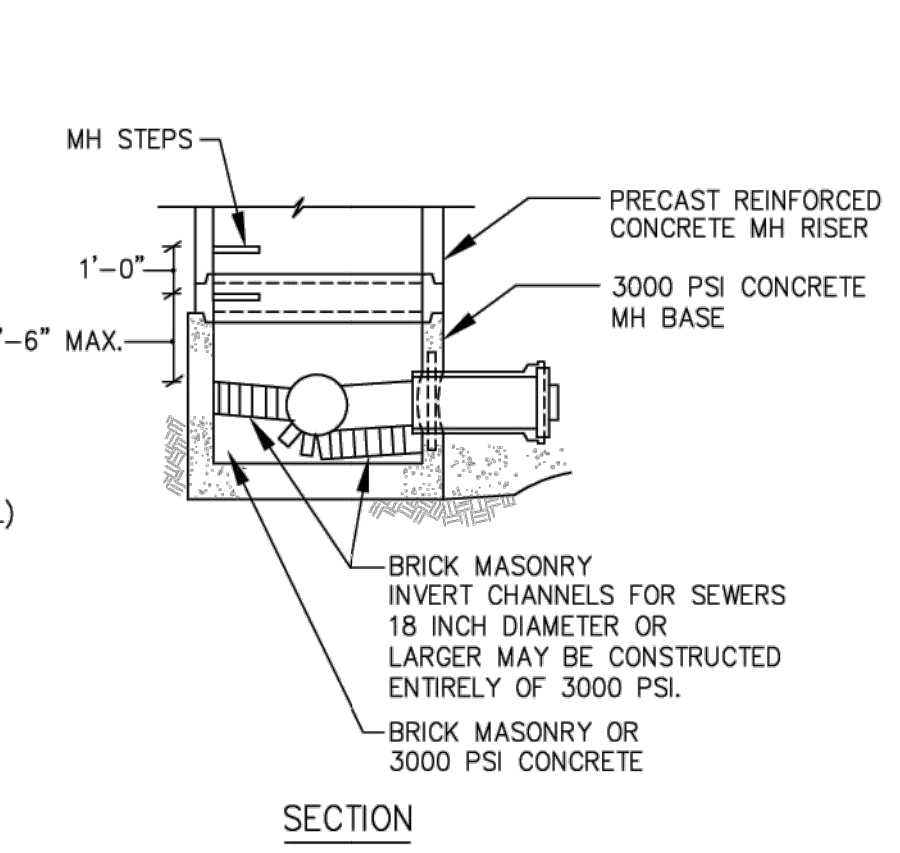
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DETAILS LOCATED IN LEXINGTON, MA (MIDDLESEX COUNTY) PREPARED FOR SEAN MALONEY TRUSTEE

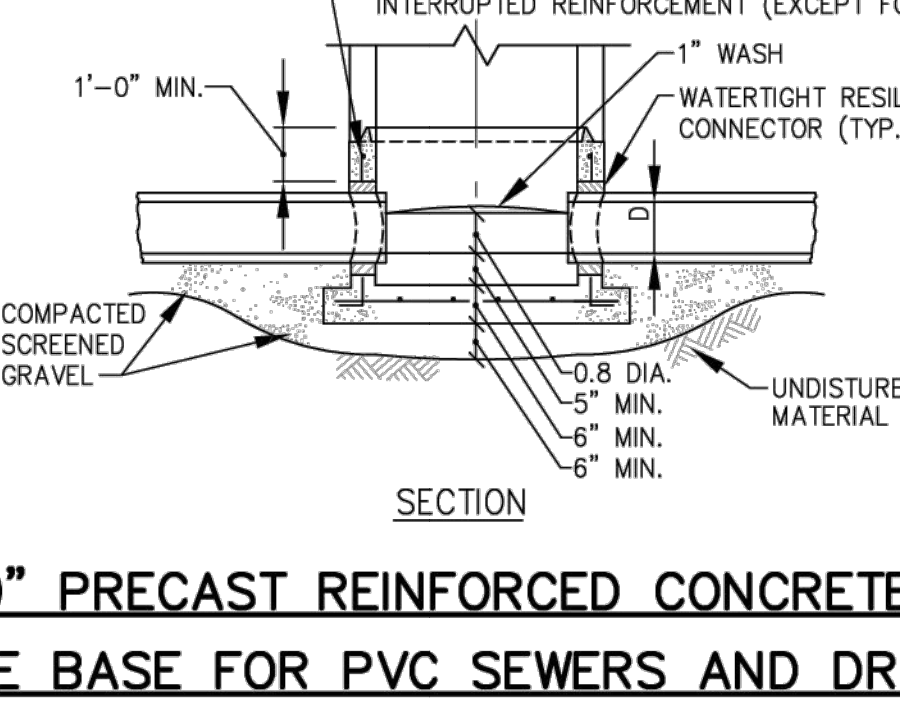
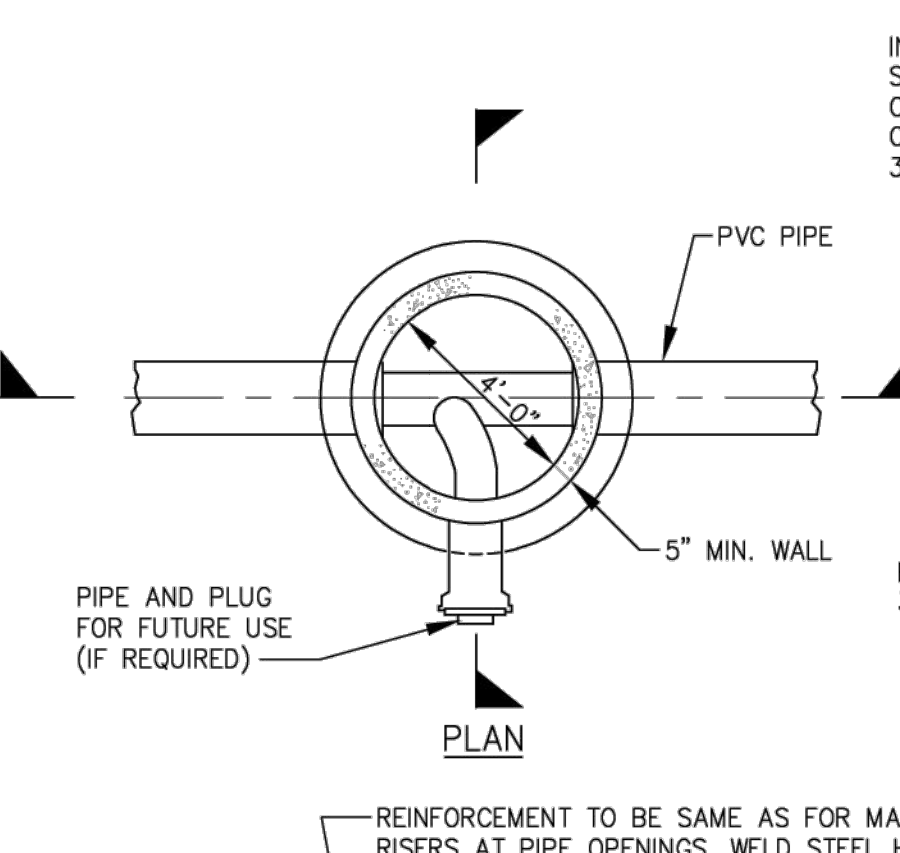
SHEET C-6.1



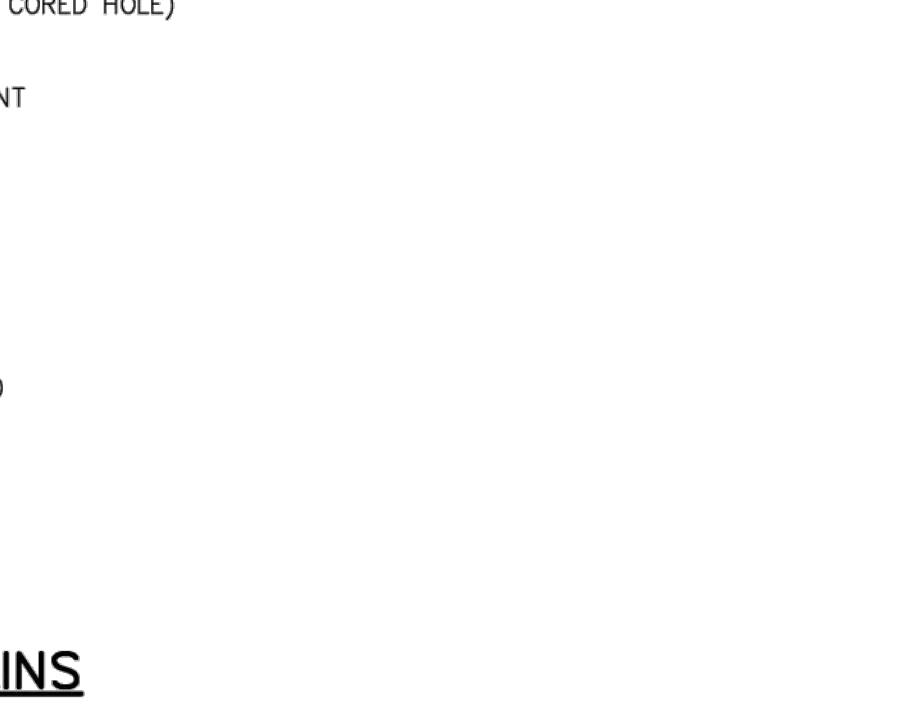
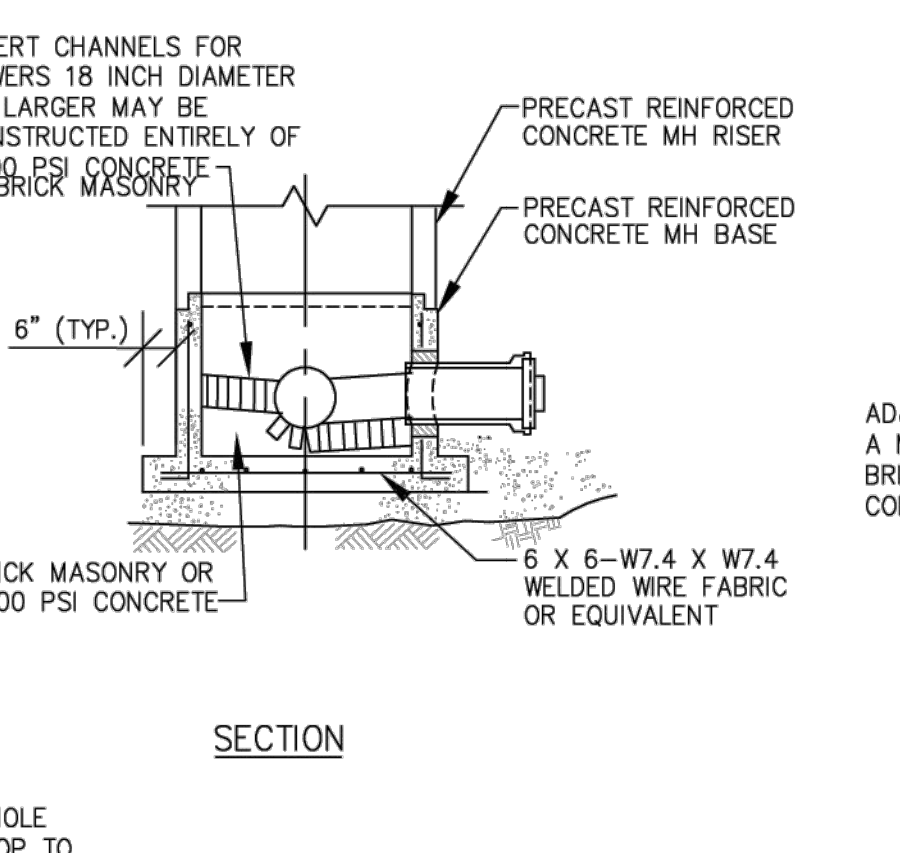
CAST-IN-PLACE CONCRETE BASE FOR PVC SEWERS
 NOT TO SCALE
 2-1.5.4 (REV. 03-15-95)



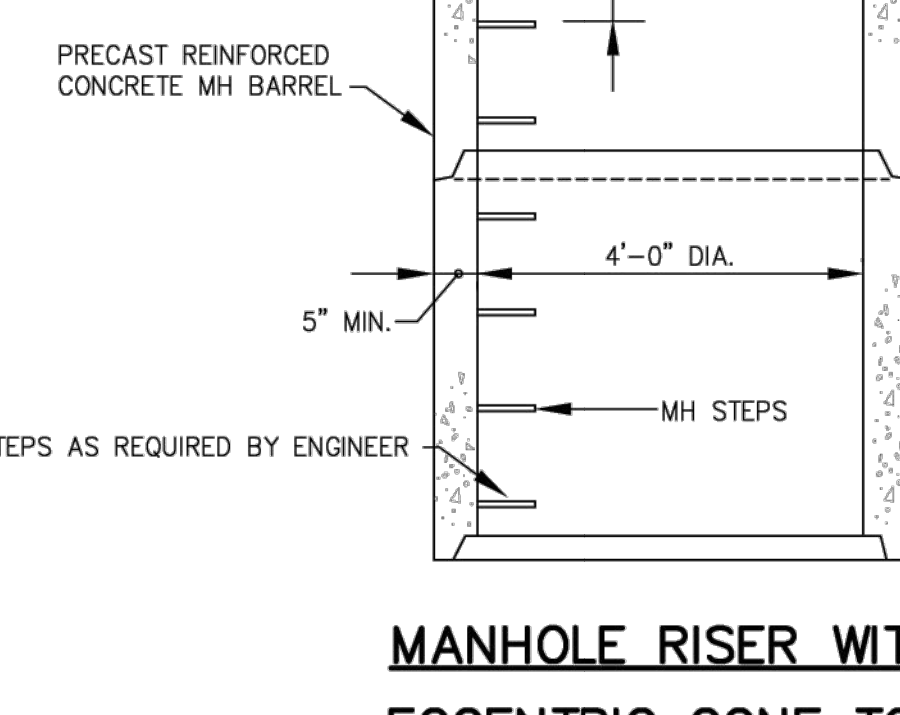
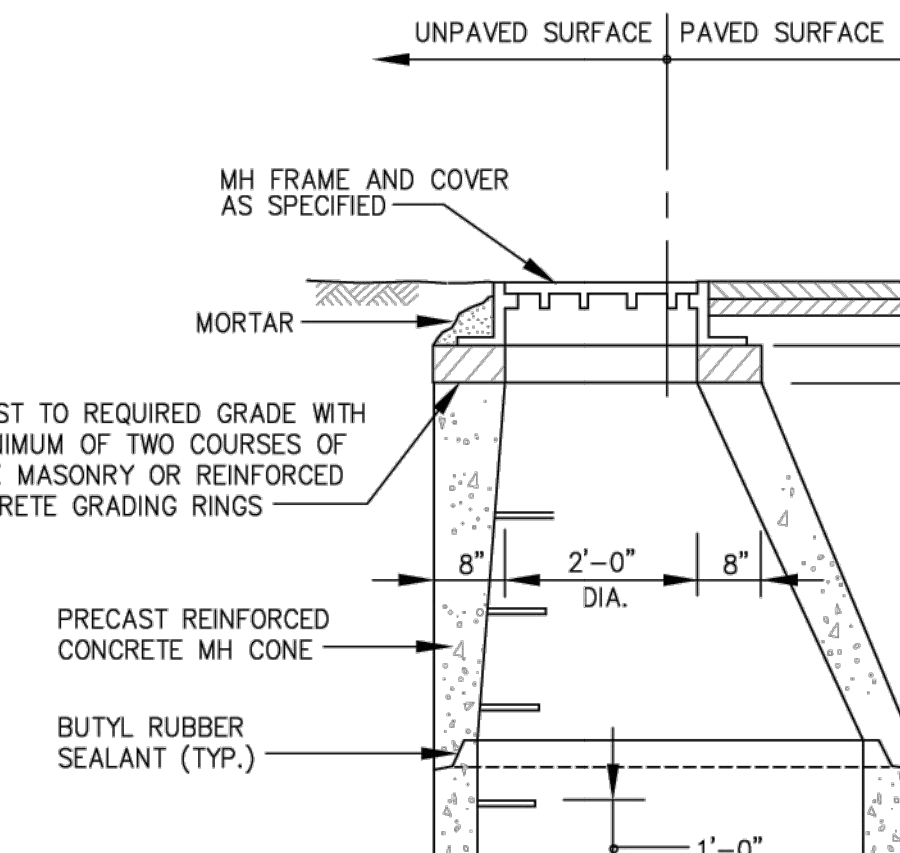
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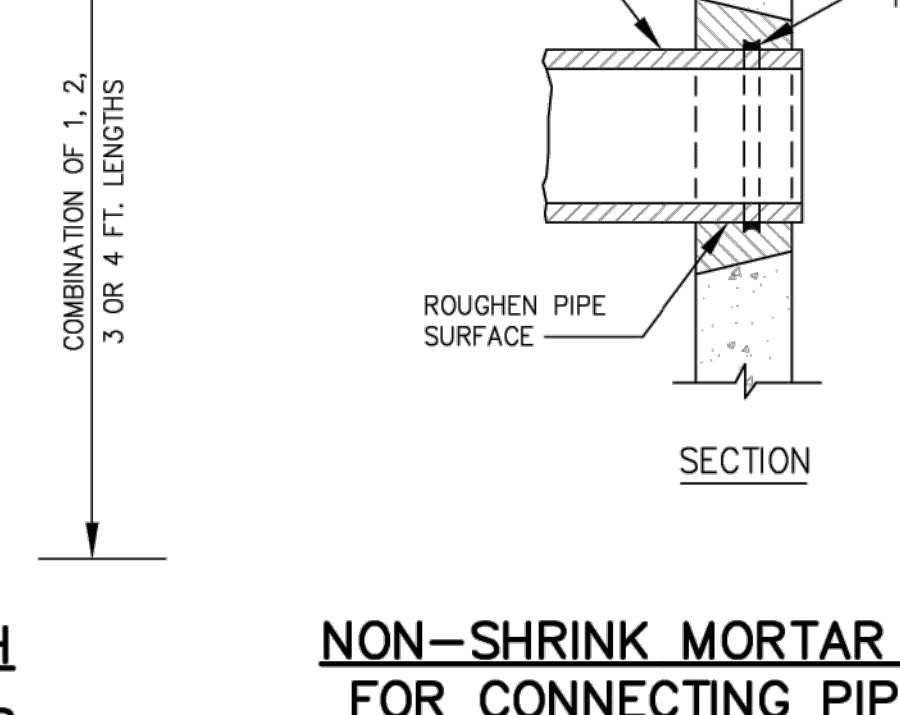
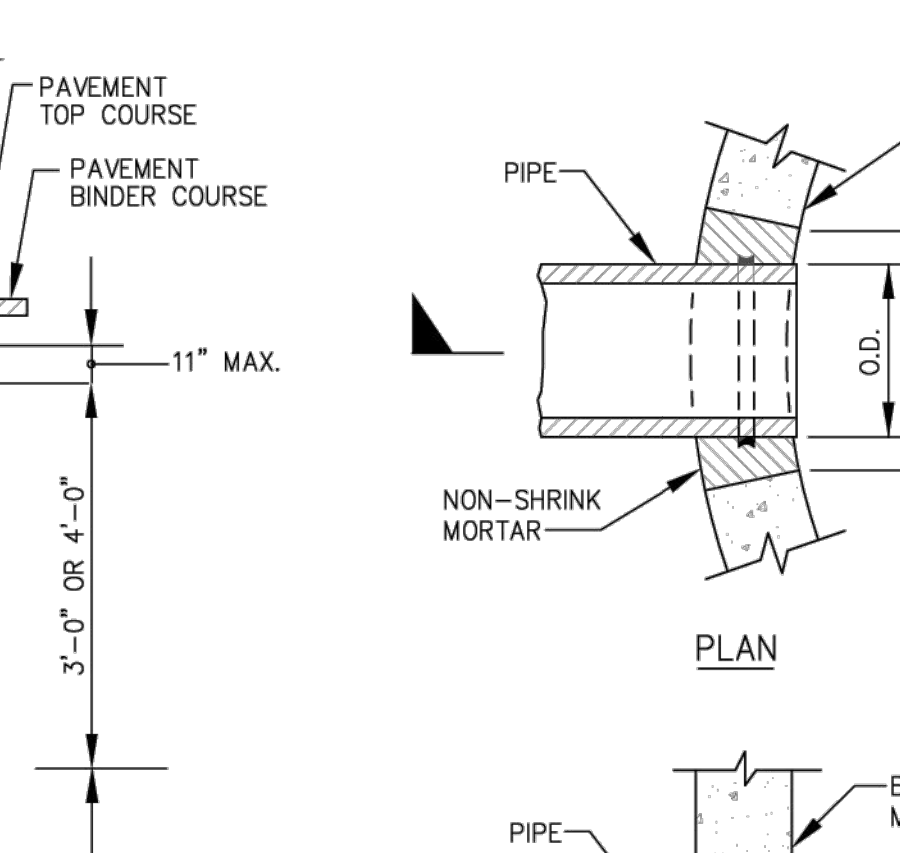
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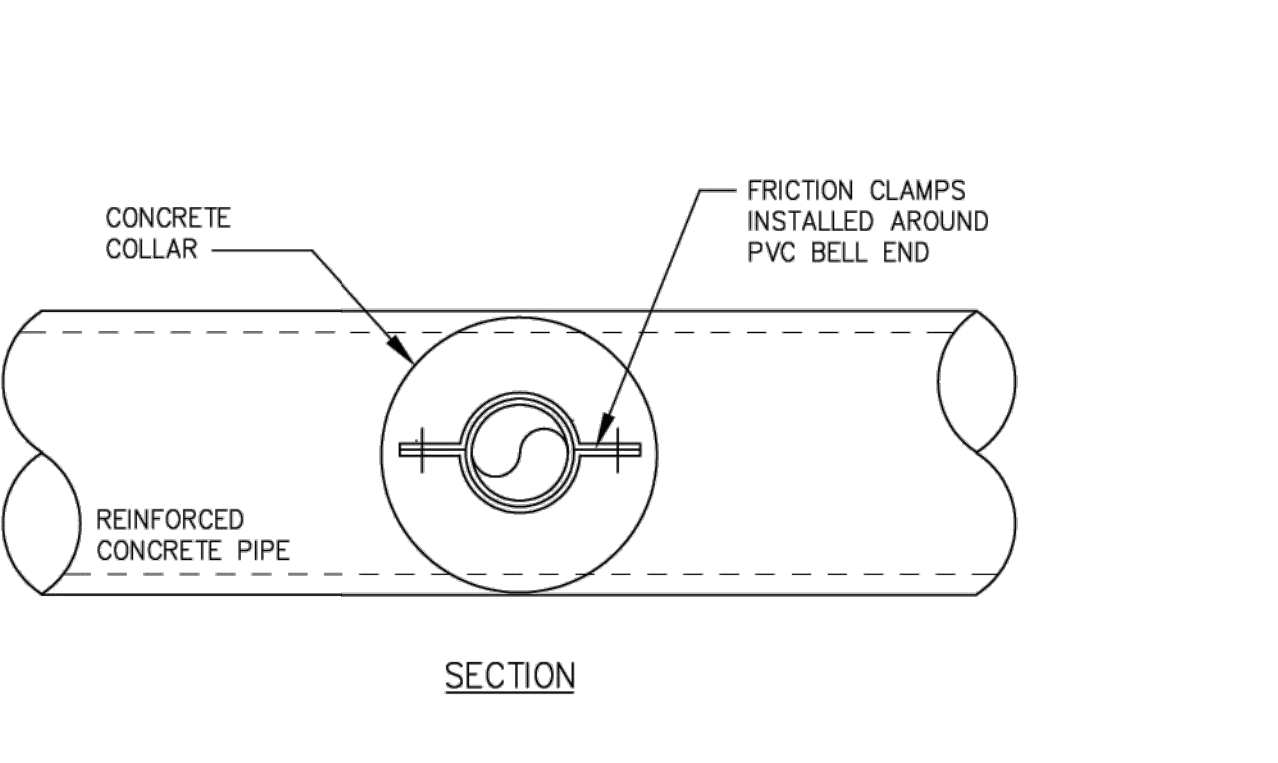
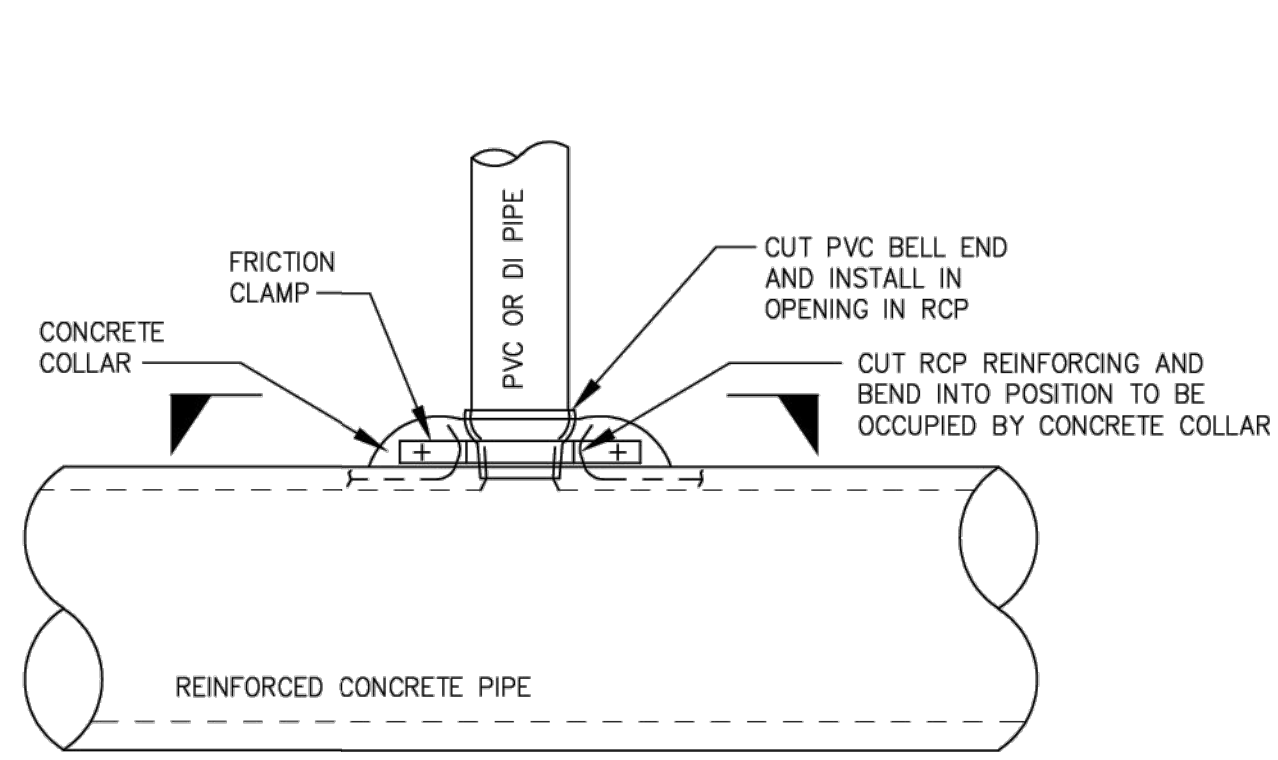
MANHOLE RISER WITH ECCENTRIC CONE TOP
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 2-1.5.41 (REV. 03-15-95)



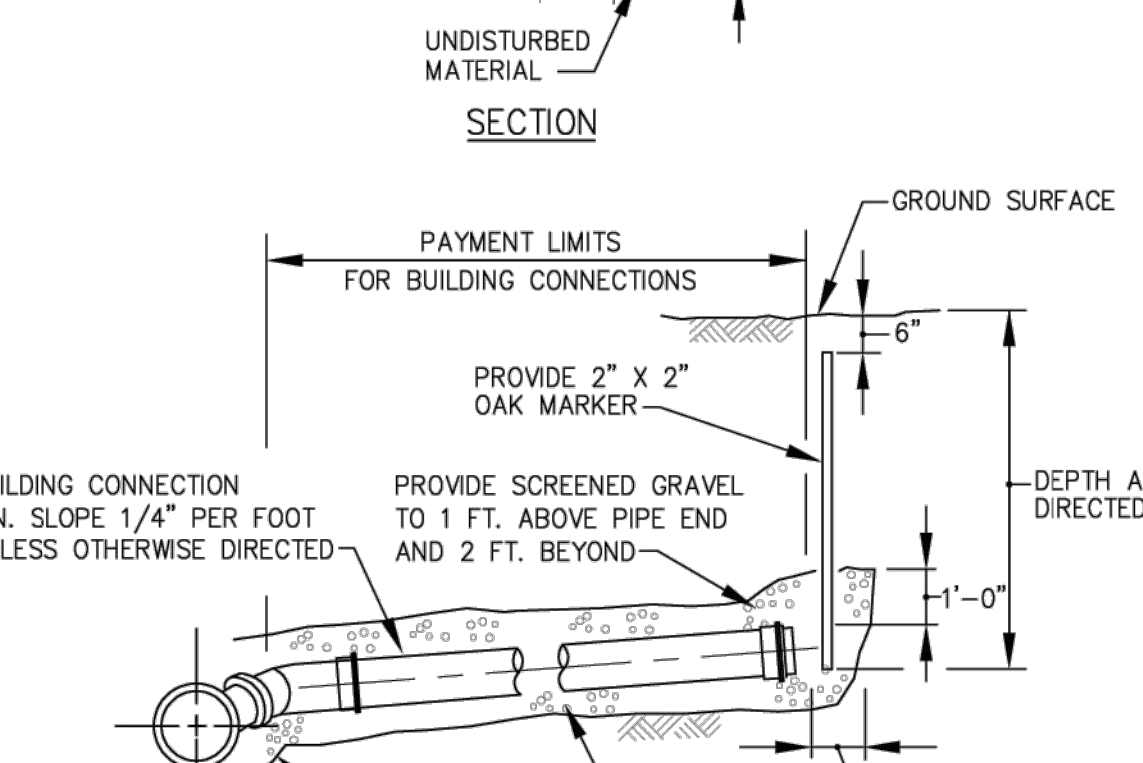
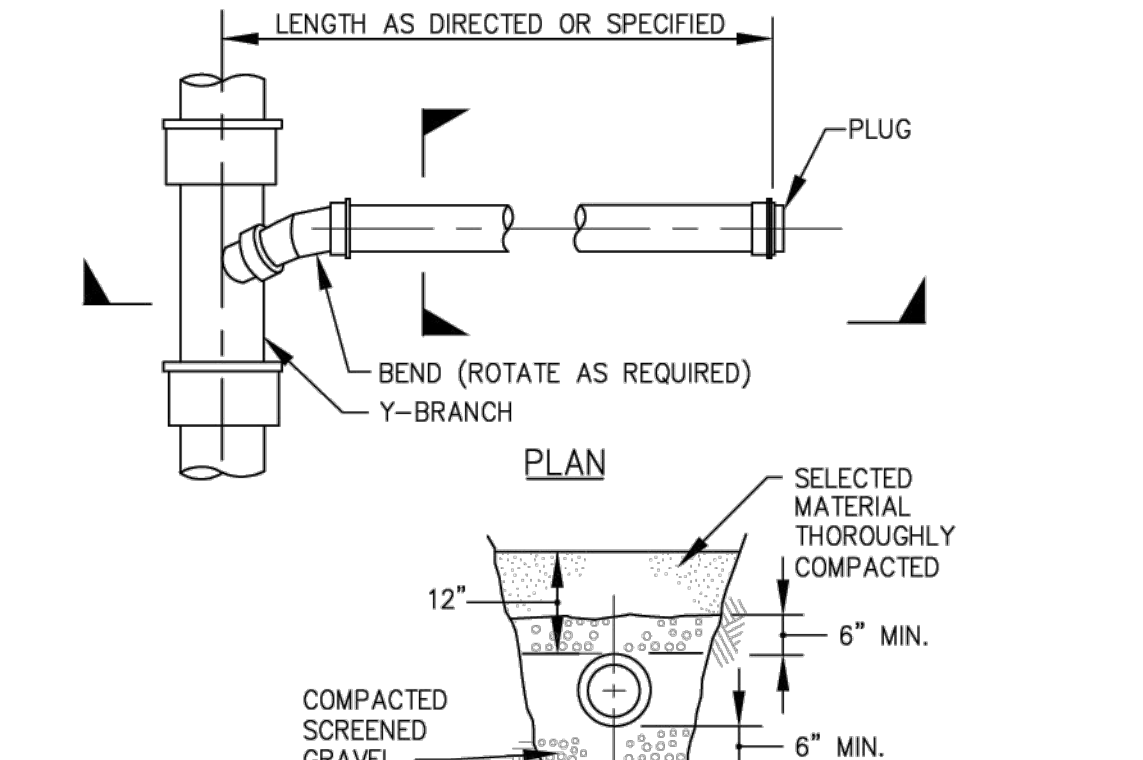
MANHOLE RISER WITH ECCENTRIC CONE TOP
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 2-1.5.41 (REV. 03-15-95)



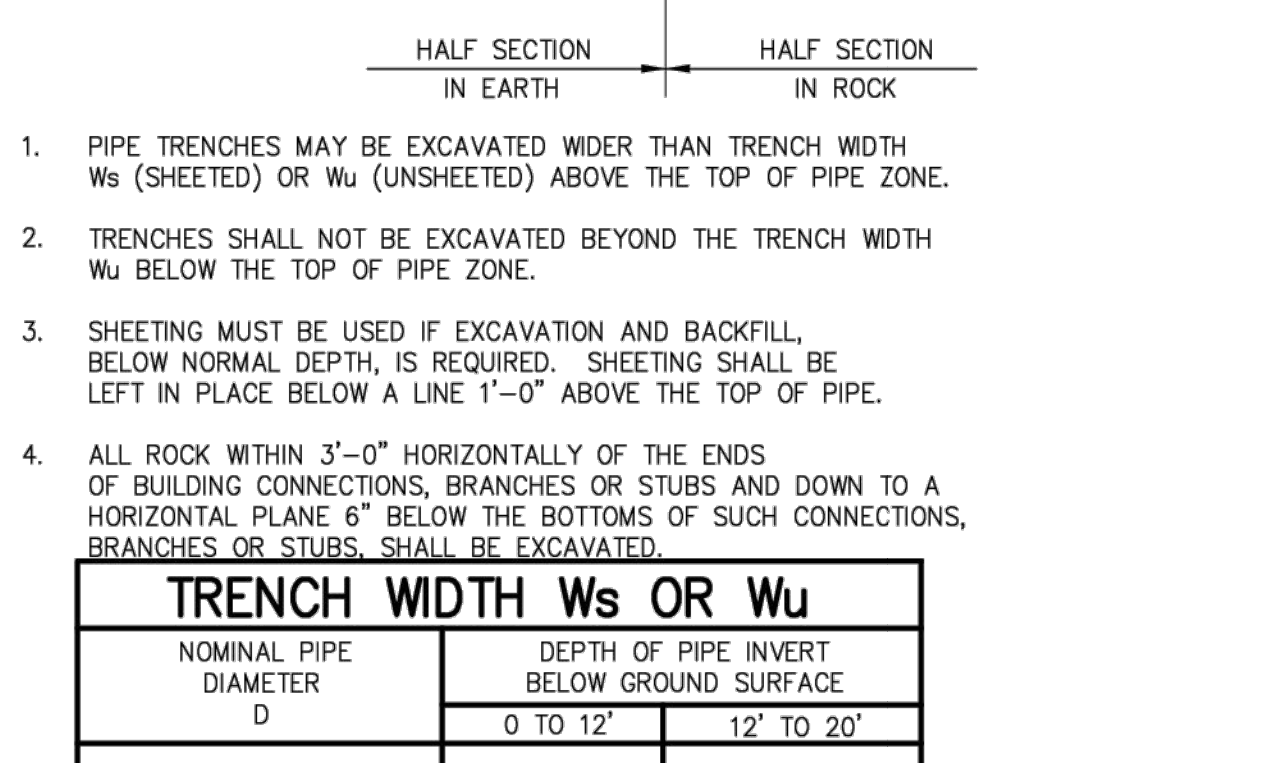
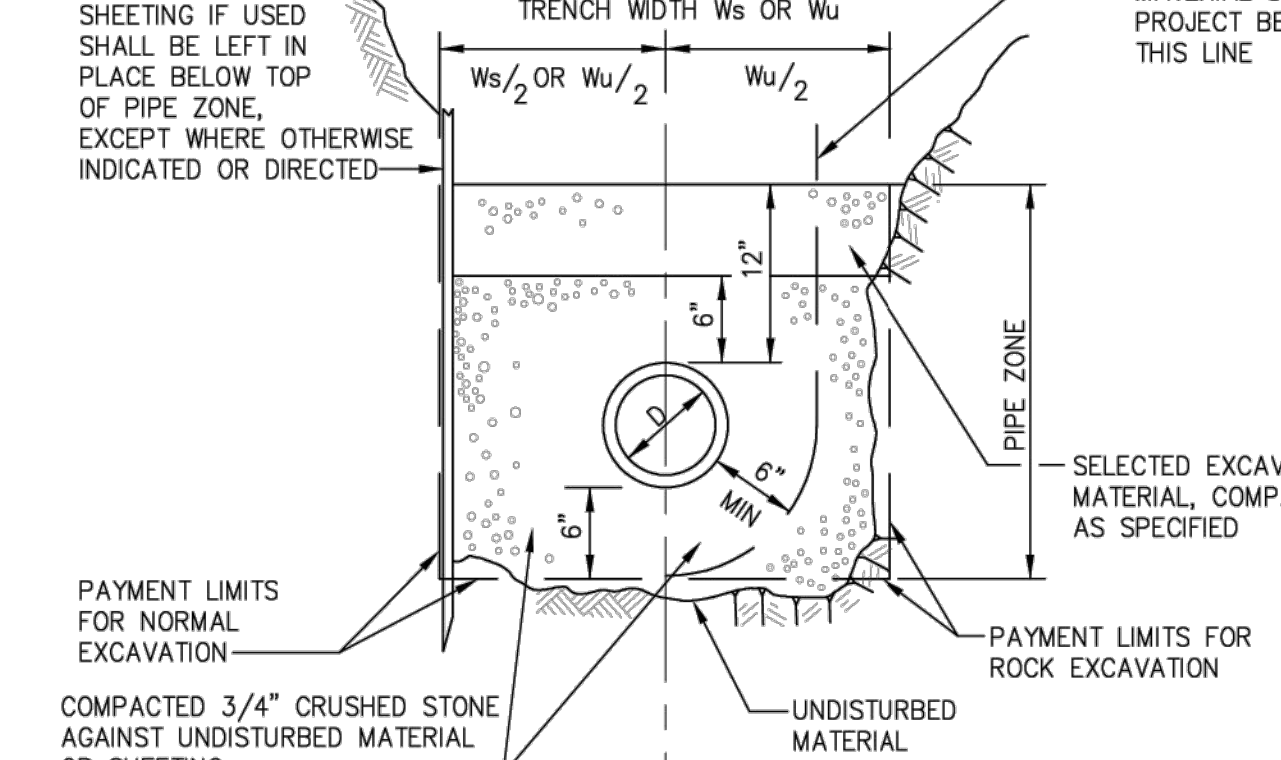
NON-SHRINK MORTAR JOINTS FOR CONNECTING PIPES TO BRICK OR BLOCK MASONRY MANHOLES
 NOT TO SCALE
 2-1.5.62 (REV. 4-5-96)



T-BRANCH FOR BUILDING OR CHIMNEY CONNECTION IN RC PIPE (PVC OR DI PIPE BRANCH)
 NTS
 2-1.2.15 (REV. 08-17-95)

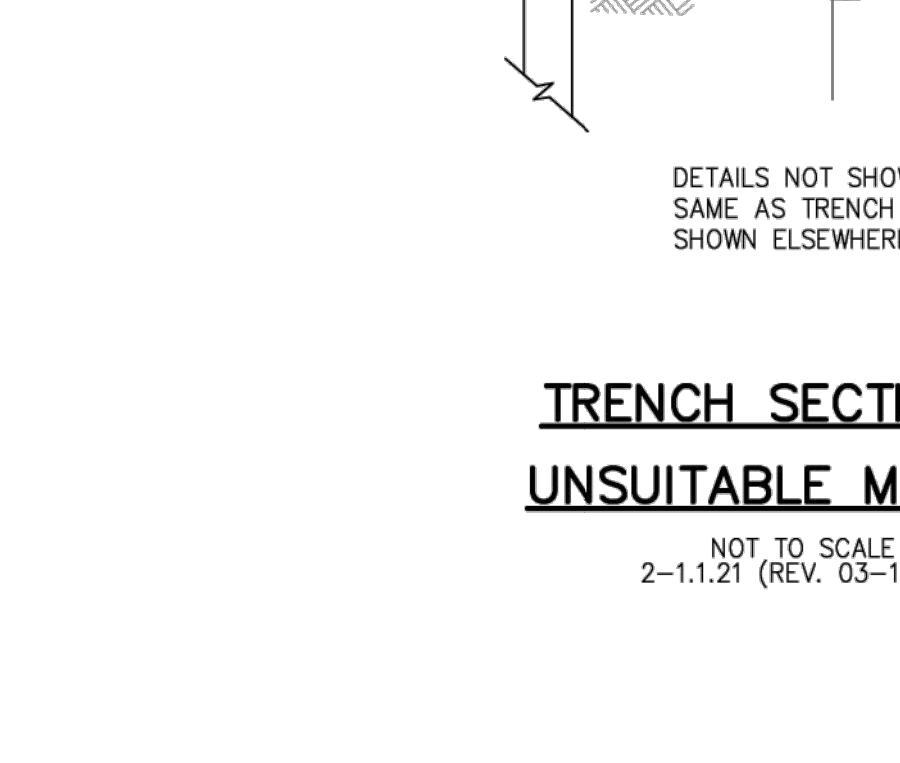
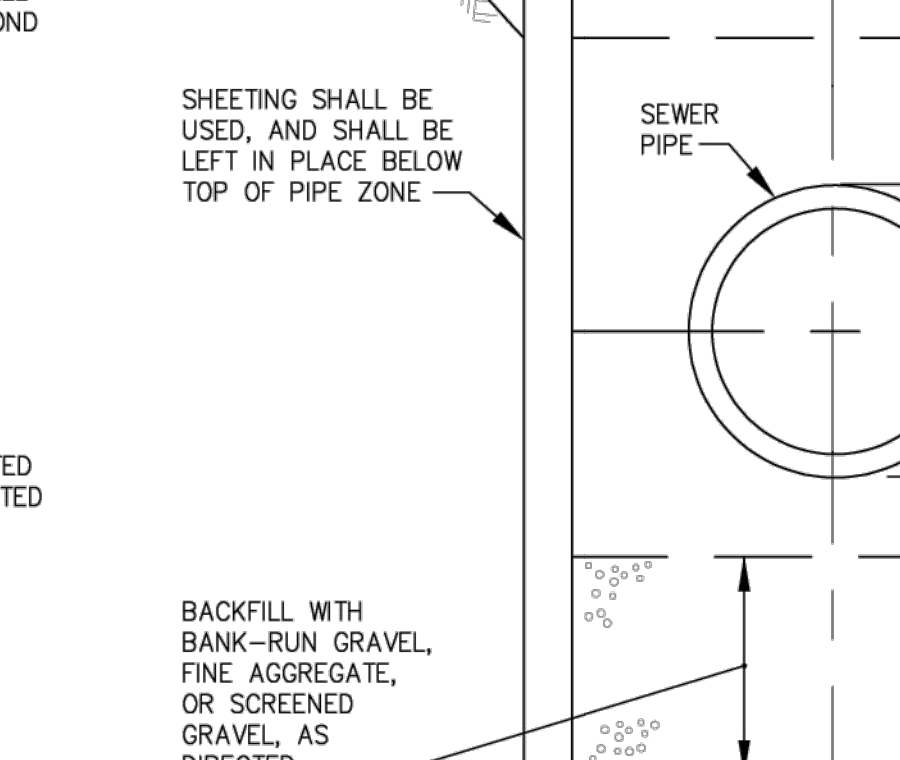


BUILDING CONNECTION FOR DI OR PVC PIPE
 NOT TO SCALE
 2-1.2.1 (REV. 03-15-95)



TRENCH SECTION FOR PVC PIPE
 NOT TO SCALE
 2-1.1.21 (REV. 03-15-95)

TRENCH WIDTH W_s OR W_u		
NOMINAL PIPE DIAMETER D	DEPTH OF PIPE INVERT BELOW GROUND SURFACE	
	0 TO 12'	12' TO 20'
24" AND SMALLER	5'-0"	7'-0"
OVER 24"	$D + 3'-0"$	$D + 5'-0"$

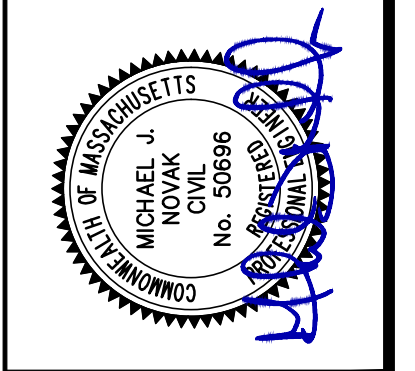


TRENCH SECTION IN UNSUITABLE MATERIAL
 NOT TO SCALE
 2-1.1.21 (REV. 03-15-95)

ALL DETAILS ARE NOT TO SCALE

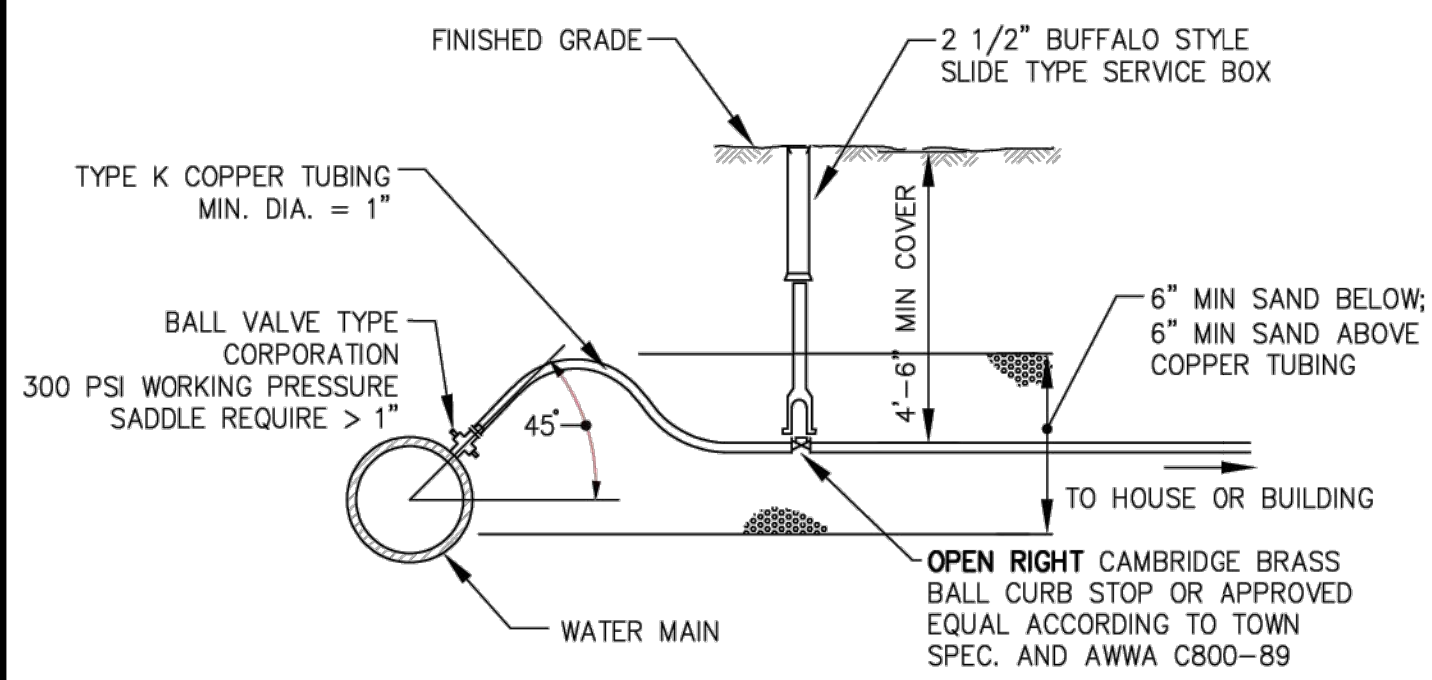
NOT FOR CONSTRUCTION

REVISIONS	DESCRIPTION
BY	
DATE	



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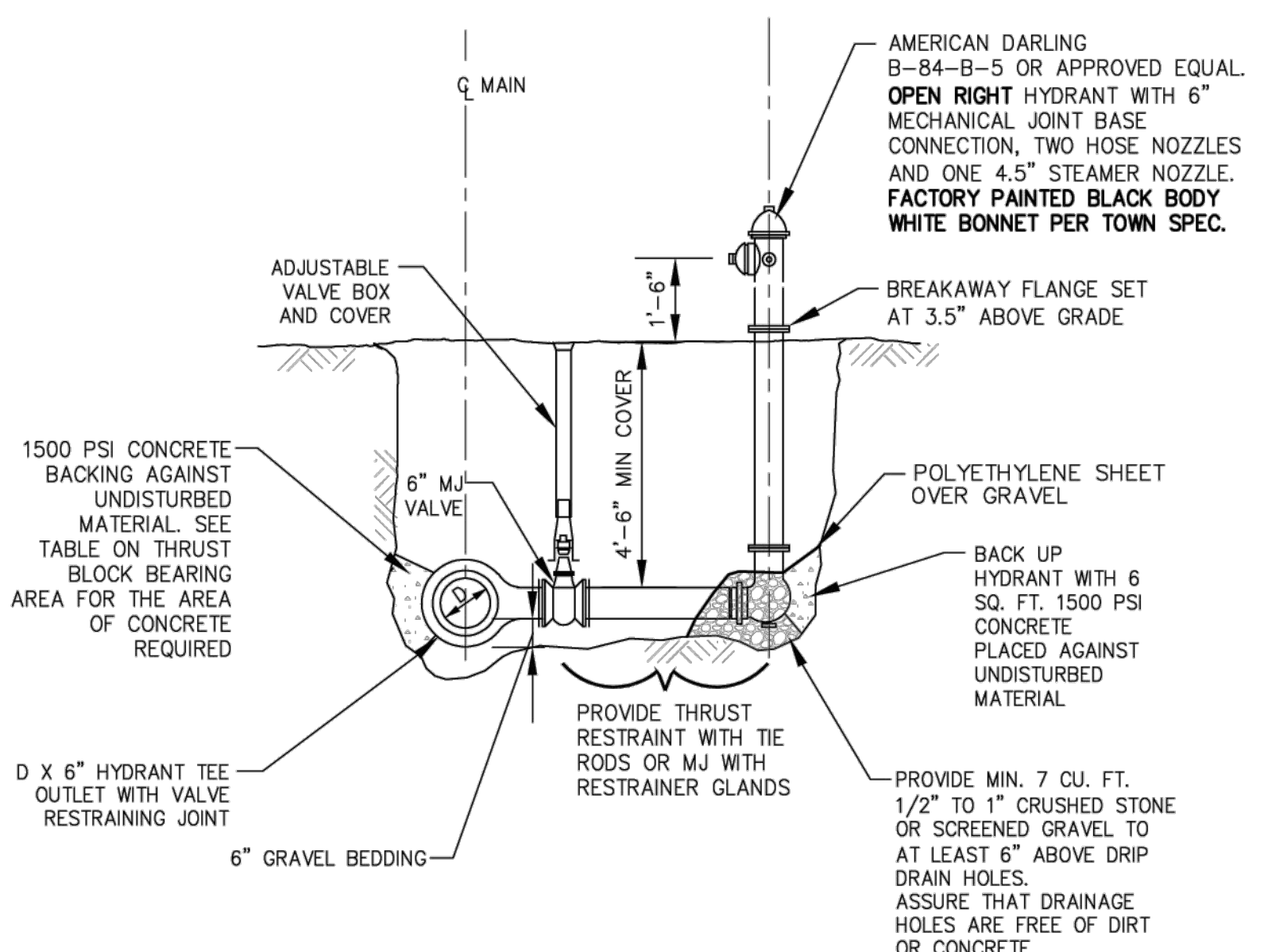
DETAILS LOCATED IN
 LEXINGTON, MA
 (MIDDLESEX COUNTY)
 PREPARED FOR
 SEAN MALONEY TRUSTEE



- NOTES:
- A 10' HORIZONTAL SEPARATION MUST BE MAINTAINED FROM THE SEWER SERVICE UNLESS OTHERWISE AUTHORIZED BY THE ENGINEERING DIVISION.
 - FOR SERVICE RENEWALS, TUBING SHALL BE REPLACED TO THE PROPERTY LINE UNLESS OTHERWISE AUTHORIZED BY THE ENGINEERING DIVISION.
 - WHERE AN EXISTING SERVICE IS BEING REPLACED TO THE MAIN, THE OLD SERVICE SHALL BE CAPPED AT THE CORPORATION.
 - THE WATER AND SEWER DIVISION MUST BE NOTIFIED IF LEAD OR STEEL SERVICES ARE ENCOUNTERED.
 - SERVICE TAPS SHALL BE PERFORMED BY CONTRACTOR OR SUBCONTRACTOR AND ARE SUBJECT TO APPROVAL BY THE WATER DIVISION.
 - SERVICE TAPS GREATER THAN 1" REQUIRE A SADDLE AND ARE SUBJECT TO THE APPROVAL OF THE ENGINEERING DIVISION.
 - USE QUICK STYLE COMPRESSION CONNECTIONS FOR ALL SERVICE BRASS.
 - FOR 1" CONNECTIONS TO EXIST. 3/4" CURB STOP CONNECT ADAPTER DIRECTLY TO CURB STOP. MOST EXISTING CURB STOPS REQUIRE 3/4" X 1" FEMALE ADAPTERS FOR NEW ENGLAND STYLE THREADS.
 - ALL CONNECTIONS TO EXIST. CURB STOPS SHALL REPLACE SERVICE BOXES IF NOT BUFFALO STYLE.
 - WATER SERVICE SHALL INCLUDE A BALL VALVE WITH COMPRESSION FITTING JUST BEFORE METER.

WATER SERVICE CONNECTION (1" MIN TO 2" MAX)

NTS

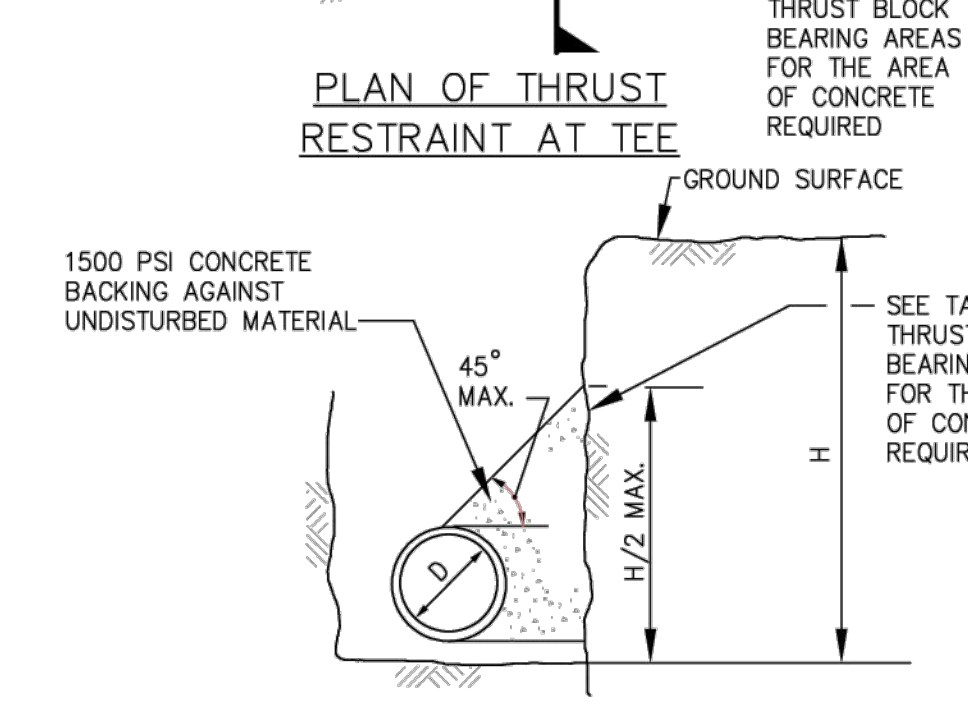
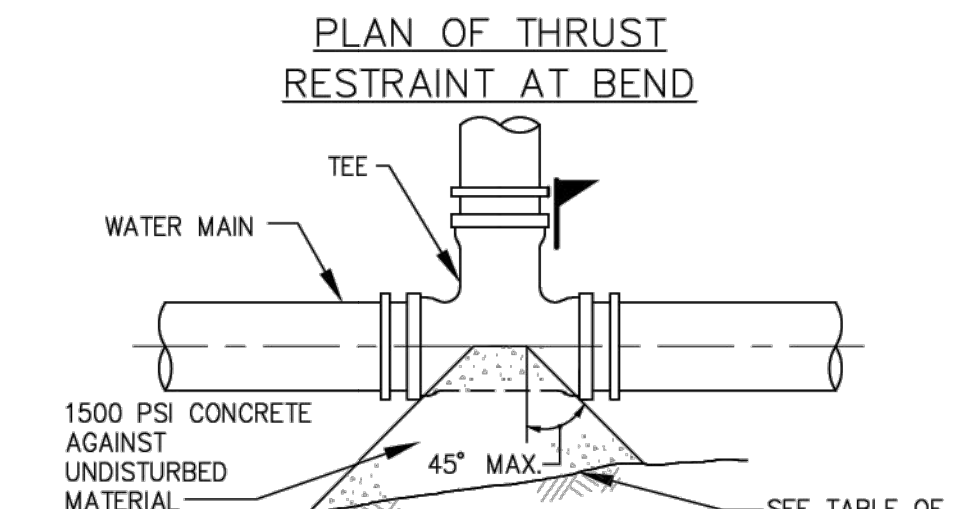
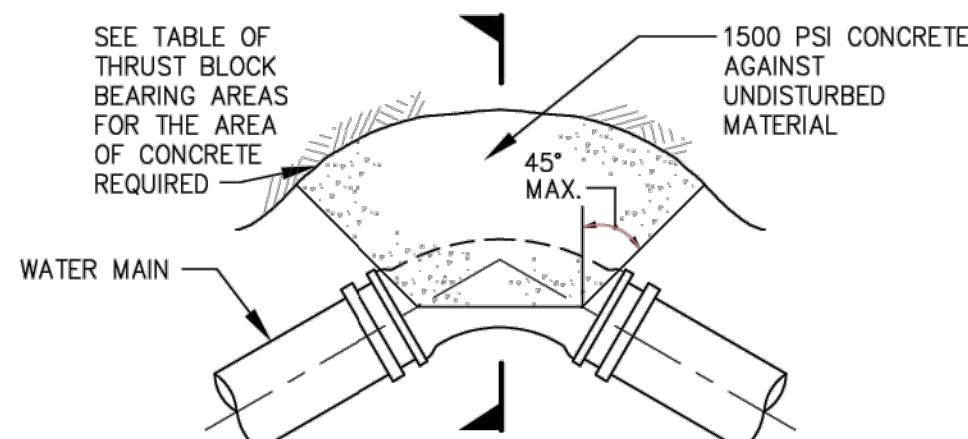
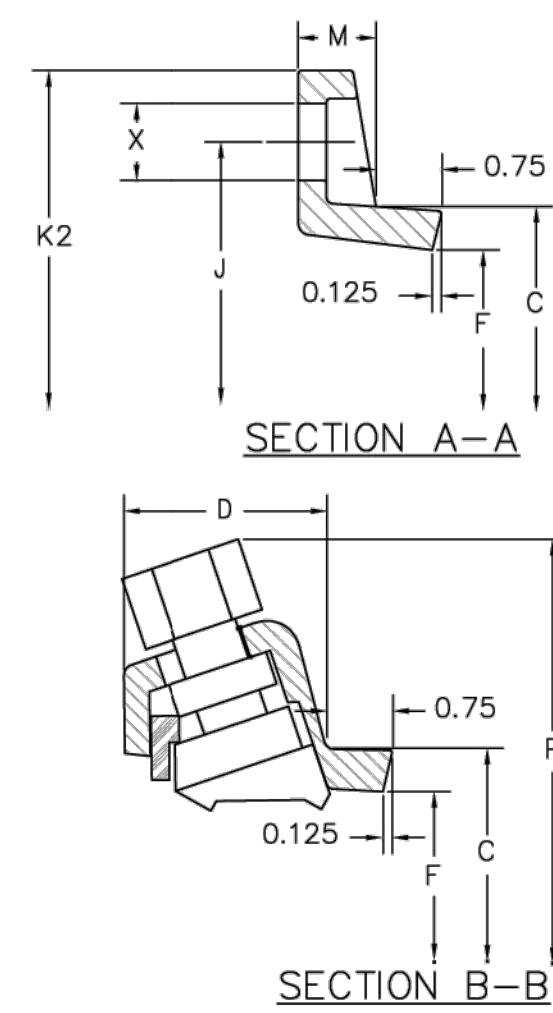
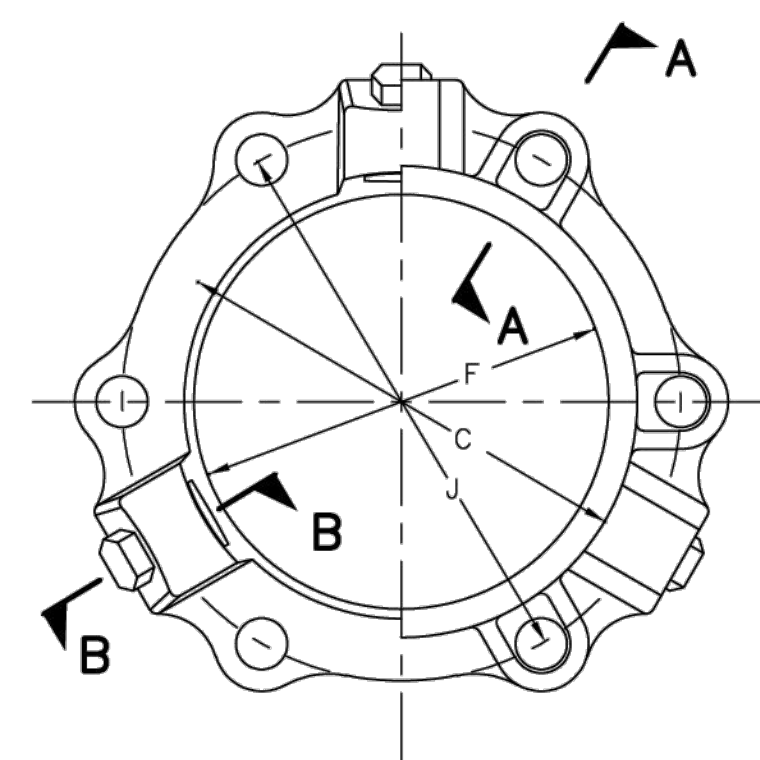


TYPICAL HYDRANT ASSEMBLY WITH DRAIN

NTS

NOTES:

- SIZES 3" THROUGH 24" ARE LISTED BY UNDERWRITER'S LABORATORIES, INC. CATEGORY HJKF FOR USE ON DUCTILE IRON PIPE. THE LISTING FILE NUMBER IS EX2836. SIZES 3" THROUGH 12" ARE FACTORY MUTUAL APPROVED.
- GLAND AND COLLAR BOLTS ARE MADE OF DUCTILE IRON CONFORMING TO ASTM A536-80. WEDGES ARE MADE OF DUCTILE IRON HEAT TREATED TO A MINIMUM BRINELL HARDNESS OF 370.
- GLAND CONFORMS TO THE APPLICABLE REQUIREMENTS OF ANSI/AWWA A21.11/C111 AND ANSI/AWWA C153/A21.53 OF THE LATEST REVISION.
- FOR TEST PRESSURES ABOVE THE RATED PRESSURES SHOWN, CONSULT THE ENGINEERING DEPARTMENT OF EBAA IRON INC. FOR RECOMMENDATIONS. EBAA-SEAL GASKETS ARE PROVIDED WITH THE 30" THROUGH 48" MEGALUGS. ALSO PROVIDED WITH THE 42" AND 48" SIZES ARE EXTRA LENGTH T-BOLTS. THE GASKETS AND BOLTS ARE PROVIDED TO FACILITATE EASIER ASSEMBLY OF THE MECHANICAL JOINT AND ARE REQUIRED ON THE ABOVE REFERENCED SIZES TO OBTAIN THE LISTED PRESSURE RATINGS WITH A 2:1 SAFETY FACTOR.



THRUST RESTRAINT AT FITTINGS

NTS

SERIES	PRESSURE RATING	C	D	F	J	M	X	NO. OF WEDGES	NO. OF BOLTS	P	P (W/ NUTS TWISTED OFF)	K2
1103	350	4.84	2.27	4.06	6.19	0.62	3/4	2	4	9.36	9.06	7.69
1104	350	5.92	2.27	4.90	7.50	0.75	7/8	2	4	10.20	9.90	9.12
1106	350	8.02	2.27	7.00	9.50	0.88	7/8	3	6	12.30	12.00	11.12
1108	350	10.17	2.31	9.15	11.75	1.00	7/8	4	6	14.45	14.15	13.37
1110	350	12.22	2.37	11.20	14.00	1.00	7/8	6	8	16.50	16.20	15.62
1112	350	14.32	2.37	13.30	16.25	1.25	7/8	8	8	18.60	18.30	17.88
1114	350	16.40	2.69	15.44	18.75	1.50	7/8	10	10	20.64	20.94	20.25
1116	350	18.50	2.69	17.54	21.00	1.56	7/8	12	12	22.60	22.90	22.50
1118	250	20.60	2.69	19.64	23.25	1.63	7/8	12	12	24.70	25.00	24.75
1120	250	22.70	2.69	21.74	25.50	1.69	7/8	14	14	26.80	27.10	27.00
1124	250	26.90	3.20	25.94	30.00	1.81	7/8	16	16	32.94	32.64	31.50
1130	250	33.29	3.20	32.17	36.88	2.25	1 1/8	20	20	39.17	38.87	39.12
1136	250	39.59	3.20	38.47	43.75	2.25	1 1/8	24	24	45.47	45.17	46.00
1142	250	45.79	4.56	44.67	50.62	3.88	1 3/8	28	28	55.87	55.57	53.48
1148	250	52.09	4.56	50.97	57.50	3.88	1 3/8	32	32	62.17	61.87	60.36

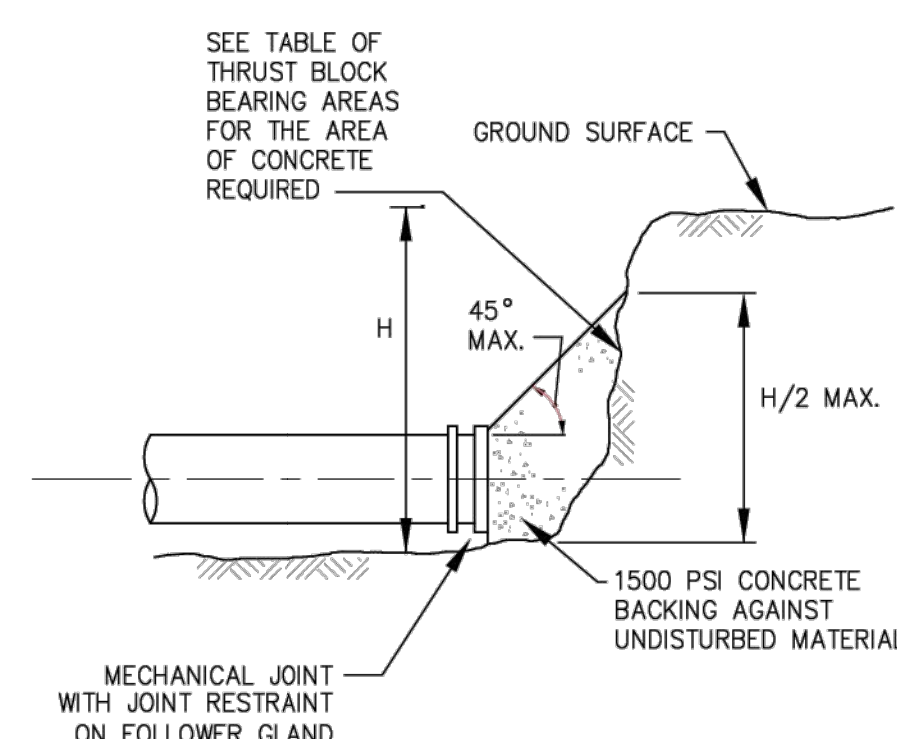
MEGALUG DETAIL

N.T.S.

FITTING	BEARING AREA FOR VARIOUS DIAMETERS					
	4"	6"	8"	10"	12"	16"
1/32 BEND (11 1/4')	2 S.F.	2 S.F.	2 S.F.	2 S.F.	3 S.F.	5 S.F.
1/16 BEND (22 1/2')	2 S.F.	2 S.F.	3 S.F.	3 S.F.	4 S.F.	5 S.F.
1/8 BEND (45')	2 S.F.	2 S.F.	3 S.F.	5 S.F.	7 S.F.	12 S.F.
1/4 BEND (90')	3 S.F.	3 S.F.	6 S.F.	9 S.F.	12 S.F.	21 S.F.
TEE/PLUG	2 S.F.	3 S.F.	4 S.F.	6 S.F.	9 S.F.	16 S.F.

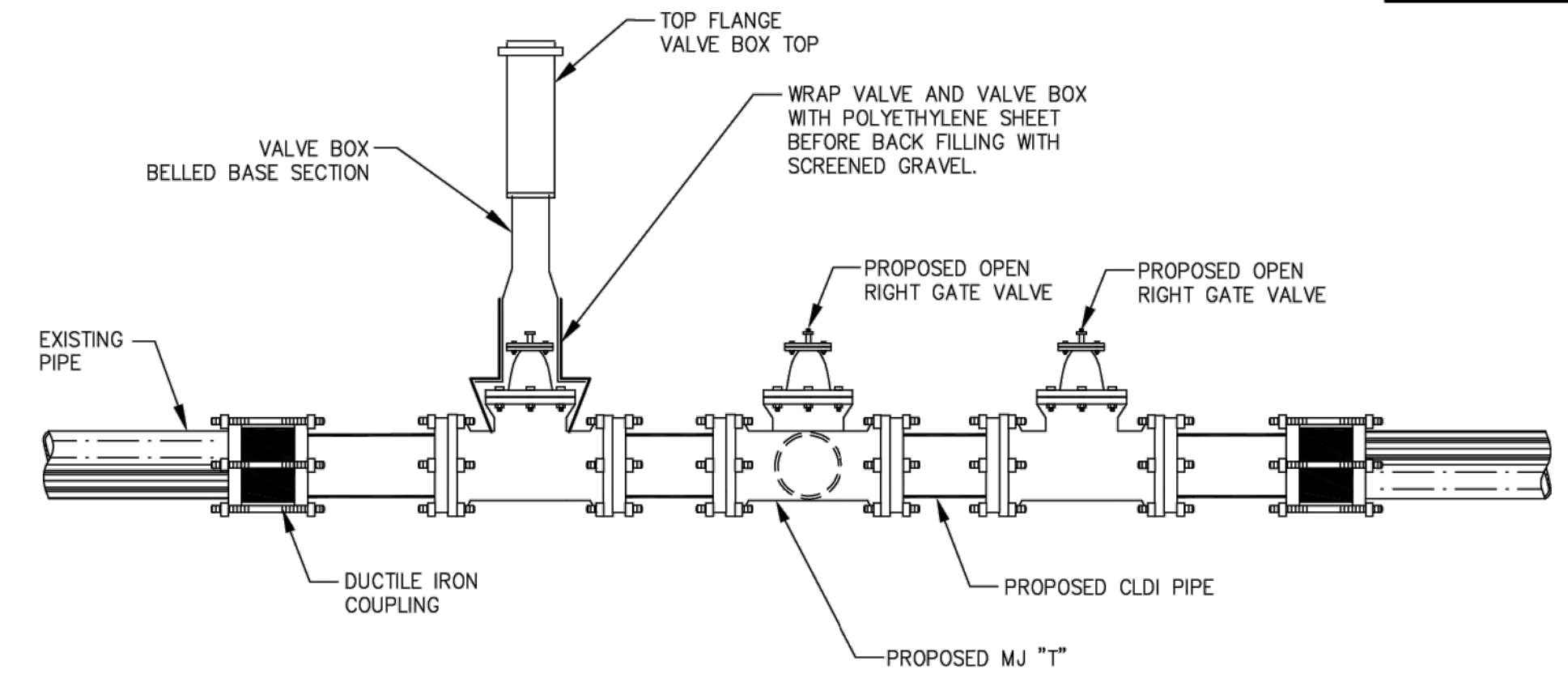
NOTES:

- ALL ELBOWS, BENDS, AND CAPS SHALL BE BRACED WITH CONCRETE THRUST BLOCKS. JOINTS SHALL NOT BE ENCASED IN CONCRETE.
- BEARING AREA IS AREA OF CONCRETE IN CONTACT WITH WALL OF TRENCH (H X L).
- HEIGHT AND LENGTH AS REQUIRED TO OBTAIN BEARING AREA SHOWN IN THE TABLE W/ H APPROX. 1/2 L.
- THRUST BLOCK SIZING BASED ON 150 PSI WATER PRESSURE AND 2000 PSI SOIL BEARING CAPACITY.

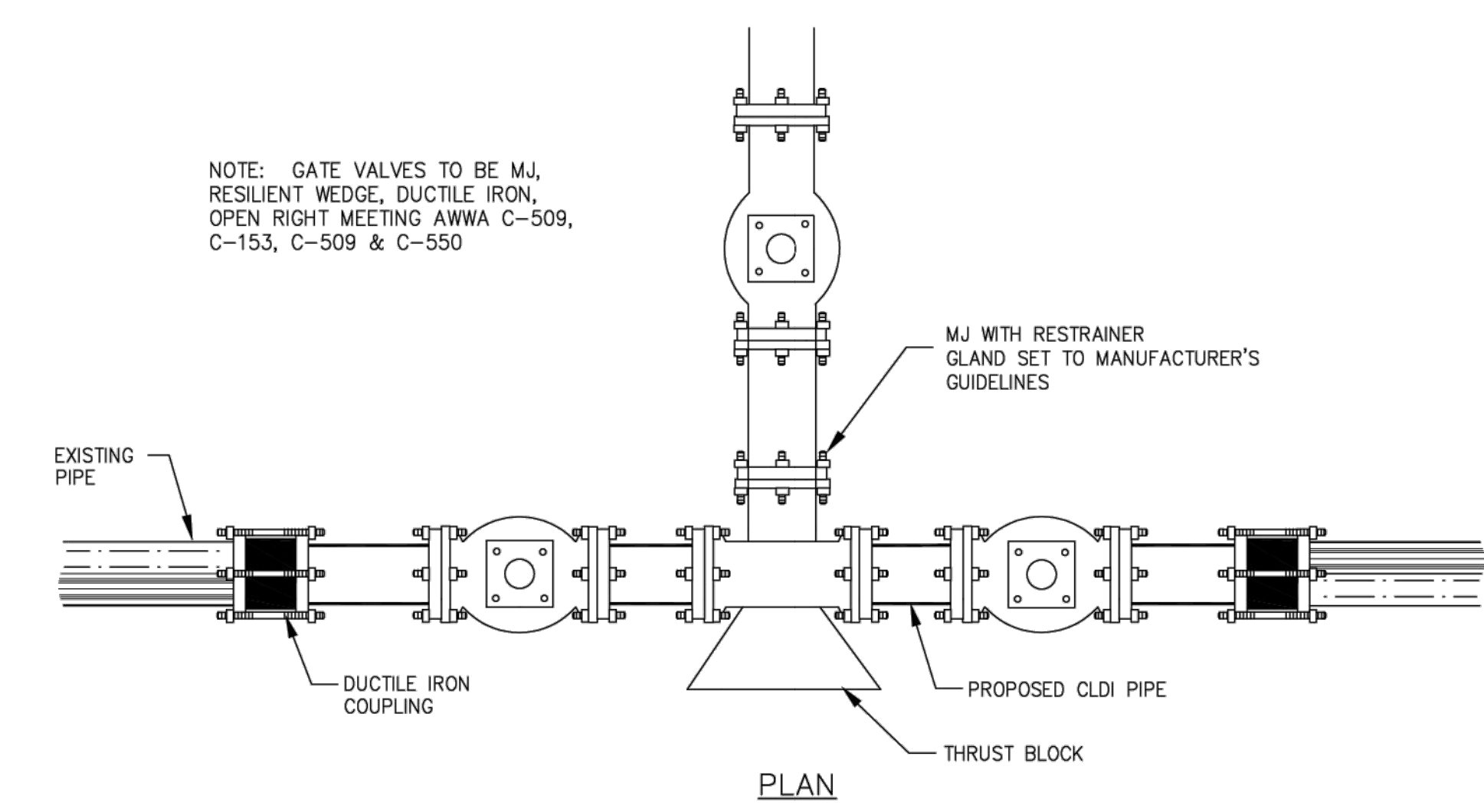


THRUST RESTRAINT AT PLUG

NTS



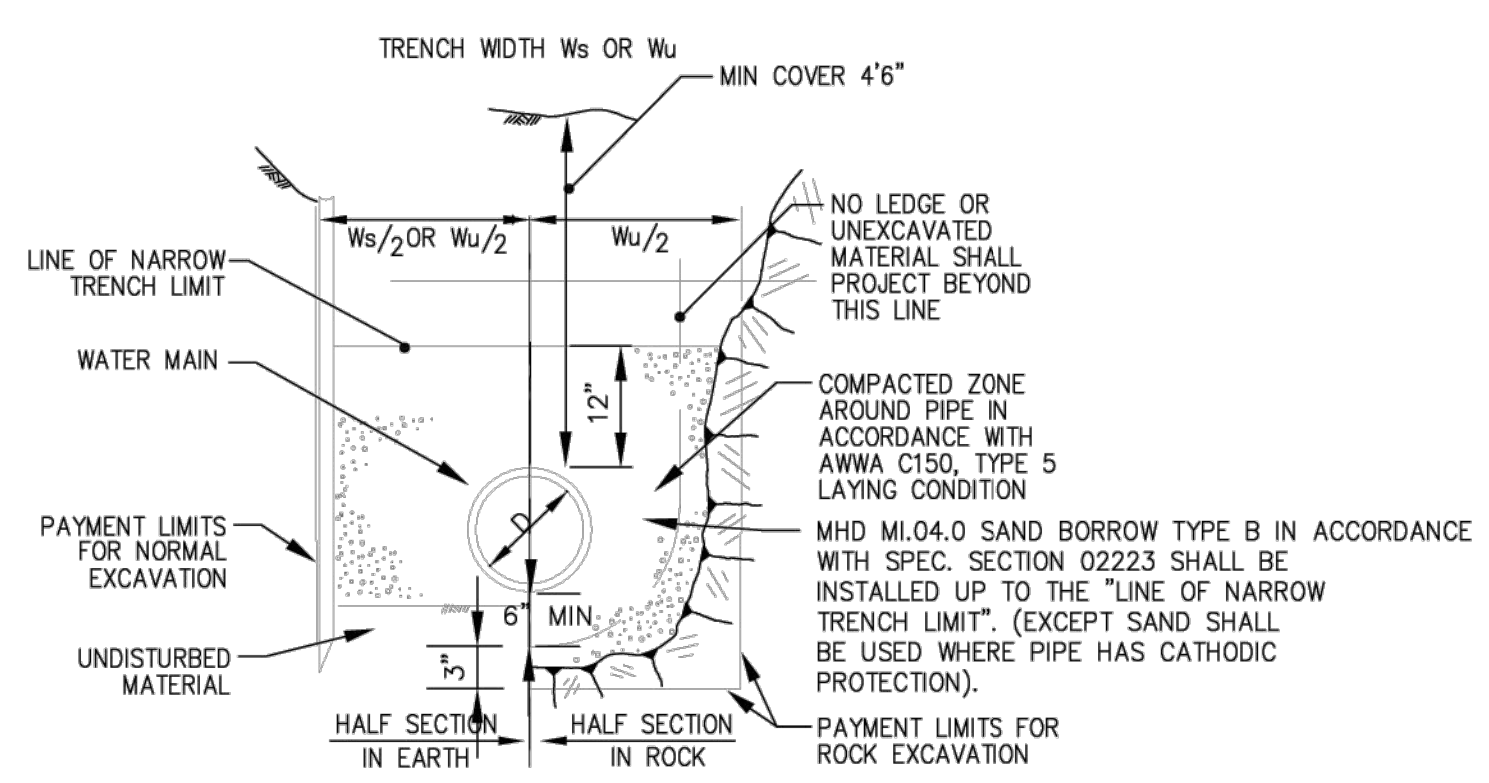
ELEVATION



PLAN

TRIPLE GATE CUT IN WATER MAIN CONNECTION

NTS



NOTES:

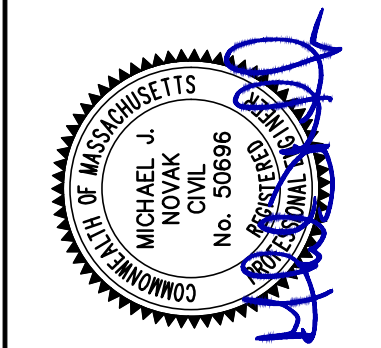
- TRENCHES MAY BE EXCAVATED WIDER THAN TRENCH WIDTH Ws ABOVE THE "LINE OF NARROW TRENCH LIMIT".
- BELOW THE "LINE OF NARROW TRENCH LIMIT" THE TRENCH SHALL NOT BE EXCAVATED BEYOND THE TRENCH WIDTH Ws.
- SHEETING, IF USED, IN ALL CASES SHALL BE LEFT IN PLACE BELOW A LINE 1'-0" ABOVE THE TOP OF THE PIPE, UNLESS OTHERWISE INDICATED OR DIRECTED.
- "COVER" AT ANY POINT SHALL BE DEFINED AS THE VERTICAL DISTANCE FROM THE UPPERMOST POINT OF THE PIPE TO A LINE WHICH CONNECTS THE SURFACE OF UNDISTURBED GROUND AT EITHER SIDE OF THE TRENCH AND IS AT RIGHT ANGLES TO THE DIRECTION OF THE PIPE.
- WHERE FUTURE EXTENSION OF A PLUGGED PIPE OR A PLUGGED BRANCH WILL ENTAIL ROCK EXCAVATION, TRENCH EXCAVATION IN ROCK SHALL BE EXTENDED FOR A DISTANCE OF 3'-0" BEYOND THE PLUG.
- BANK RUN GRAVEL OR EXCAVATED MATERIAL THAT MEETS SPEC. SECTION 02224 SHALL BE INSTALLED ABOVE THE LINE OF NARROW TRENCH LIMIT.
- WHERE SPECIFIED, CONTROLLED DENSITY FILL WILL BE USED FROM TOP OF SCREENED GRAVEL TO BOTTOM OF BITUMINOUS PAVEMENT.

WATER MAIN TRENCH SECTION

NTS

ALL DETAILS ARE NOT TO SCALE

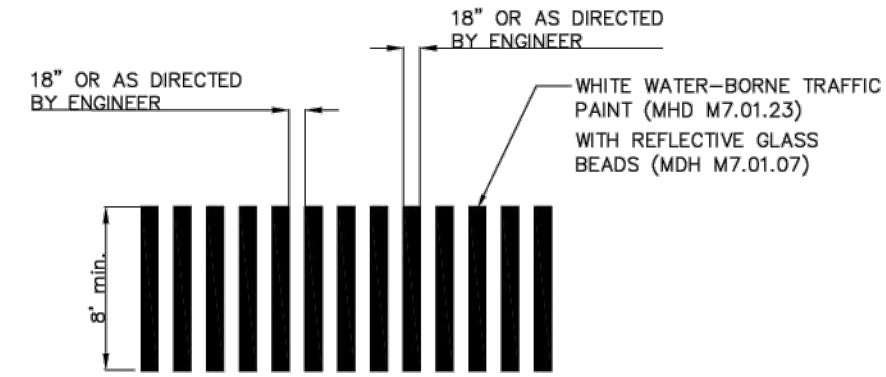
REVISIONS	DESCRIPTION
BY	
DATE	



PATRIOT Engineering
P.O. BOX 362
LEXINGTON, MASSACHUSETTS 02420
T: (978) 726-2654
www.patriot-eng.com

DETAILS LOCATED IN
LEXINGTON, MA
(MIDDLESEX COUNTY)
PREPARED FOR
SEAN MALONEY TRUSTEE

NOT FOR CONSTRUCTION

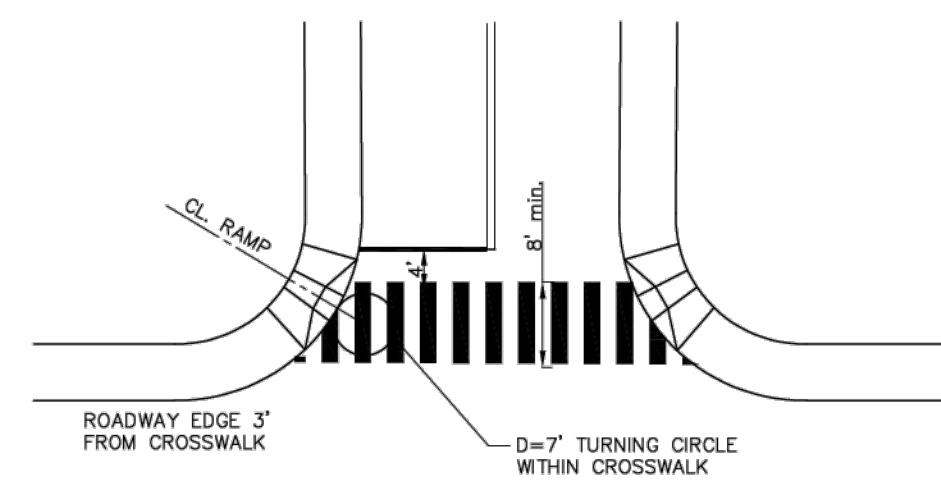


CROSSWALK ALL LOCATIONS

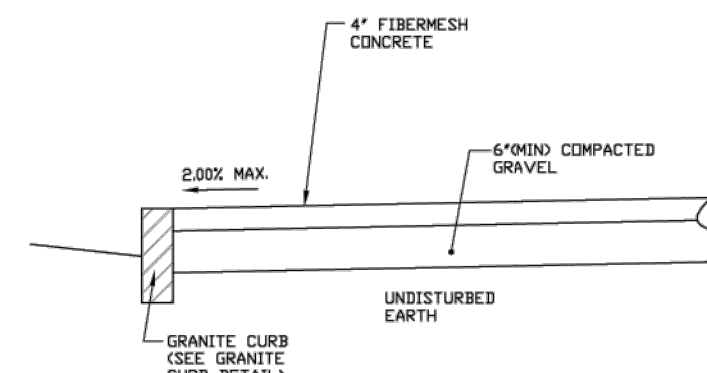
NOTES:

- WHERE PROVIDED, STOP LINES SHOULD BE PLACED NO LESS THAN 4 FEET BEHIND AN ADJACENT CROSSWALK LINE.
- MID-BLOCK CROSSWALKS SHALL NOT BE INSTALLED IN AREAS WITH THE SIGHT DISTANCE LESS THAN THAT SHOWN IN THE TABLE BELOW.

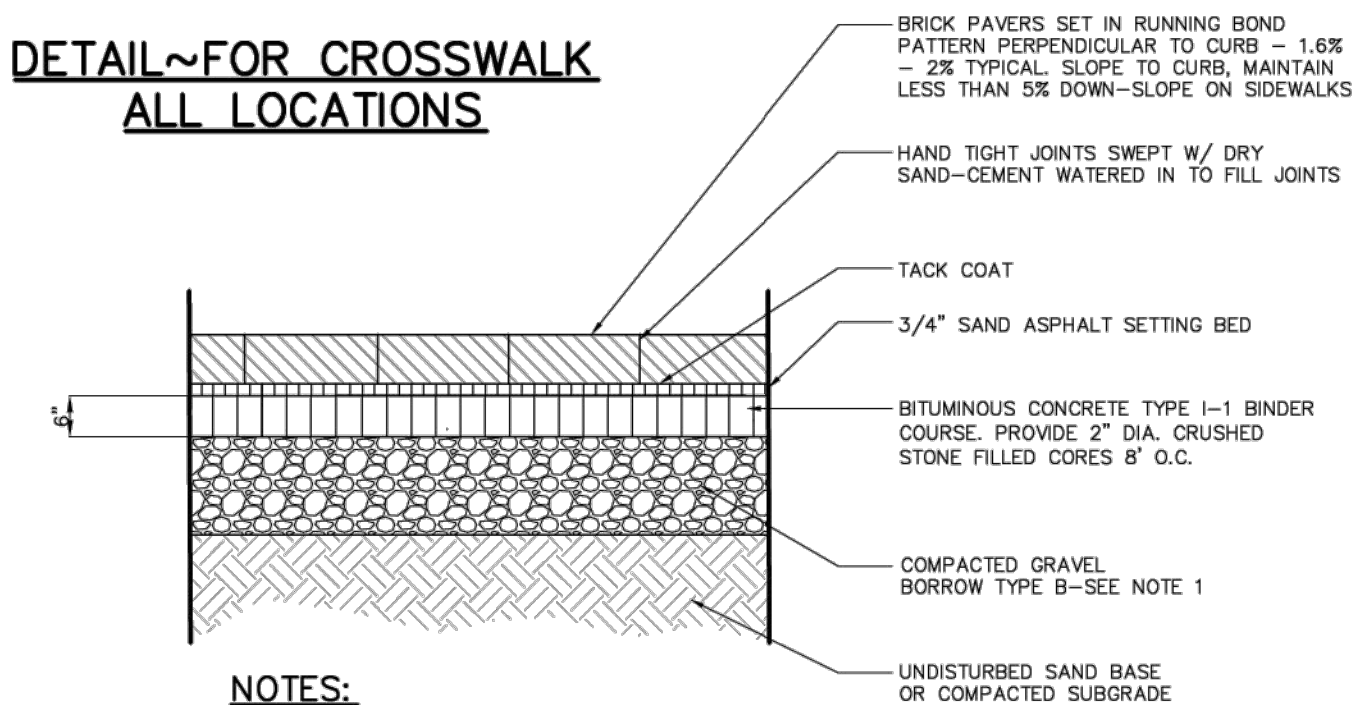
DESIGN SPEED	SIGHT DISTANCE
30	200
40	275
50	375
60	525
70	625



DETAIL~FOR CROSSWALK ALL LOCATIONS



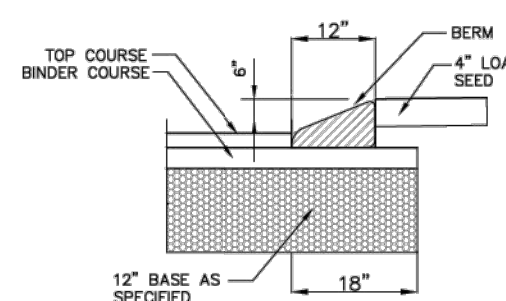
CONCRETE SIDEWALK



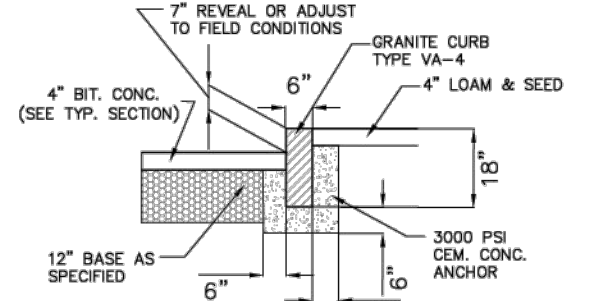
NOTES:

- DETAIL AS SHOWN SHALL BE USED ON TYPICAL BRICK SIDEWALKS. WHERE SHOWN ON PLANS AT LOCATIONS FOR "TREEWAY", GRAVEL BORROW SHALL BE SUBSTITUTED WITH COMPACTED DENSE GRADED CRUSHED STONE AND 2" DEPTH OF SAND BASED.

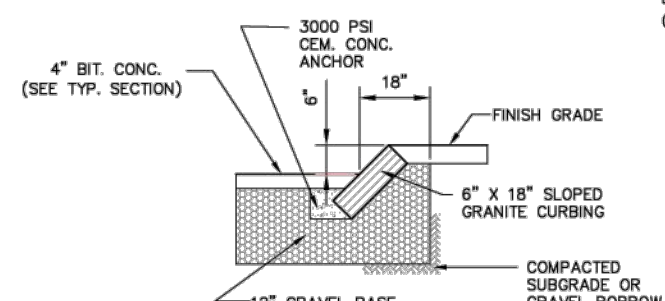
BRICK SIDEWALK PAVING



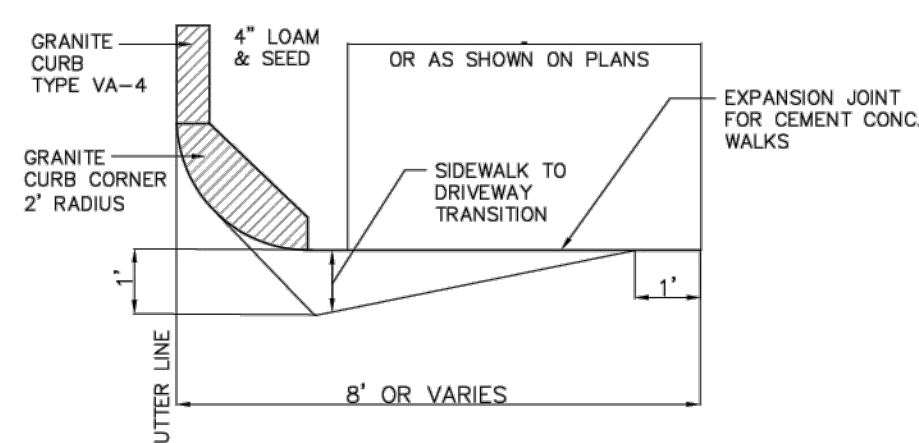
BIT. CONC. BERM



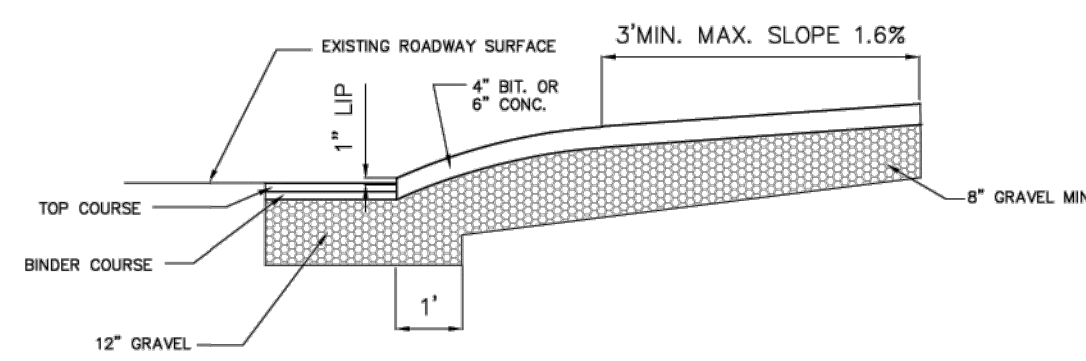
GRANITE CURB TYPE VA-4



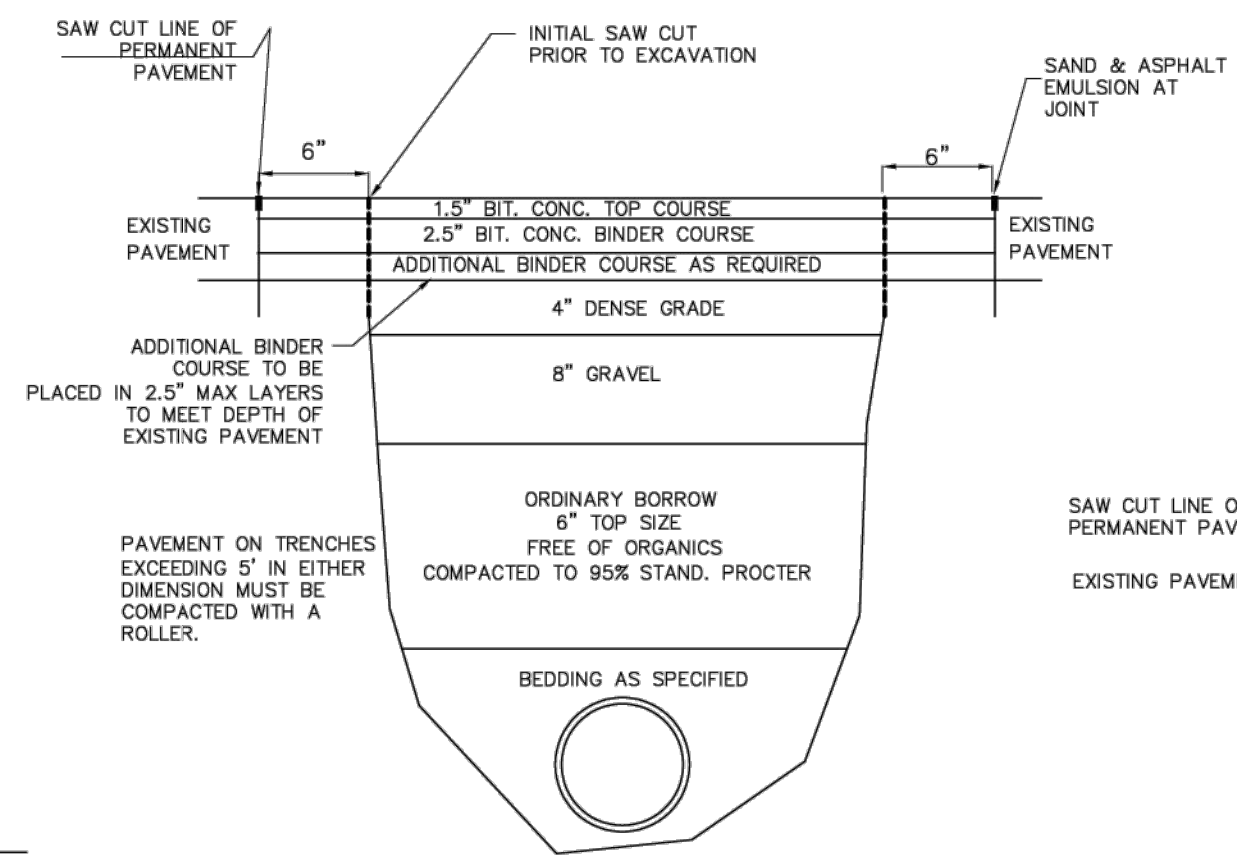
SLOPED GRANITE CURB DETAIL



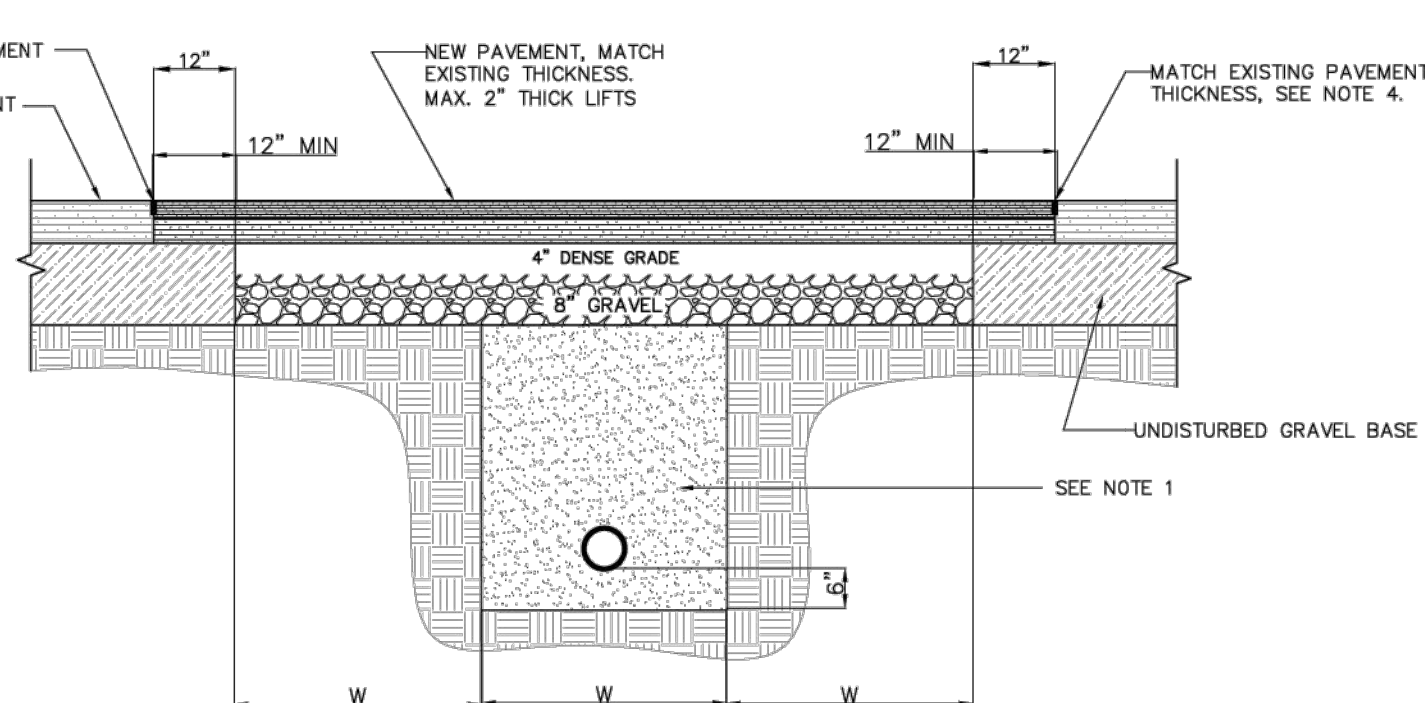
PLAN VIEW TYPICAL CURB RETURN DETAIL



DRIVEWAY SECTION



TRENCH RESTORATION



TYPICAL DETAIL TRENCH RESTORATION FOR MORATORIUM STREETS

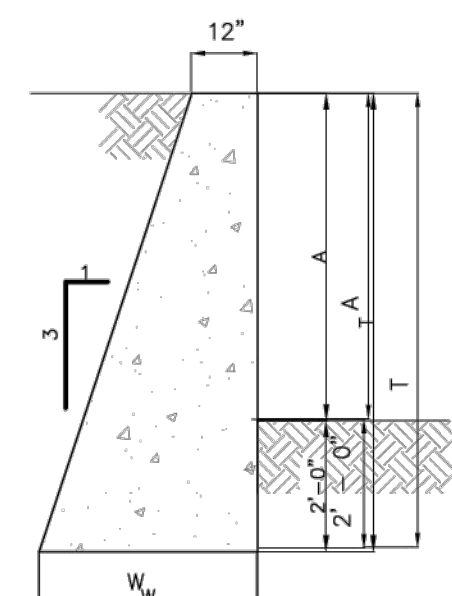
NOTES:

- THE TRENCH EXCAVATION AROUND THE UTILITY WILL BE BACK FILLED WITH FLOWABLE FILL OR, IN CASE OF NATURAL GAS SERVICE, WITH GRAVEL COMPACTED TO 95% DENSITY.
- NEW GRAVEL SUB BASE WILL BE INSTALLED AND COMPACTED TO 95% DENSITY.
- THE FINAL TRENCH PATCH WILL BE FROM CURB TO CURB, OR AS APPROVED BY THE ENGINEER.
- PAVEMENT THICKNESS AND MATERIAL IN ACCORDANCE WITH THE TOWN OF LEXINGTON SPECIFICATIONS, APPLY HEAT BY APPROVED INFRARED METHOD TO SEAL ALL JOINTS.
- JOINT BETWEEN EXISTING PAVEMENT AND PATCH MUST BE INFRARED.

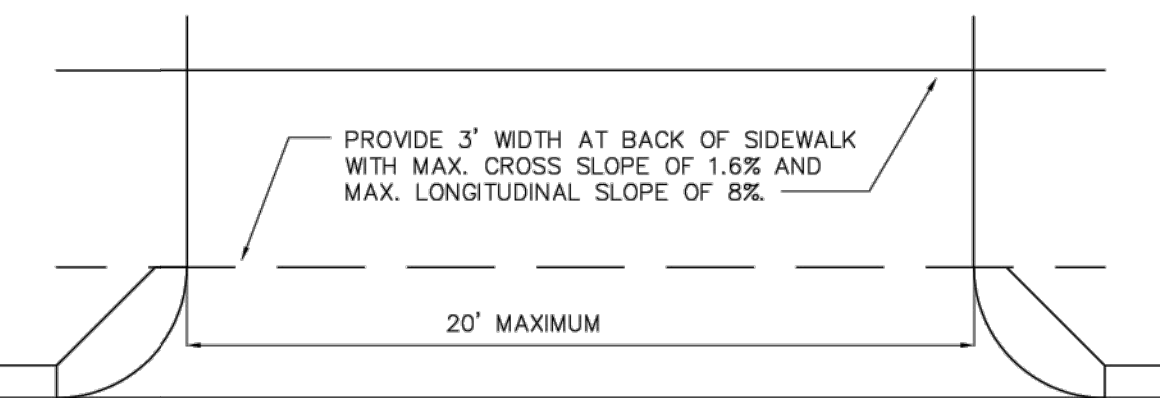
NOTES:

- CLASS I CEMENT CONC. TO BE USED
- EXPANSION JOINTS TO BE PLACED 90' O.C. MAX. WITH INTERMEDIATE CONSTRUCTION JOINTS 30' O.C.
- ALL CONC. DIMENSIONS SHOWN ARE MINIMUM

HEIGHT A	T	WIDTH W	AREA SQ. FT.	CU. YDS. PER. LING. FT.
2'-0"	4'-0"	2'-4"	6.667	0.247
2'-6"	4'-6"	2'-6"	7.875	0.292
3'-0"	5'-0"	2'-8"	9.165	0.339
3'-6"	5'-6"	2'-10"	10.541	0.390
4'-0"	6'-0"	3'-0"	12.000	0.444
4'-6"	6'-6"	3'-2"	13.541	0.502
5'-0"	7'-0"	3'-4"	15.162	0.562



LOW RETAINING WALL



DRIVEWAY PLAN-RESIDENTIAL

ZONING DISTRICT	DISTANCE FROM STREET INTERSECTION	DISTANCE FROM LOT LINE	WALL OF PRINCIPAL BUILDING
RS,RORT	25	5	5
RD,RDM	25	5	5
CRQ,CLO,CM	50	10	5
CRS,CS,CB,CN	10	NO REQUIREMENT	5

MAXIMUM DRIVEWAY GRADE = 12%

NOTE:

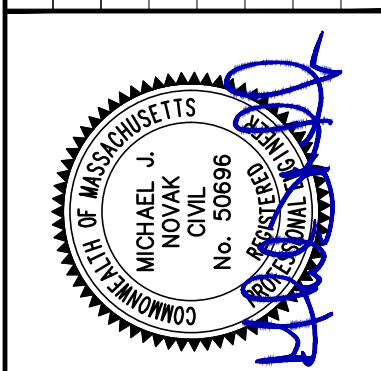
NUMBER OF DRIVEWAYS PER LOT LINE IS LIMITED TO TWO. ZONING BY LAW SECTION 5.1.10.2

ALL DETAILS ARE NOT TO SCALE

NOT FOR CONSTRUCTION

329 MASS AVE
LEXINGTON, MA
DRAWN BY: MVC
CHECKED BY: MJN
DATE: 03-05-2025

REVISIONS	DESCRIPTION
BY	
DATE	



PATRIOT Engineering
P.O. BOX 362
LEXINGTON, MASSACHUSETTS 02420
T: (978) 726-2654
www.patriot-eng.com

DETAILS LOCATED IN
LEXINGTON, MA
(MIDDLESEX COUNTY)
PREPARED FOR
SEAN MALONEY TRUSTEE



Town of Lexington

PLANNING BOARD

1625 Massachusetts Avenue
Lexington, MA 02420
Tel (781) 698-4560

planning@lexingtonma.gov
www.lexingtonma.gov/planning

Michael Schanbacher, Chair
Robert Creech, Vice Chair
Melanie Thompson, Clerk
Charles Hornig, Member
Tina McBride, Member
Michael Leon, Associate Member

DECISION OF THE LEXINGTON PLANNING BOARD PRELIMINARY SUBDIVISION

**329 MASSACHUSETTS AVENUE
(ASSESSOR'S MAP 13, LOT 360)**

April 17, 2025

APPLICANT Kathleen Maloney
PO BOX 515
Lexington, MA 02420

PROPERTY OWNER: M & E Realty LLC

PROPERTY LOCUS: 329 Massachusetts Avenue
Map 13, Lot 360
CRS – Retail Shopping and VO – Village Overlay

PROJECT SUMMARY

The proposed development subdivides one (1) lot totaling 0.29± acres into two (2) new lots with access from a proposed 70-ft. right of way widening off of Fottler Avenue. The existing property contains one (1) commercial office style building and is located on the corner of Massachusetts Avenue and Fottler Avenue. The section of the lot behind the existing building is paved for parking, and landscaping is present in front of the building along Massachusetts Avenue, as well as on the corner of Massachusetts Avenue and Fottler Avenue. A wooden fence and tree growth are present around the periphery of the property. The Minuteman Commuter Bikeway abuts the property to the rear (north), running parallel to Massachusetts Avenue.

STATEMENT OF FINDINGS

PROCEDURAL FINDINGS:

After having reviewed all the plans and material filed by the Applicant and its representatives and having considered the analysis, supplemental information provided during the course of the public meeting,

correspondence, and testimony from various staff, the public, and from all other interested parties, the Planning Board makes the following procedural and project findings:

1. On March 7, 2025, an application requesting a Preliminary Subdivision pursuant to § 175 *Planning Board Subdivision Regulations* was filed with the Planning Board by Michael Novak on behalf of Kathleen Maloney. It was determined to be complete, submitted to the Town Clerk and Board of Health on March 10, 2025, and listed in OpenGov permitting system under Permit# PLAN-25-21.
2. Pursuant to MGL c. 41 § 81S and the applicable provisions of the Zoning Bylaw and Planning Board Subdivision Regulations, notice of the public meeting was mailed postage prepaid to all abutters and abutters to abutters within three hundred (300) feet of the property on March 26, 2025.
3. The public meeting on the application commenced on April 17, 2025 held remotely via Zoom, pursuant to MGL c. 30A §§ 18-25, c. 20 of the Acts of 2021, c. 107 of the Acts of 2022, c. 2 of the Acts of 2023, and c. 2 of the Acts of 2025 further extending the remote access provisions through June 30, 2027. The Planning Board accepted public comments via Zoom, mail, and e-mail.
4. Planning Board members Michael Schanbacher, Robert Creech, Melanie Thompson, Charles Hornig, and Tina McBride were present for the public meeting.
5. Planning Board members Michael Schanbacher, Robert Creech, Melanie Thompson, Charles Hornig, and Tina McBride deliberated on the application at their meeting.

CONDITIONS OF APPROVAL

The Planning Board finds that the Application and Subdivision Plans submitted by the applicant comply with applicable provisions of the Zoning Bylaw and applicable regulations relevant to this review. Accordingly, the Planning Board votes to **approve** the preliminary plan set entitled “329 MASSACHUSETTS AVENUE, ASSESSORS MAP 13 LOTS 360, PRELIMINARY SUBDIVISION PLAN, LOCATED IN LEXINGTON, MA, MARCH 7, 2025”, prepared for Kathleen Maloney, prepared by PATRIOT Engineering, signed and stamped by Michael J. Novak, PE Civil No. 50696, dated March 5, 2025, consisting of eleven (11) sheets, subject to the following conditions:

General Provisions:

1. Approval of a preliminary subdivision plan does not constitute approval of a subdivision or guarantee that the Board will approve a definitive subdivision plan. The Registry of Deeds is not permitted to record a preliminary subdivision plan.
2. Per §175-7.2E(8) road systems shall be designed to permit the safe, efficient and orderly movement of motor vehicles, pedestrians and cars.
3. Per §175-7.2A(1)(1) the center line of the paved area in the proposed road modification shall follow the center line of the right of way.

4. Per § 175-7.2E(7)(c)[2], the dead-end street turnaround pavement must have an outside turning radius of at least 50 feet.
5. Per § 175-5.3B(6), the approximate boundary lines of proposed lots, with approximate areas and dimensions, shall be shown on each sheet of the plan.
6. All existing easements shall be shown on the definitive plan submission.
7. Any new utility easements shall be a minimum of twenty (20) feet wide, per § 175-7.1B(4)(a).
8. Per § 175-7.1B(7), bounds shall be set along each right-of-way line at all intersections, angle points, points of change in direction or curvature of the street, and at the two corners of each lot that abuts the right of way. Such permanent bounds shall be installed per § 175-7.1B(7)(c) and § 175-7.1B(8).
9. Construction of the proposed roadway shall conform to § 175-7.2, Streets and Rights-of-way. The Applicant shall note on the Definitive Subdivision Plan whether the street will remain private or is intended to be an accepted way. If the Applicant wishes to have the Town accept the Road, road construction must follow Town standards and be inspected at certain milestones during construction. The property owners will be responsible for the stormwater facilities regardless of road ownership.
10. Per § 175-7.2E(7)(b), Dead-end Streets, the Applicant shall install a "Dead End" or "Not a Through Way" sign per the specifications of the Town Engineer. Such signage shall be shown on the definitive subdivision plan.
11. The cul-de-sac is required to have a landscaped center island per § 175-7.2E(7)(c)[1]; such planting schedule should utilize the Lexington Preferred Planting List, dated October 6, 2021.
12. The sidewalks and crosswalks shall be ADA compliant with ramps and tactile pads, per § 175-7.3; ADA compliant ramps shall run in the direction of travel.
13. Ensure that curbing allows for roadway runoff to be directed to the proposed catch basins and does not collect in the area of the crosswalk and ADA ramp.
14. Fire hydrants shall be placed not more than 500 feet apart and approved per § 175-7.4B(3) by the Fire Department.
15. The definitive subdivision shall demonstrate compliance with § 175-7.5, per a National Pollutant Discharge Elimination System (NPDES) general permit.
16. The Definitive Subdivision shall demonstrate compliance with § 175-7.5 for above-threshold projects detailed in Article VI, Stormwater Management Regulations, Chapter 181 of the Code of Lexington.

17. Per § 175-7.4A, all elements of the water and sanitary sewer service must be designed to comply with the Town's Water, Sewer and Drain Regulations and the Standard Specifications. All sewer extensions with proposed flows in excess of 15,000 gallons per day will require the removal of 4 gallons of infiltration and inflow for each gallon of permitted wastewater flow requested.
18. Per § 175-7.6, the Applicant shall submit a landscaping and planting plan that demonstrates compliance with street tree requirements and conforms with Lexington Preferred Planting List, adopted October 6, 2021, or EPA Eco Regional III.
19. Per the rules adopted by the Conservation Commission pursuant to Chapter 130, Section 5(2) "Performance Standards", any proposed work that discharges to a protected resource area or connects to a storm drain system that discharges to a protected resource area shall not result in an increase in the peak rate of surface runoff during 2-year, 10-year, or 100-year return period storm events and shall not result in an increase in the total volume of surface runoff for the 1-year return period storm at all design points. A drainage connection into the Lexington Municipal Separate Storm Sewer System (MS4) will require review and approval through a Request for Determination of Applicability, or a Notice of Intent if any conservation regulatory performance standards are requested to be waived.

RECORD OF VOTE

On April 17, 2025, the Planning Board voted **zero (0) in favor, five (5) opposed**, and zero (0) abstentions to grant approval with conditions for the Preliminary Subdivision Application for the properties listed at 329 Massachusetts Avenue.

Preliminary Subdivision

Michael Schanbacher –
Robert Creech –
Melanie Thompson –
Charles Hornig –
Tina McBride –

Board Chair Signature: _____

Date: _____

Date of Vote: _____

DRAFT



Town of Lexington

PLANNING BOARD

1625 Massachusetts Avenue
Lexington, MA 02420
Tel (781) 698-4560

planning@lexingtonma.gov
www.lexingtonma.gov/planning

Michael Schanbacher, Chair
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Charles Hornig, Member
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Michael Leon, Associate Member

DECISION OF THE LEXINGTON PLANNING BOARD PRELIMINARY SUBDIVISION

**329 MASSACHUSETTS AVENUE
(ASSESSOR'S MAP 13, LOT 360)**

April 17, 2025

APPLICANT Kathleen Maloney
PO BOX 515
Lexington, MA 02420

PROPERTY OWNER: M & E Realty LLC

PROPERTY LOCUS: 329 Massachusetts Avenue
Map 13, Lot 360
CRS – Retail Shopping and VO – Village Overlay

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STATEMENT OF FINDINGS

PROCEDURAL FINDINGS:

After having reviewed all the plans and material filed by the Applicant and its representatives and having considered the analysis, supplemental information provided during the course of the public meeting,

correspondence, and testimony from various staff, the public, and from all other interested parties, the Planning Board makes the following procedural and project findings:

1. On March 7, 2025, an application requesting a Preliminary Subdivision pursuant to § 175 *Planning Board Subdivision Regulations* was filed with the Planning Board by Michael Novak on behalf of Kathleen Maloney. It was determined to be complete, submitted to the Town Clerk and Board of Health on March 10, 2025, and listed in OpenGov permitting system under Permit# PLAN-25-21.
2. Pursuant to MGL c. 41 § 81S and the applicable provisions of the Zoning Bylaw and Planning Board Subdivision Regulations, notice of the public meeting was mailed postage prepaid to all abutters and abutters to abutters within three hundred (300) feet of the property on March 26, 2025.
3. The public meeting on the application commenced on April 17, 2025 held remotely via Zoom, pursuant to MGL c. 30A §§ 18-25, c. 20 of the Acts of 2021, c. 107 of the Acts of 2022, c. 2 of the Acts of 2023, and c. 2 of the Acts of 2025 further extending the remote access provisions through June 30, 2027. The Planning Board accepted public comments via Zoom, mail, and e-mail.
4. Planning Board members Michael Schanbacher, Robert Creech, Melanie Thompson, Charles Hornig, and Tina McBride were present for the public meeting.
5. Planning Board members Michael Schanbacher, Robert Creech, Melanie Thompson, Charles Hornig, and Tina McBride deliberated on the application at their meeting.

REASON FOR DISAPPROVAL

The Planning Board finds that the Application and Subdivision Plans submitted by the applicant do not comply with applicable provisions of the Board's Subdivision Regulations relevant to this review. The proposed subdivision street system is not designed to permit the safe, efficient and orderly movement of motor vehicles, pedestrians and cars (Section 7.2.E(8)), and the center line of the paved area in the proposed road modification does not follow the center line of the right of way (Section 7.2.A(1)(a)). Accordingly, the Planning Board votes to **disapprove** the preliminary plan set entitled "329 MASSACHUSETTS AVENUE, ASSESSORS MAP 13 LOTS 360, PRELIMINARY SUBDIVISION PLAN, LOCATED IN LEXINGTON, MA, MARCH 7, 2025", prepared for Kathleen Maloney, prepared by PATRIOT Engineering, signed and stamped by Michael J. Novak, PE Civil No. 50696, dated March 5, 2025, consisting of eleven (11) sheets.

If Applicant Intends to Submit a Definitive Subdivision Application:

1. Disapproval of a preliminary subdivision plan does not prevent the submission of a definitive subdivision plan. If a definitive plan complies with the Subdivision Regulations, the Board must approve it.
2. Per §175-7.2E(8) road systems shall be designed to permit the safe, efficient and orderly movement of motor vehicles, pedestrians and cars.

3. Per §175-7.2A(1)(1) the center line of the paved area in the proposed road modification shall follow the center line of the right of way.
4. Per § 175-7.2E(7)(c)[2], the dead-end street turnaround pavement must have an outside turning radius of at least 50 feet.
5. Per § 175-5.3B(6), the approximate boundary lines of proposed lots, with approximate areas and dimensions, shall be shown on each sheet of the plan.
6. All existing easements shall be shown on the definitive plan submission.
7. Any new utility easements shall be a minimum of twenty (20) feet wide, per § 175-7.1B(4)(a).
8. Per § 175-7.1B(7), bounds shall be set along each right-of-way line at all intersections, angle points, points of change in direction or curvature of the street, and at the two corners of each lot that abuts the right of way. Such permanent bounds shall be installed per § 175-7.1B(7)(c) and § 175-7.1B(8).
9. Construction of the proposed roadway shall conform to § 175-7.2, Streets and Rights-of-way. The Applicant shall note on the Definitive Subdivision Plan whether the street will remain private or is intended to be an accepted way. If the Applicant wishes to have the Town accept the Road, road construction must follow Town standards and be inspected at certain milestones during construction. The property owners will be responsible for the stormwater facilities regardless of road ownership.
10. Per § 175-7.2E(7)(b), Dead-end Streets, the Applicant shall install a "Dead End" or "Not a Through Way" sign per the specifications of the Town Engineer. Such signage shall be shown on the definitive subdivision plan.
11. The cul-de-sec is required to have a landscaped center island per § 175-7.2E(7)(c)[1]; such planting schedule should utilize the Lexington Preferred Planting List, dated October 6, 2021.
12. The sidewalks and crosswalks shall be ADA compliant with ramps and tactile pads, per § 175-7.3; ADA compliant ramps shall run in the direction of travel.
13. Ensure that curbing allows for roadway runoff to be directed to the proposed catch basins and does not collect in the area of the crosswalk and ADA ramp.
14. Fire hydrants shall be placed not more than 500 feet apart and approved per § 175-7.4B(3) by the Fire Department.
15. The definitive subdivision shall demonstrate compliance with § 175-7.5, per a National Pollutant Discharge Elimination System (NPDES) general permit.

16. The Definitive Subdivision shall demonstrate compliance with § 175-7.5 for above-threshold projects detailed in Article VI, Stormwater Management Regulations, Chapter 181 of the Code of Lexington.
17. Per § 175-7.4A, all elements of the water and sanitary sewer service must be designed to comply with the Town's Water, Sewer and Drain Regulations and the Standard Specifications. All sewer extensions with proposed flows in excess of 15,000 gallons per day will require the removal of 4 gallons of infiltration and inflow for each gallon of permitted wastewater flow requested.
18. Per § 175-7.6, the Applicant shall submit a landscaping and planting plan that demonstrates compliance with street tree requirements and conforms with Lexington Preferred Planting List, adopted October 6, 2021, or EPA Eco Regional III.
19. Per the rules adopted by the Conservation Commission pursuant to Chapter 130, Section 5(2) "Performance Standards", any proposed work that discharges to a protected resource area or connects to a storm drain system that discharges to a protected resource area shall not result in an increase in the peak rate of surface runoff during 2-year, 10-year, or 100-year return period storm events and shall not result in an increase in the total volume of surface runoff for the 1-year return period storm at all design points. A drainage connection into the Lexington Municipal Separate Storm Sewer System (MS4) will require review and approval through a Request for Determination of Applicability, or a Notice of Intent if any conservation regulatory performance standards are requested to be waived.

RECORD OF VOTE

On April 17, 2025, the Planning Board voted --- in favor, --- opposed, and zero (0) abstentions to grant approval with conditions for the Preliminary Subdivision Application for the properties listed at 329 Massachusetts Avenue.

Preliminary Subdivision

Michael Schanbacher –
Robert Creech –
Melanie Thompson –
Charles Hornig –
Tina McBride –

Board Chair Signature: _____

Date: _____

Date of Vote: _____

DRAFT

AGENDA ITEM SUMMARY

LEXINGTON PLANNING BOARD

AGENDA ITEM TITLE:

125 Hartwell Avenue - Preliminary Subdivision

PRESENTER:

Applicant: David Robinson, Allen &
Major

ITEM NUMBER:

SUMMARY:

The Planning Board will hold a virtual public meeting on the application of Michael Porcaro c/o Eliot Community Human Services, Inc., for approval of a preliminary subdivision plan under §175-5.0 of the Planning Board's Subdivision Regulations. Application proposes subdividing property into 3 lots on a cul-de-sac.

The property is located at 125 Hartwell Avenue, Lexington, MA also known as Map 74, Lot 10 in the CM (Manufacturing) and VHO (Village High-Rise Overlay) zoning districts.

Application materials may be viewed online at <https://lexingtonma.portal.opengov.com/records/101253>.

SUGGESTED MOTION:

Staff recommends approval with conditions of items to be incorporated into a definitive subdivision plan submission.

Move to approve the preliminary subdivision plan with conditions for 125 Hartwell Avenue as outlined in the draft approval prepared by staff.

FOLLOW-UP:

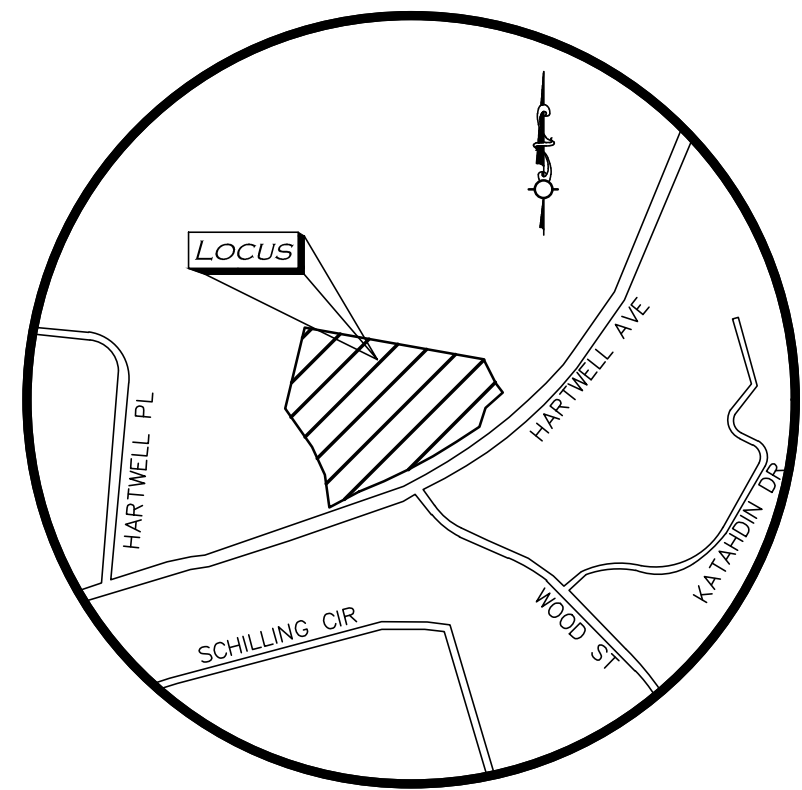
DATE AND APPROXIMATE TIME ON AGENDA:

4/17/2025

ATTACHMENTS:

Description

Type



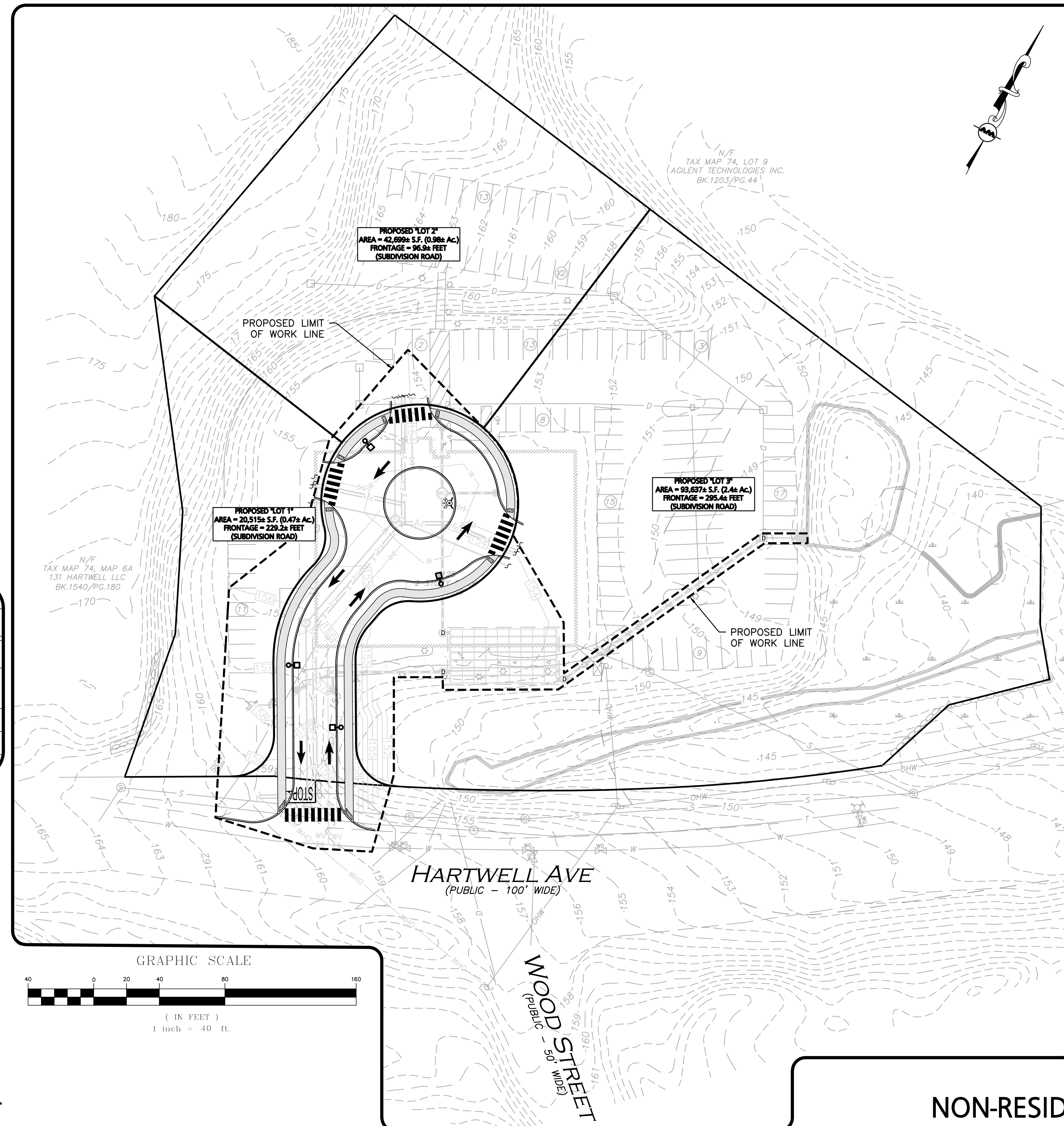
LOCUS MAP
(NOT TO SCALE)

PLANS FOR PRELIMINARY NON-RESIDENTIAL SUBDIVISION OF LAND 125 HARTWELL AVENUE (ASSESSORS MAP 74, PARCEL 10) LEXINGTON, MA

APPLICANT/OWNER:
ELIOT COMMUNITY HUMAN SERVICES INC.
c/o MICHAEL PORCARO
186 BEDFORD STREET
LEXINGTON, MA 02420
781.861.0890

SITE CIVIL ENGINEER AND LAND SURVEYOR:
ALLEN & MAJOR ASSOCIATES, INC.
100 COMMERCE WAY, SUITE 5
WOBURN, MA 01801
781.935.6889

LIST OF DRAWINGS			
DRAWING TITLE	SHEET NO.	ISSUED	REVISED
EXISTING CONDITIONS	I	03-06-2025	-
PRELIMINARY LAYOUT, MATERIALS AND LOTTING PLAN	C-101	03-06-2025	-
PRELIMINARY GRADING AND DRAINAGE PLAN	C-102	03-06-2025	-
PRELIMINARY UTILITIES PLAN	C-103	03-06-2025	-
DETAILS	C-501 - C-504	03-06-2025	-



APPROVED BY:
TOWN OF LEXINGTON PLANNING BOARD

DATE: _____

THIS PLAN IS SUBJECT TO A COVENANT
DATED _____

THIS PLAN IS SUBJECT TO A CERTIFICATE OF
ACTION DATED _____

THIS PLAN IS SUBJECT TO A SPECIAL PERMIT
DATED _____

I, _____, TOWN CLERK
OF THE TOWN OF LEXINGTON,
MASSACHUSETTS HEREBY CERTIFY THAT THE
NOTICE OF APPROVAL OF THIS PLAN HAS
BEEN RECEIVED AND RECORDED AT THIS
OFFICE AND NO NOTICE OF APPEAL WAS
RECEIVED DURING THE TWENTY DAYS NEXT
AFTER SUCH RECEIPT AND RECORDING OF
SAID NOTICE.

TOWN CLERK _____ DATE _____

PREPARED BY:

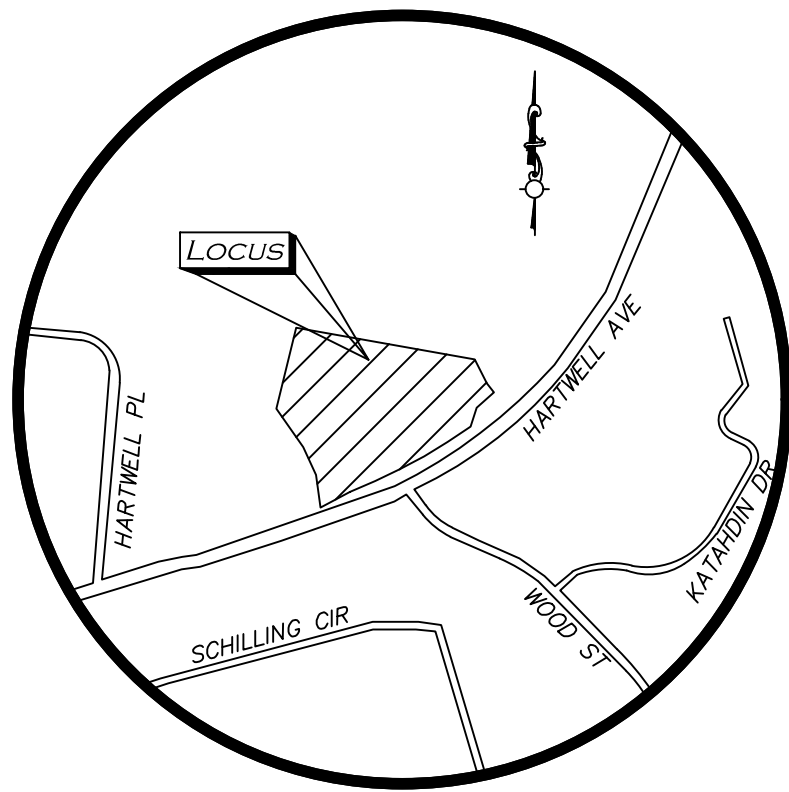
**ALLEN & MAJOR
ASSOCIATES, INC.**
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WOBURN MA 01888-0118
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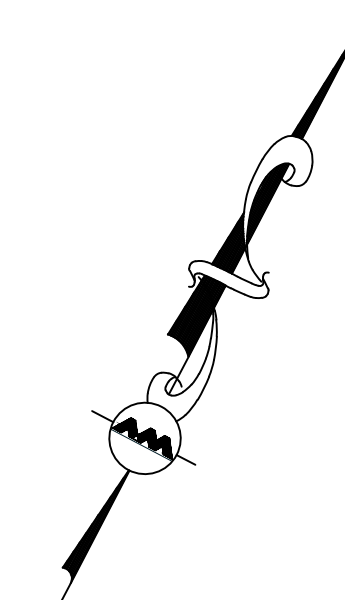
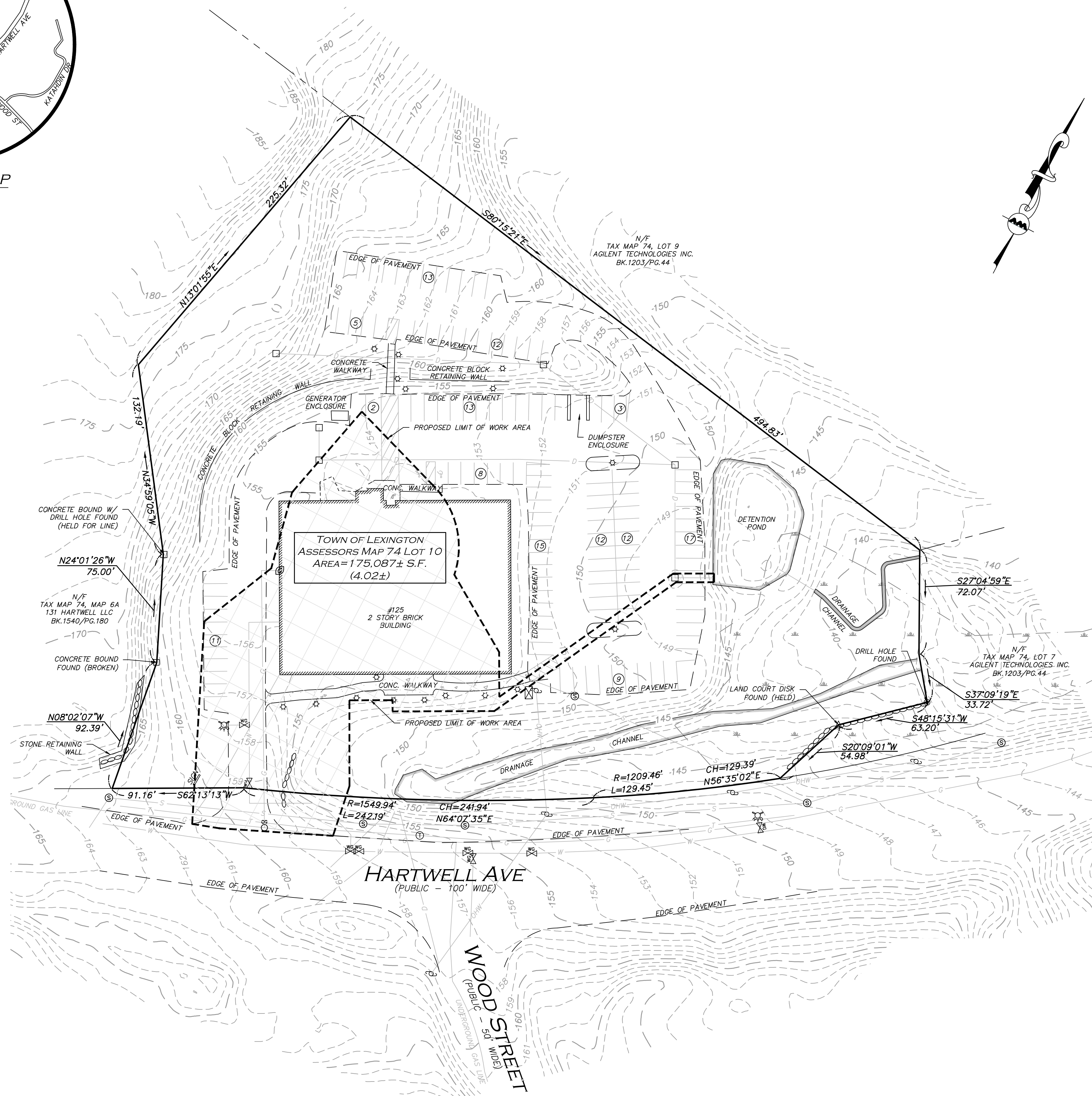
Carlton M. Quinn
PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

ZONING DISTRICTS:
COMMERCIAL MANUFACTURING (CM) ZONING DISTRICT
TRANSPORTATION MANAGEMENT OVERLAY (TMO) DISTRICT
VILLAGE HIGH-RISE OVERLAY (VHO) ZONING DISTRICT

NON-RESIDENTIAL PRELIMINARY SUBDIVISION PLANS
ISSUED TO PLANNING BOARD : MARCH 6, 2025



LOCUS MAP
(NOT TO SCALE)



LEGEND

DRILL HOLE (DH)	⊙
LAND COURT DISK	⊠
STONE BOUND (SB)	⊞
SEWER MANHOLE (SMH)	⊕
TELEPHONE MANHOLE (TMH)	⊖
CATCH BASIN (CB)	⊗
UTILITY POLE	⊘
FIRE HYDRANT	⊙
WATER GATE	⊕
GAS GATE	⊖
LIGHT	⊗
TRANSFORMER	⊘
GAS METER	⊙
HANDICAPPED PARKING SPACE	⊞
PARKING SPACE COUNT	⊞
PROPOSED LIMIT OF WORK	---
CONCRETE	▬
WETLAND AREA	▬
EDGE OF WETLAND	▬
BUILDING	▬
BUFFER ZONE	▬
1' CONTOUR	---149---
5' CONTOUR	---150---
PROPERTY LINE	▬
ABUTTERS LINE	▬
STONE WALL	▬
CONCRETE RETAINING WALL	▬
STONE RETAINING WALL	▬
EDGE OF PAVEMENT	▬
EDGE OF WATER	▬
WATER LINE	W
SEWER LINE	S
DRAIN LINE	D
GAS LINE	G
TELEPHONE LINE	T
OVERHEAD WIRES	OHW
CONCRETE	CONC.
GRANITE	GRAN.
STONE BOUND W/DRILL HOLE	SB/DH
CONC. BOUND W/DRILL HOLE	CB/DH
FOUND	FND
NOW OR FORMERLY	N/F
BOOK	BK.
PAGE	PG.
PLAN BOOK	PB.
PLAN	PL.

PARKING SUMMARY

STANDARD STALLS	130
HANDICAPPED STALLS	2
TOTAL STALLS	132

SEE NOTE 5 BELOW

LOCUS REFERENCES

- TOWN OF LEXINGTON, MA ASSESSORS MAP 74, LOT 10
- DEED BOOK 1505, PAGE 23
- LAND COURT PLAN 23467-C

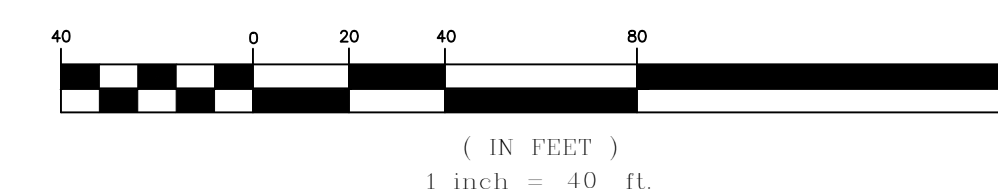
PLAN REFERENCES

- PLAN ENTITLED "ALTA/ACSM LAND TITLE SURVEY PLAN OF LAND IN LEXINGTON, MASS (MIDDLESEX COUNTY)", SCALE 1"=40', PREPARED BY METROWEST ENGINEERING, INC., & PREPARED FOR 125 HARTWELL TRUST.

NOTES

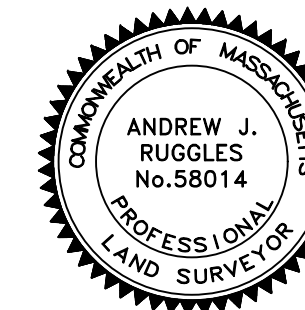
1. NORTH ARROW IS BASED ON MASSACHUSETTS GRID COORDINATE SYSTEM (MAINLAND ZONE) (NAD 83).
2. BOOK/PAGE AND PLAN REFERENCES ARE TAKEN FROM MIDDLESEX (SOUTH) REGISTRY OF DEEDS IN CAMBRIDGE, MA.
3. VERTICAL DATUM IS NAVD 88, ESTABLISHED USING RTK GPS OBSERVATION.
4. CONTOUR INTERVAL IS ONE FOOT (1').
5. THIS PLAN IS THE RESULT OF COMPILED PLANS ONLY. MINIMAL ON-THE-GROUND SURVEY WAS PERFORMED TO VERIFY PROPERTY LINE ONLY. SHOULD THE PROJECT MOVE FORWARD, A FULL BOUNDARY SURVEY AND EXISTING CONDITIONS SURVEY WILL BE REQUIRED.
6. WETLAND LINE TAKEN FROM MASS DEP GIS LAYER.

GRAPHIC SCALE



N:\PROJECTS\3491-01\SURVEY\DRAWINGS\CURRENT\S-3491-01-EC-COMPILED.DWG

THIS PLAN IS THE RESULT OF COMPILED PLANS ONLY. MINIMAL ON-THE-GROUND SURVEY WAS PERFORMED TO VERIFY PROPERTY LINE ONLY. SHOULD THE PROJECT MOVE FORWARD, A FULL BOUNDARY SURVEY AND EXISTING CONDITIONS SURVEY WILL BE REQUIRED.



PROFESSIONAL LAND SURVEYOR FOR ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

APPLICANT/OWNER:

ELIOT COMMUNITY HUMAN SERVICES INC.
186 BEDFORD STREET
LEXINGTON, MA 02420

PROJECT:

125 HARTWELL AVE
MAP 74 LOT 10
LEXINGTON, MA

PROJECT NO.	3491-01	DATE:	03/06/25
-------------	---------	-------	----------

SCALE:	1" = 40'	DWG. NAME:	S-3491-01-EC
--------	----------	------------	--------------

DRAFTED BY:	JDS	CHECKED BY:	AJR
-------------	-----	-------------	-----

PREPARED BY:

ALLEN & MAJOR ASSOCIATES, INC.
civil engineering • land surveying
environmental consulting • landscape architecture
www.allenmajor.com
100 COMMERCE WAY
WOBURN MA 01801-8501
TEL: (781) 935-6889
FAX: (781) 935-2896

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DRAWING TITLE:	SHEET No.
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EXISTING CONDITIONS 1

DATE: _____

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DATED _____
THIS PLAN IS SUBJECT TO A CERTIFICATE OF ACTION DATED _____
THIS PLAN IS SUBJECT TO A SPECIAL PERMIT DATED _____

I, _____ TOWN CLERK OF THE TOWN OF LEXINGTON, MASSACHUSETTS HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

TOWN CLERK _____ DATE _____



PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

REV DATE DESCRIPTION

APPLICANT/OWNER:
ELIOT COMMUNITY HUMAN SERVICES, INC.
186 BEDFORD STREET
LEXINGTON, MA 02420

PROJECT:
PRELIMINARY NON-RESIDENTIAL
SUBDIVISION PLANS
125 HARTWELL AVENUE
LEXINGTON, MA

PROJECT NO. 3491-01 DATE: 2025-03-06

SCALE: 1" = 30' DWG. NAME: C-3491-01

DESIGNED BY: DMR/MTB CHECKED BY: CMQ

PREPARED BY:



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DRAWING TITLE: SHEET No.

PRELIMINARY LAYOUT,
MATERIALS AND LOTTING PLAN C-101

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ZONING SUMMARY TABLE
COMMERCIAL MANUFACTURING ZONING DISTRICT (CM)
TRANSPORTATION MANAGEMENT OVERLAY DISTRICT (TMO)
VILLAGE HIGH-RISE OVERLAY (VHO)

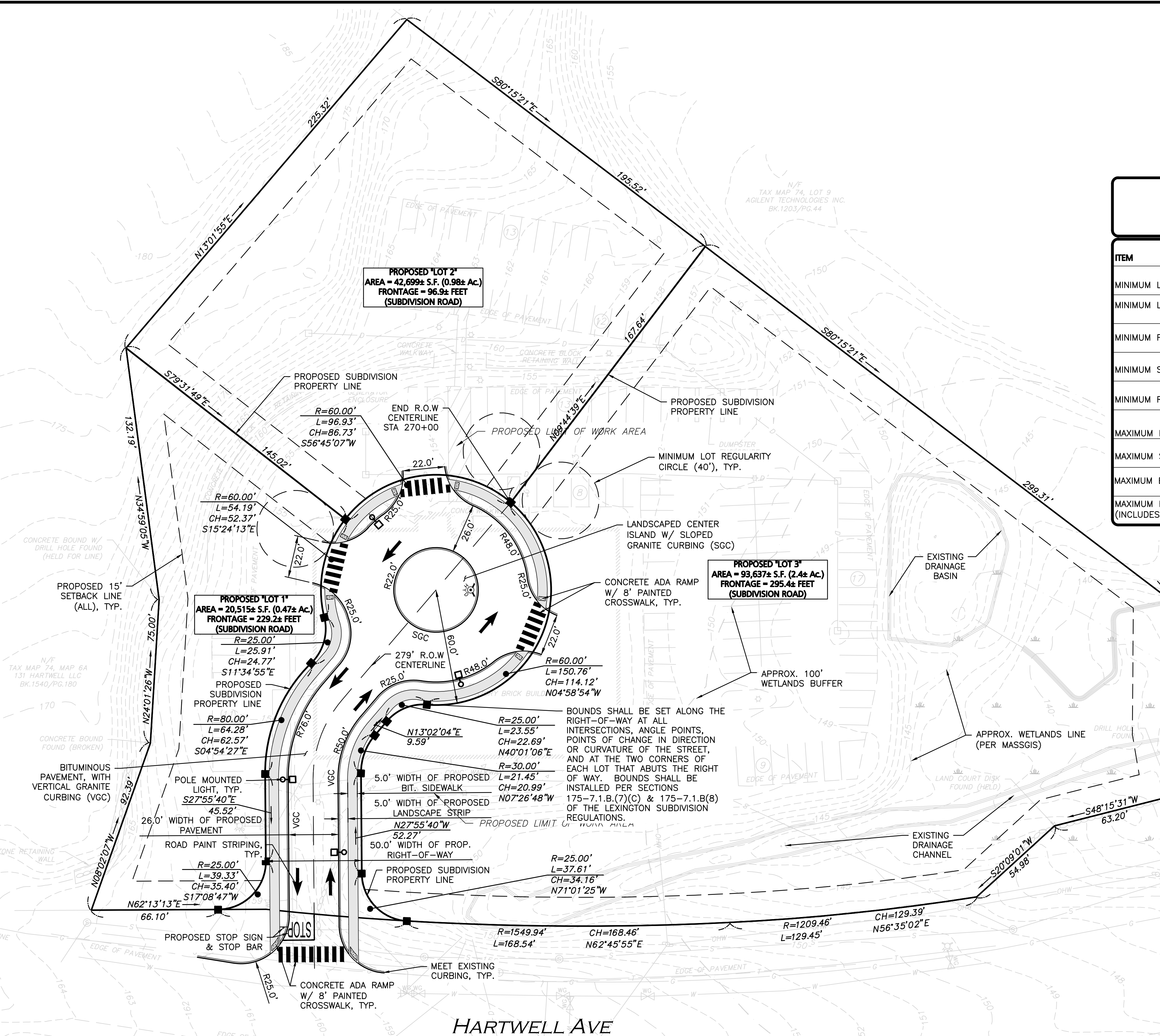
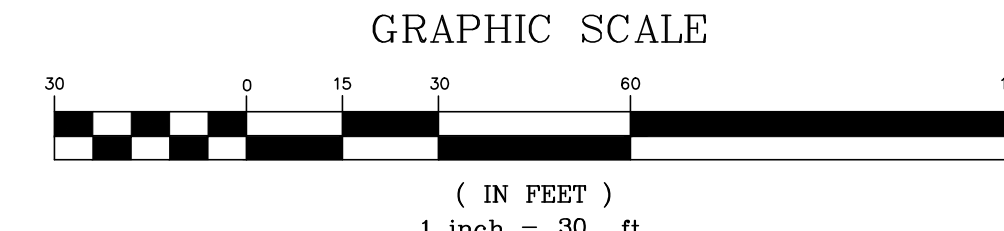
ITEM	REQUIRED ZONING (CM)	PROPOSED LOT 1	PROPOSED LOT 2	PROPOSED LOT 3
MINIMUM LOT AREA	20,000 S.F. (0.46 Ac.)	20,515 S.F. (0.47 Ac.)	42,699 S.F. (0.98 Ac.)	93,637 S.F. (2.4 Ac.)
MINIMUM LOT FRONTAGE	50'	229.2'	96.9'	295.4'
MINIMUM FRONT YARD	NR	NR	NR	NR
MINIMUM SIDE YARD	15'	N/A	N/A	N/A
MINIMUM REAR YARD	15'	N/A	N/A	N/A
MAXIMUM FLOOR AREA RATIO	NR	NR	NR	NR
MAXIMUM SITE COVERAGE	NR	NR	NR	NR
MAXIMUM BUILDING STORIES	NR	NR	NR	NR
MAXIMUM BUILDING HEIGHT (INCLUDES ACCESSORY BLDGS)	115'	N/A	N/A	N/A

LEGEND

PROPERTY LINE	—
SIGN	—
CURB	—
ROADWAY STRIPING	—
TRAFFIC ARROWS	→
SIDEWALK	—
ADA ACCESSIBLE RAMP	—
ADA DET. WARNING SURFACE	—
SETBACK LINE	—
BASELINE	—
LIGHTING	—
STONE BOUND	—

GENERAL NOTES

- PROPERTY LINE AND EXISTING SITE CONDITIONS INFORMATION SHOWN HEREON WAS PREPARED BY ALLEN & MAJOR ASSOCIATES. THE INFORMATION SHOWN IS SUBJECT TO FIELD VERIFICATION AND MAY BE UPDATED AS NEEDED.
- WETLANDS AND BUFFERS SHOWN ARE APPROXIMATE ONLY.
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
- THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. IT'S INTENDED USE IS TO PROVIDE INFORMATION, ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.
- THE PURPOSE OF THIS PLAN IS TO CREATE A SUBDIVISION ROAD AND THREE PROPOSED LOTS, LOTS 1, 2 AND LOT 3.
- ALL CURB RADII ARE TO BE 3' UNLESS OTHERWISE NOTED.
- ABBREVIATION "NR" SHALL SIGNIFY NO REQUIREMENT WITH REGARDS TO ZONING DIMENSIONAL REQUIREMENTS.
- PROPOSED DRIVEWAY INCORPORATES A 50' WIDE RIGHT-OF-WAY, A 26' WIDE PAVED DRIVEWAY AND A 60' RADIUS CUL-DE-SAC BULB.
- CONSTRUCTION OF THE PROPOSED ROADWAY SHALL CONFIRM TO 175.2, STREETS AND RIGHTS-OF-WAY. THE PROPOSED STREET INTENDED TO BE A PRIVATE WAY.
- BOUNDS SHALL BE SET ALONG THE RIGHT-OF-WAY AT ALL INTERSECTIONS, ANGLE POINTS, POINTS OF CHANGE IN DIRECTION OR CURVATURE OF THE STREET, AND AT THE TWO CORNERS OF EACH LOT THAT ABUTS THE RIGHT OF WAY. BOUNDS SHALL BE INSTALLED PER SECTIONS 175-7.1.B.(7)(C) & 175-7.1.B.(8) OF THE LEXINGTON SUBDIVISION REGULATIONS.



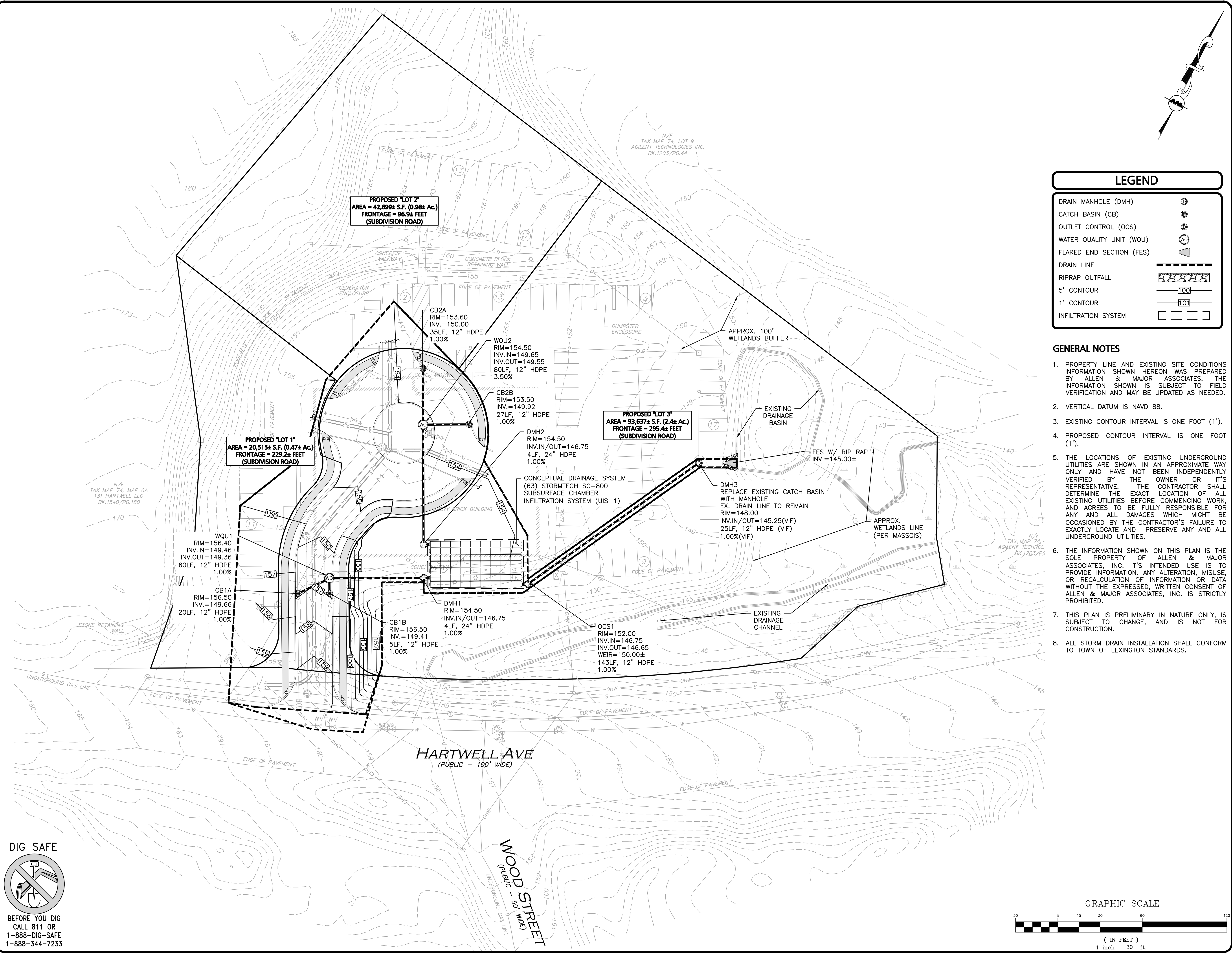
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PROFESSIONAL LAND SURVEYOR FOR ALLEN & MAJOR ASSOCIATES, INC.



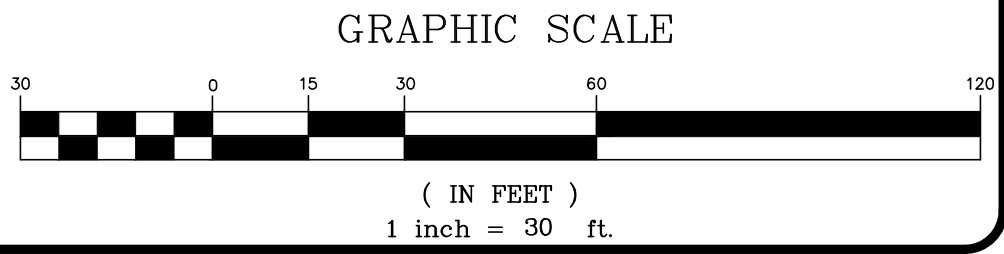
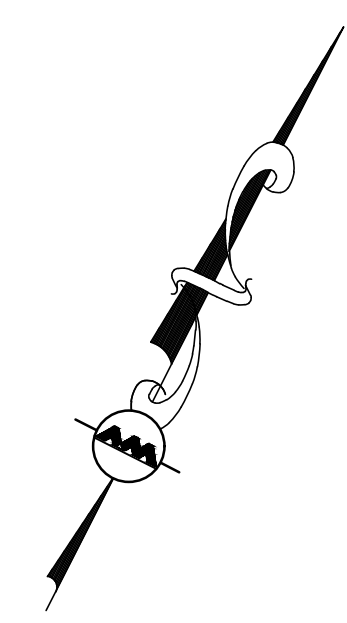
N:\PROJECTS\3491-01\CIVIL\DRAWINGS\CURRENT\C-3491-01_GRADING & DRAINAGE.DWG



LEGEND

- DRAIN MANHOLE (DMH)
- CATCH BASIN (CB)
- OUTLET CONTROL (OCS)
- WATER QUALITY UNIT (WQU)
- FLARED END SECTION (FES)
- DRAIN LINE
- RIPRAP OUTFALL
- 5' CONTOUR
- 1' CONTOUR
- INFILTRATION SYSTEM

- GENERAL NOTES**
- PROPERTY LINE AND EXISTING SITE CONDITIONS INFORMATION SHOWN HEREON WAS PREPARED BY ALLEN & MAJOR ASSOCIATES. THE INFORMATION SHOWN IS SUBJECT TO FIELD VERIFICATION AND MAY BE UPDATED AS NEEDED.
 - VERTICAL DATUM IS NAVD 88.
 - EXISTING CONTOUR INTERVAL IS ONE FOOT (1').
 - PROPOSED CONTOUR INTERVAL IS ONE FOOT (1').
 - THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR IT'S REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
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 - THIS PLAN IS PRELIMINARY IN NATURE ONLY, IS SUBJECT TO CHANGE, AND IS NOT FOR CONSTRUCTION.
 - ALL STORM DRAIN INSTALLATION SHALL CONFORM TO TOWN OF LEXINGTON STANDARDS.



DIG SAFE

BEFORE YOU DIG
CALL 811 OR
1-888-DIG-SAFE
1-888-344-7233

APPROVED BY:
TOWN OF LEXINGTON PLANNING BOARD

DATE: _____

THIS PLAN IS SUBJECT TO A COVENANT
DATED _____

THIS PLAN IS SUBJECT TO A CERTIFICATE OF ACTION DATED _____

THIS PLAN IS SUBJECT TO A SPECIAL PERMIT
DATED _____

I, _____ TOWN CLERK OF THE TOWN OF LEXINGTON, MASSACHUSETTS HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

TOWN CLERK _____ DATE _____

PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

APPLICANT/OWNER:
ELIOT COMMUNITY HUMAN SERVICES, INC.
186 BEDFORD STREET
LEXINGTON, MA 02420

PROJECT:
PRELIMINARY NON-RESIDENTIAL
SUBDIVISION PLANS
125 HARTWELL AVENUE
LEXINGTON, MA

PROJECT NO. 3491-01 **DATE:** 2025-03-06
SCALE: 1" = 30' **DWG. NAME:** C-3491-01
DESIGNED BY: DMR/MTB **CHECKED BY:** CMQ

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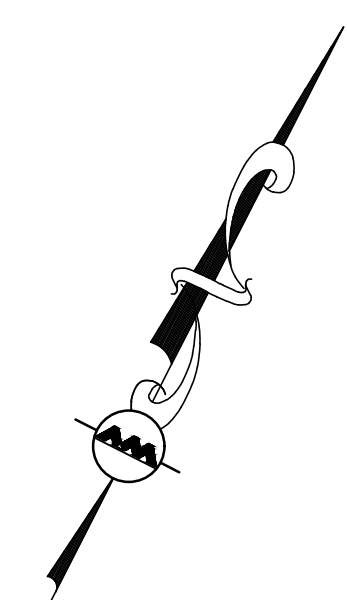
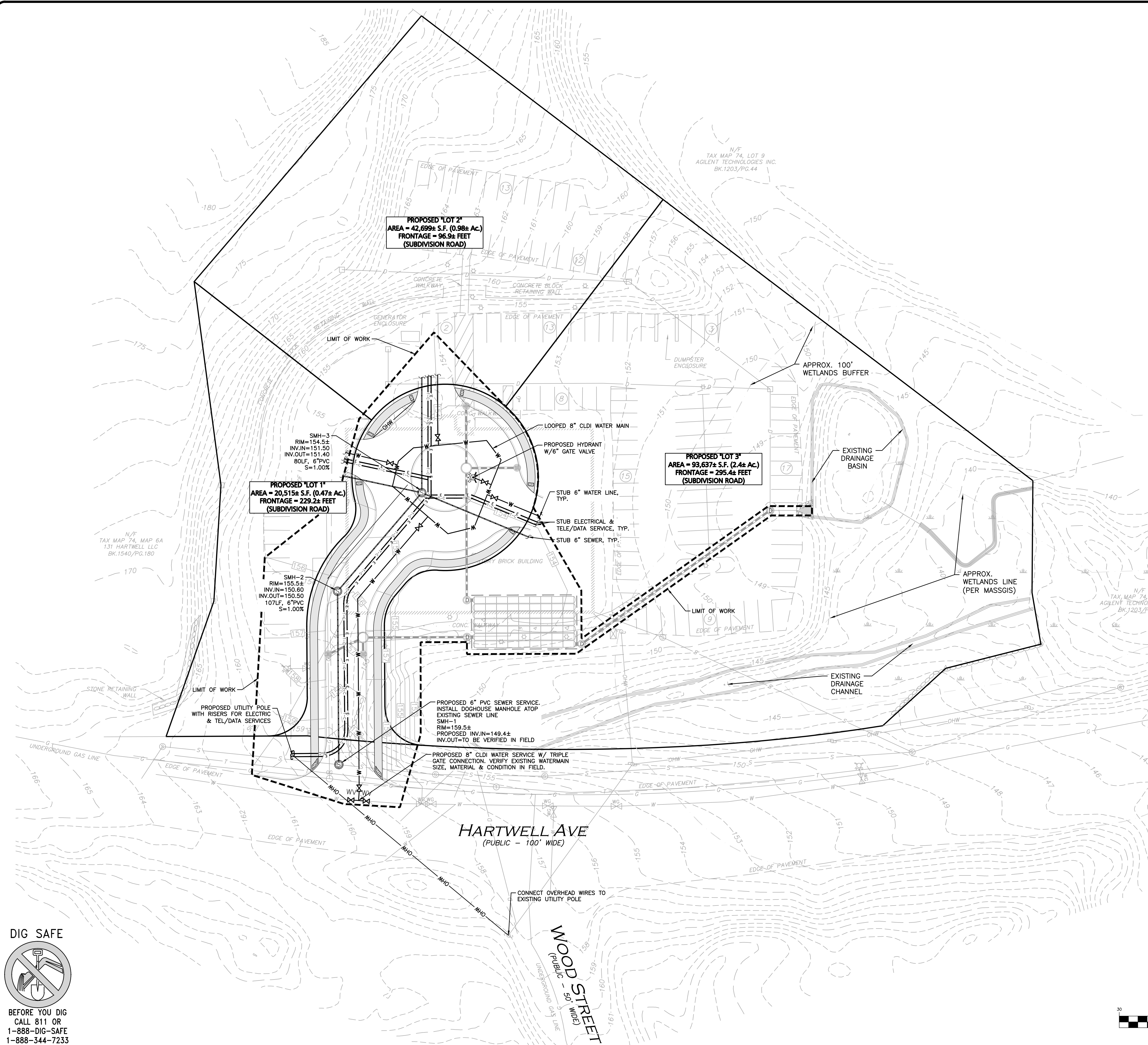
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DRAWING TITLE: PRELIMINARY GRADING & DRAINAGE PLAN
SHEET No.: C-102

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N:\PROJECTS\3491-01\CIVIL\DRAWINGS\CURRENT\C-3491-01_UTILITIES.DWG



LEGEND	
SEWER MANHOLE	⊙
SEWER LINE	—S—
WATER LINE	—W—
WATER VALVE	⊕
HYDRANT	⊙
OVER HEAD WIRE	—OHW—
UTILITY POLE	⊕
ELECTRIC MANHOLE	⊙
HANDHOLE	⊕
ELECTRICAL CONDUIT	—E—
TELE/CABLE CONDUIT	—C—

GENERAL NOTES

- PROPERTY LINE AND EXISTING SITE CONDITIONS INFORMATION SHOWN HEREON WAS PREPARED BY ALLEN & MAJOR ASSOCIATES. THE INFORMATION SHOWN IS SUBJECT TO FIELD VERIFICATION AND MAY BE UPDATED AS NEEDED.
- VERTICAL DATUM IS NAVD 88.
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
- THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. IT'S INTENDED USE IS TO PROVIDE INFORMATION. ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.
- THIS PLAN IS PRELIMINARY IN NATURE ONLY, IS SUBJECT TO CHANGE, AND IS NOT FOR CONSTRUCTION.
- ALL UTILITY INSTALLATION SHALL CONFORM TO TOWN OF LEXINGTON STANDARDS.
- ALL VALVES AND VALVE BOXES SHALL BE AMERICAN MADE ONLY AND OPEN RIGHT (CLOCKWISE) PER TOWN OF LEXINGTON STANDARDS.

APPROVED BY:
TOWN OF LEXINGTON PLANNING BOARD

DATE: _____

THIS PLAN IS SUBJECT TO A COVENANT
DATED _____

THIS PLAN IS SUBJECT TO A CERTIFICATE OF ACTION DATED _____

THIS PLAN IS SUBJECT TO A SPECIAL PERMIT
DATED _____

I, _____ TOWN CLERK OF THE TOWN OF LEXINGTON, MASSACHUSETTS HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

TOWN CLERK _____ DATE _____

CARLTON W. QUINN
No. 49923
REGISTERED PROFESSIONAL ENGINEER

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

APPLICANT/OWNER:
ELIOT COMMUNITY HUMAN SERVICES, INC.
186 BEDFORD STREET
LEXINGTON, MA 02420

PROJECT:
**PRELIMINARY NON-RESIDENTIAL
SUBDIVISION PLANS**
125 HARTWELL AVENUE
LEXINGTON, MA

PROJECT NO.	3491-01	DATE:	2025-03-06
SCALE:	1" = 30'	DWG. NAME:	C-3491-01
DESIGNED BY:	DMR/MTB	CHECKED BY:	CMQ

PREPARED BY:

ALLEN & MAJOR ASSOCIATES, INC.

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environmental consulting • landscape architecture
www.allenmajor.com
100 COMMERCE WAY, SUITE 5
WOBURN MA 01801
TEL: (781) 935-6889
FAX: (781) 935-2896

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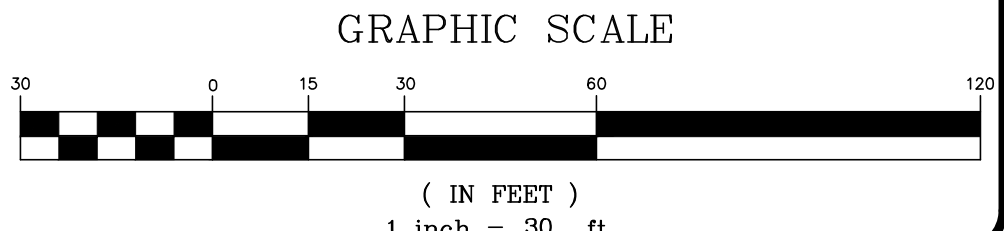
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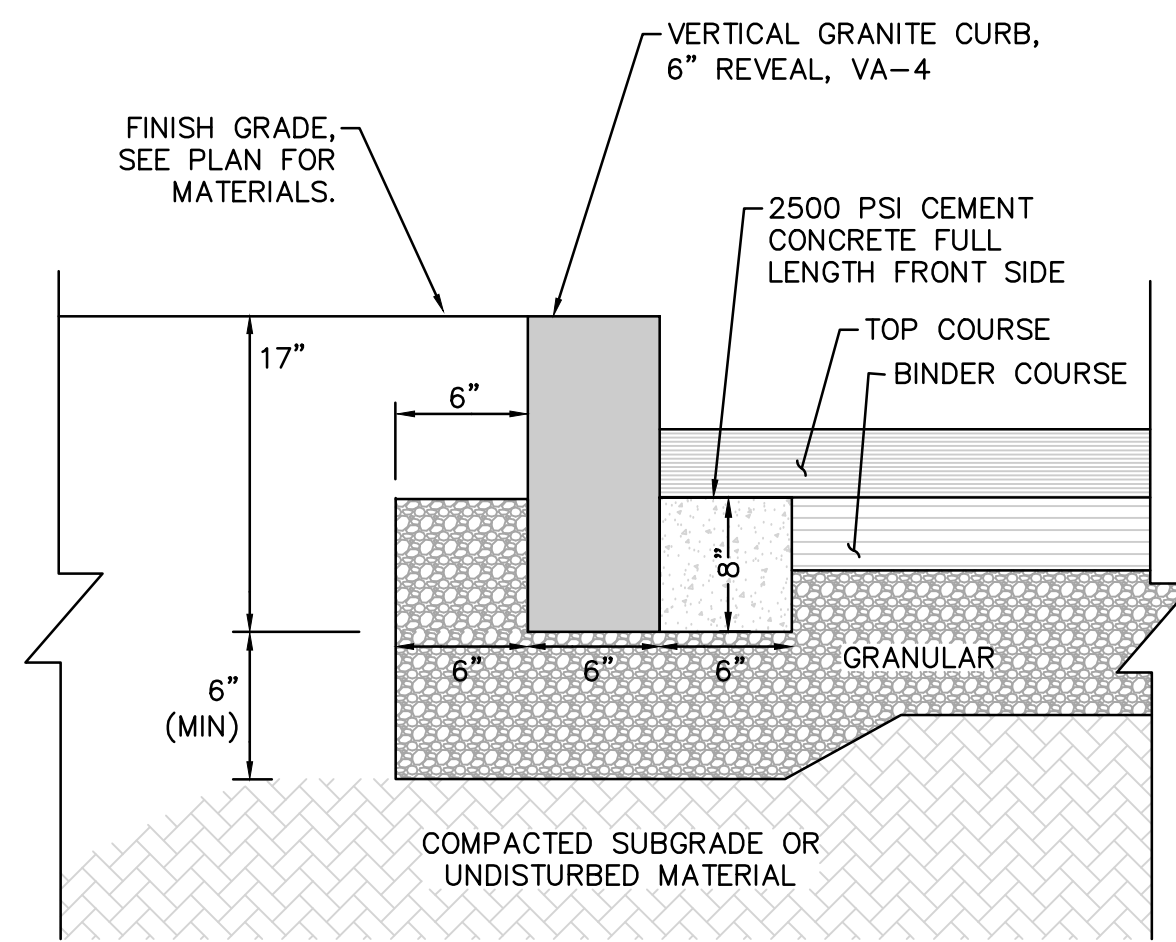
DRAWING TITLE: **PRELIMINARY UTILITIES PLAN** SHEET No. **C-103**

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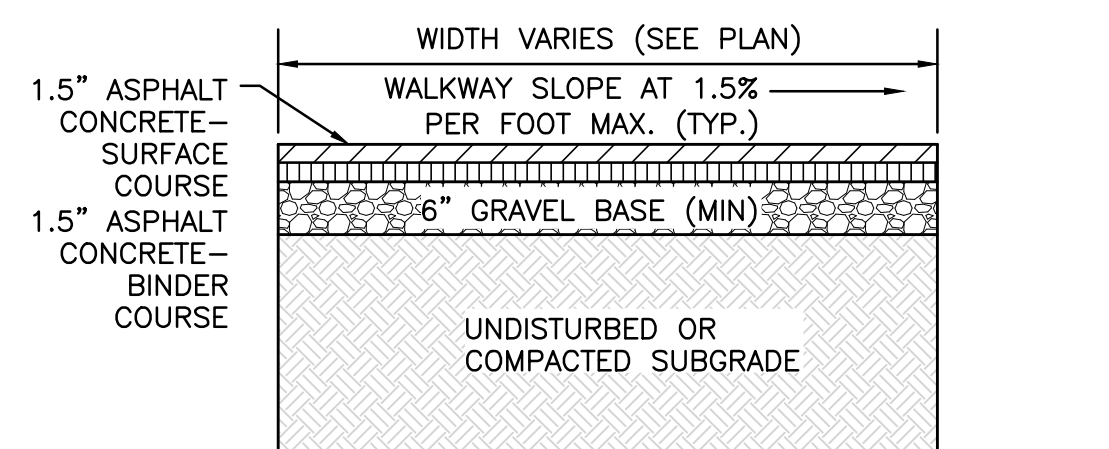
DIG SAFE

BEFORE YOU DIG
CALL 811 OR
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1-888-344-7233

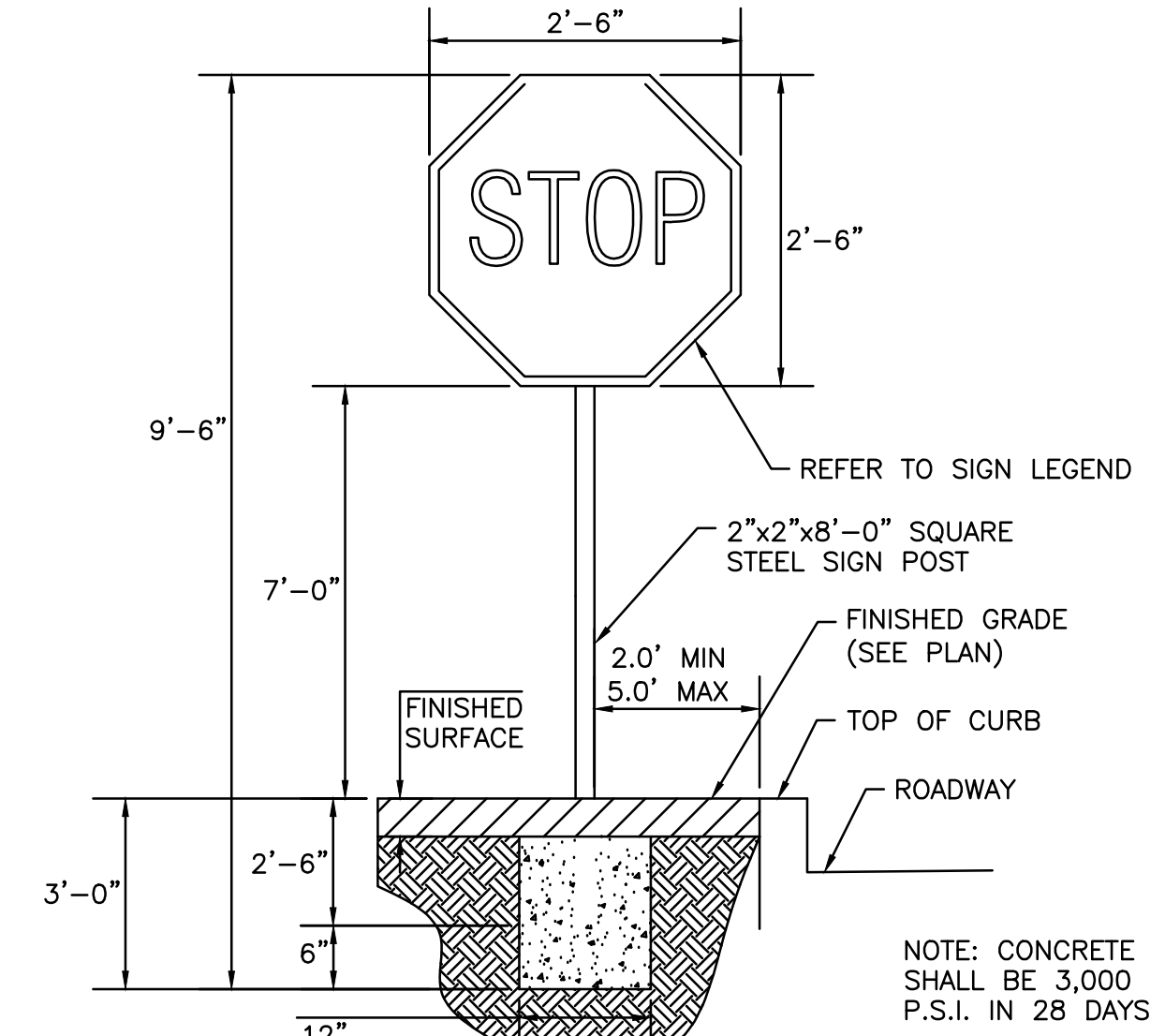




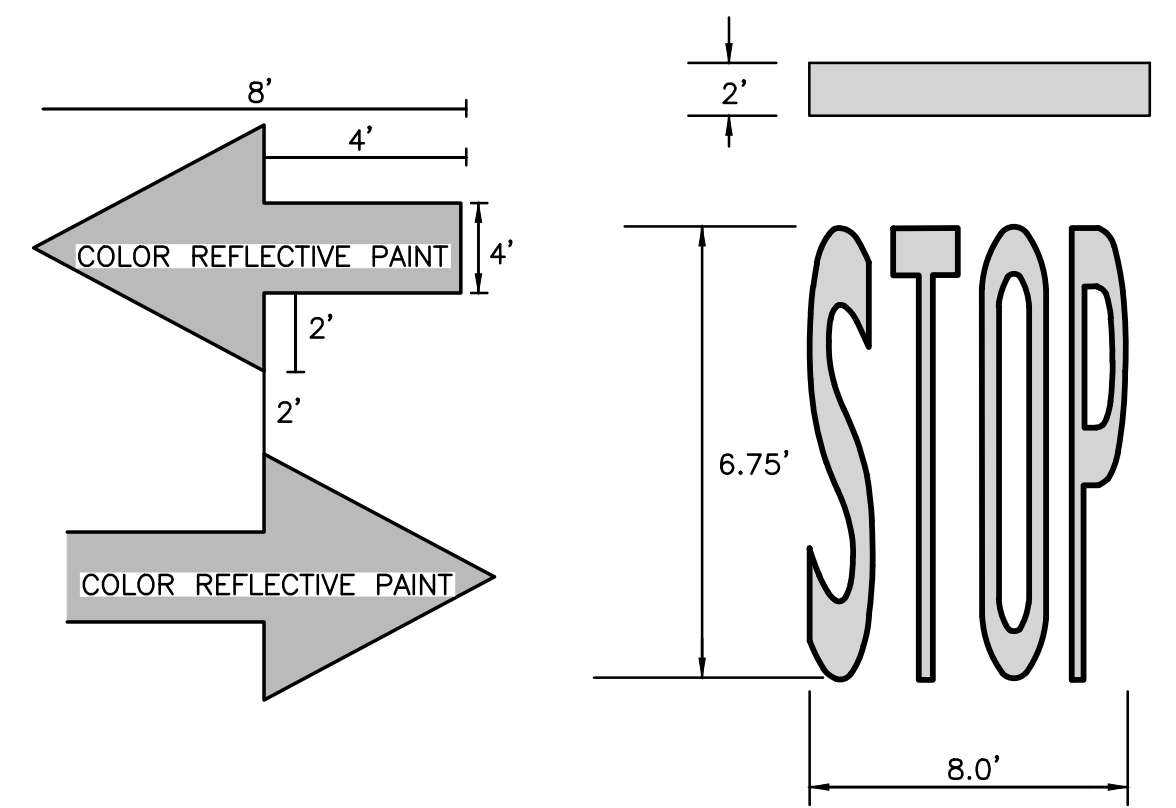
VERTICAL GRANITE CURBING TYPE VA-4 (VGC)
NOT TO SCALE



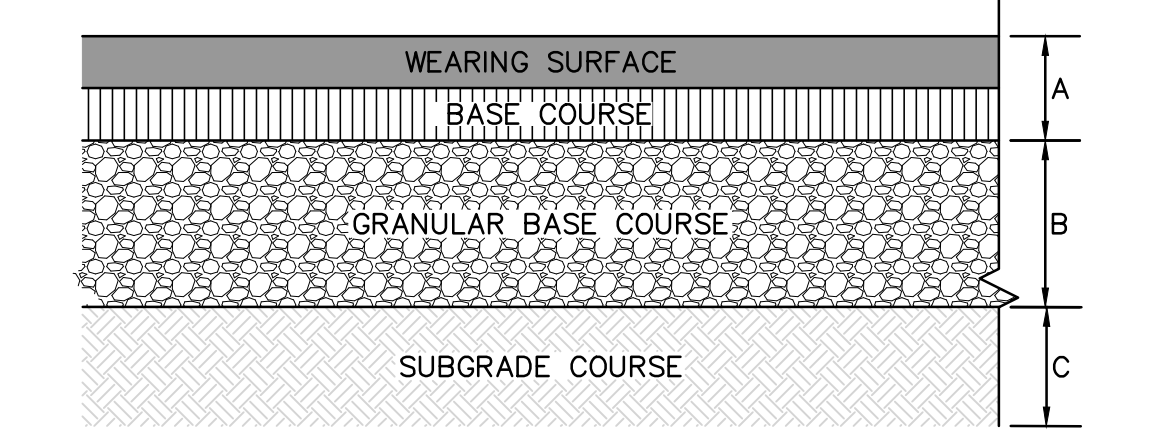
- BITUMINOUS WALKWAY**
NOT TO SCALE
- NOTES:
- REFERENCE PLANS FOR ELEVATIONS.
 - COMPACT SOIL SUBGRADE UNIFORMLY TO AT LEAST 95% OF ASTM D 1557 LABORATORY DENSITY.
 - PROOF-ROLL PREPARED SUBGRADE TO IDENTIFY SOFT POCKETS AND AREAS OF EXCESS YIELDING, EXCAVATE SOFT SPOTS, UNSATISFACTORY SOILS, AND AREAS OF EXCESSIVE PUMPING OR RUTTING, AS DETERMINED BY GEOTECHNICAL ENGINEER AND REPLACE WITH COMPACTED BACKFILL OR FILL AS DIRECTED.
 - CONTRACTOR SHALL COORDINATE SURFACE, BINDER, AND BASE COURSES WITH GEOTECHNICAL OR SOILS REPORT. REFER TO REPORT FOR RECOMMENDATIONS FOR LOCAL SOILS OR DRAINAGE CONDITIONS AND/OR METHODS.
 - BASE COURSE SHALL EXTEND 6 INCHES BEYOND WALKWAY EDGE WHERE WALKWAY DOES NOT ABUT DEEP CURB, WALL, STEPS, OR FIXED OBJECT.
 - WALKWAY EDGES SHALL BE TAMPED WHERE WALKWAY DOES NOT ABUT DEEP CURB, WALL, STEPS, OR FIXED OBJECT.



STOP SIGN DETAIL
NOT TO SCALE



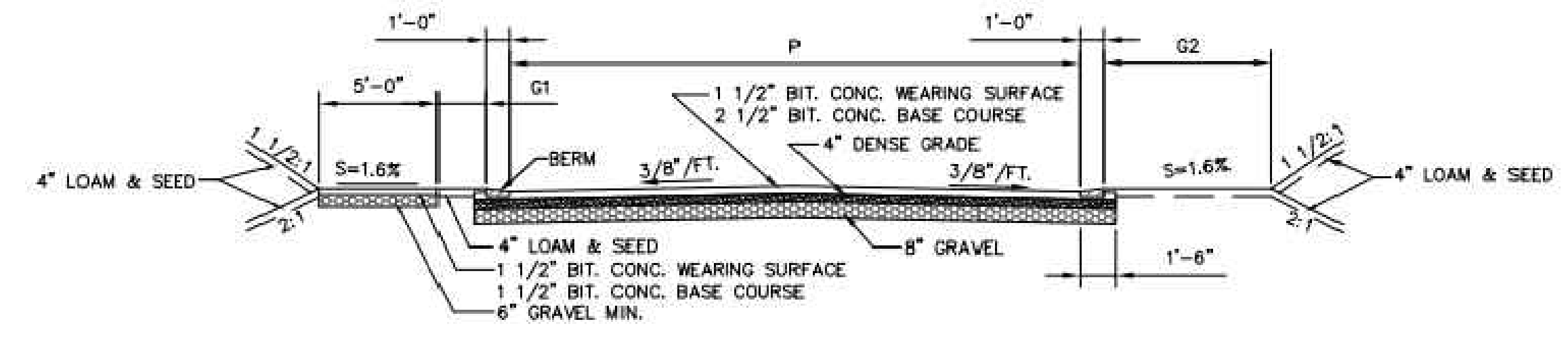
WHITE THERMOPLASTIC LETTERING AND ARROWS
NOT TO SCALE



- NOTES:**
- COMPACT SOIL SUBGRADE UNIFORMLY TO AT LEAST 95 PERCENT OF ASTM D1557 LABORATORY DENSITY.
 - PROOF-ROLL PREPARED SUBGRADE TO IDENTIFY SIFT POCKETS AND AREAS OF EXCESS YIELDING, EXCAVATE SOFT SPOTS, UNSATISFACTORY SOILS, AND AREAS OF EXCESSIVE PUMPING OR RUTTING, AS DETERMINED BY GEOTECHNICAL ENGINEER AND REPLACE WITH COMPACTED BACKFILL OR FILL AS DIRECTED.
 - CONTRACTOR SHALL COORDINATE SURFACE, BINDER, BASE, AND SUBBASE COURSES WITH GEOTECHNICAL OR SOILS REPORT. REFER TO REPORT FOR RECOMMENDATIONS FOR LOCAL SOILS OR DRAINAGE CONDITIONS AND/OR METHODS.
 - BASE COURSE SHALL EXTEND 6 INCHES MIN. BEYOND PAVEMENT EDGE WHERE PAVEMENT DOES NOT ABUT CURB, WALL, STEPS, OR FIXED OBJECT.
 - PAVEMENT EDGES SHALL BE TAMPED WHERE PAVEMENT DOES NOT ABUT CURB, WALL, STEPS, OR FIXED OBJECT.
 - PROVIDE SHOP DRAWING FOR APPROVAL.

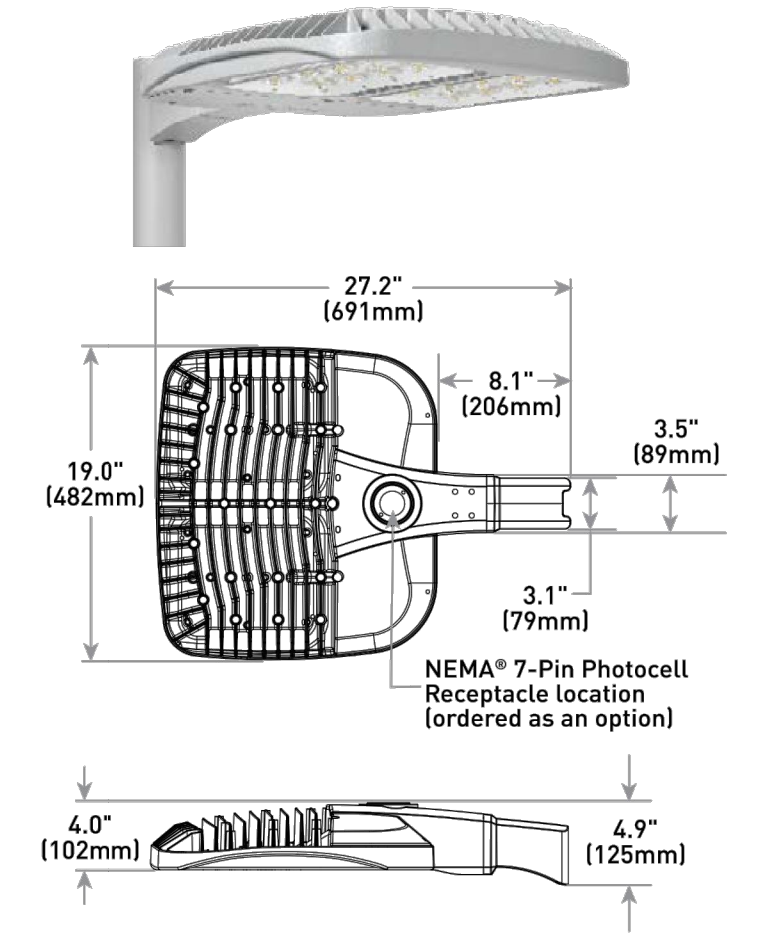
STANDARD DUTY PAVING
A= 1.5" BITUMINOUS ASPHALT CONCRETE - WEARING SURFACE COURSE (M.3.11.3, TABLE A, TOP COURSE)
2.5" ASPHALT CONCRETE - BASE COURSE (M.3.11.3, TABLE A, BINDER COURSE)
B= 4" DENSE GRADE BASE COURSE (MHD 2.01.7)
C= 8" GRAVEL SUBBASE COURSE (MHD 1.03.1, PROCESSED GRAVEL FOR SUBBASE)

STANDARD DUTY BITUMINOUS PAVEMENT
NOT TO SCALE



- NOTES:**
- TYPICAL CROSS-SECTION FOR COORDINATION PURPOSES ONLY. REFER TO LAYOUT PLAN FOR EXACT DIMENSIONS AND LAYOUT.

TYPICAL 50' MINOR STREET CROSS-SECTIONAL LAYOUT
NOT TO SCALE

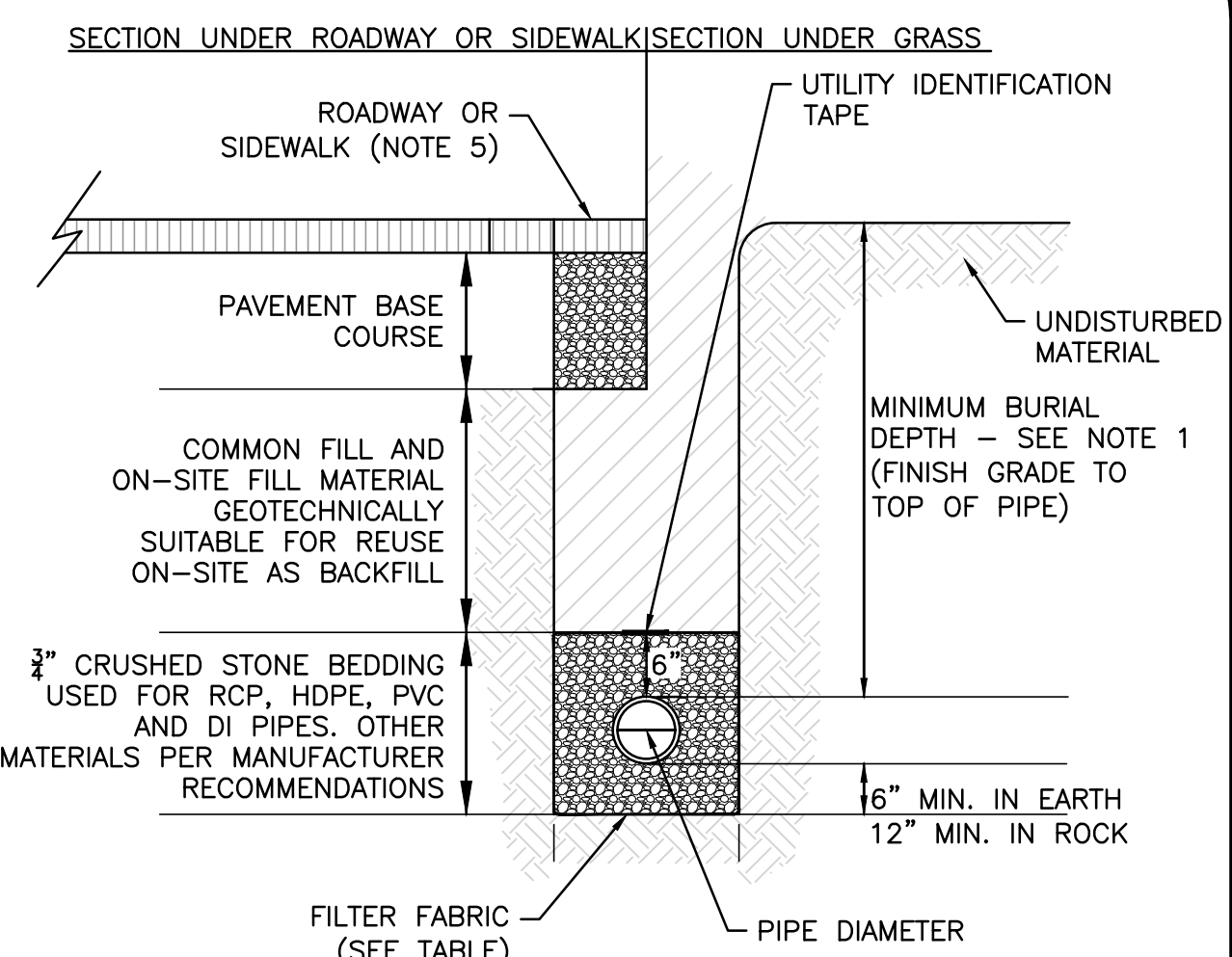


TYPICAL LIGHT FIXTURE - OSQ LED AREA - LARGE
NOT TO SCALE

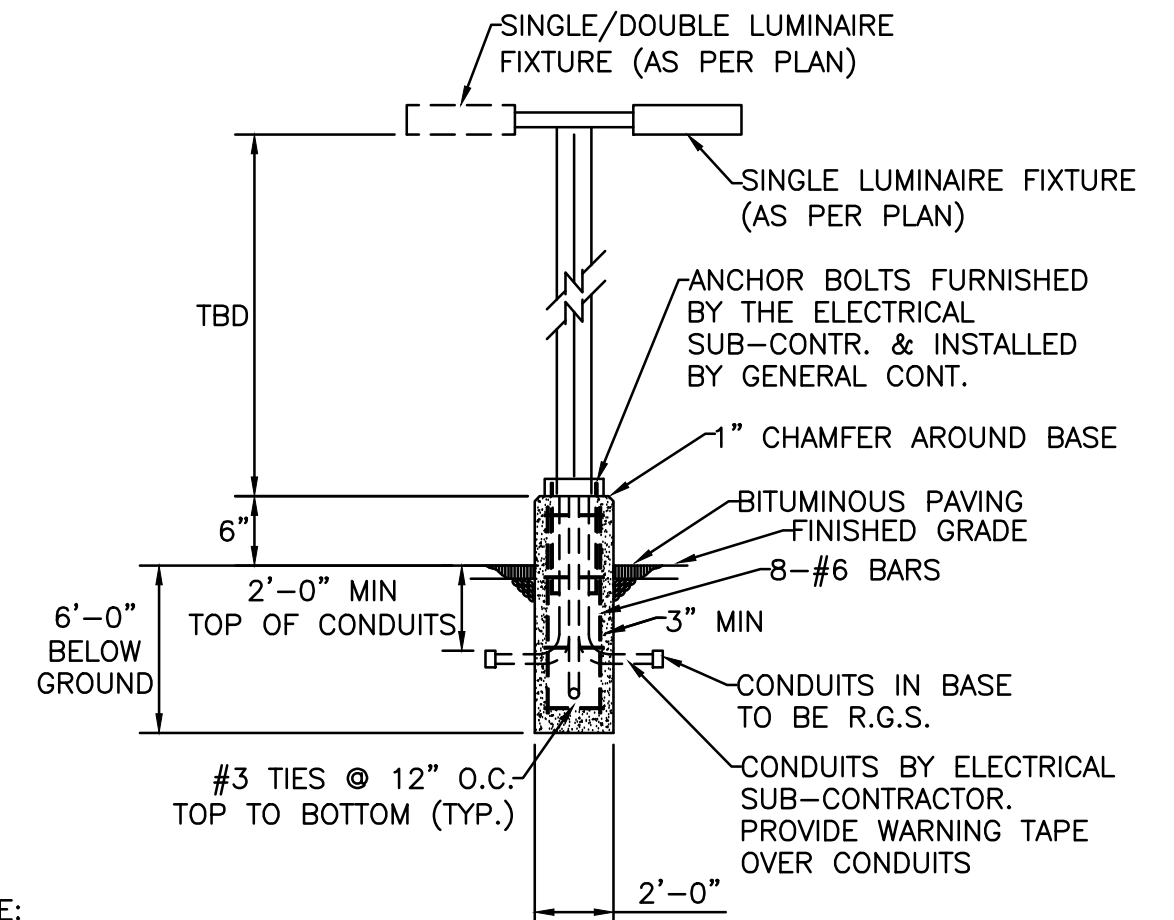
- NOTES:**
- MINIMUM BURIAL DEPTH (FINISH GRADE TO TOP OF PIPE)
GRAVITY PIPE (SEWER & DRAIN) - SEE PLAN OR PROFILE
PRESSURE PIPE UNDER PAVING - 4'
PRESSURE PIPE BENEATH UNPAVED - 3'
WATER PIPE - 5'
 - WHERE BACKFILL IS DESIGNATED AS COMPACTED, THIS MEANS 90 TO 95% STANDARD PROCTOR, AASHTO T-99. ALL FILL PLACED BELOW PIPES AND STRUCTURES MUST MEET THIS REQUIREMENT.
 - TRENCHES WITHIN PUBLIC RIGHT OF WAY MAY REQUIRE FLOWABLE FILL. VERIFY WITH MUNICIPAL ENGINEER.
 - WHERE WASTE FILLS ARE ENCOUNTERED AT SUBGRADE LEVEL FOR NEW UTILITIES, THE FILL SHOULD BE OVER-EXCAVATED, THE SUBGRADE SHOULD BE RE-COMPACTED, AND BACKFILL CONSISTING OF PIPE BEDDING MATERIAL, CRUSHED STONE OR OTHER SUITABLE GRANULAR FILL SHOULD BE PLACED TO A SUFFICIENT DEPTH TO CREATE A FIRM AND STABLE SUBGRADE (TYPICALLY 12 TO 18 INCHES OVER-EXCAVATION).
 - REFER TO PAVING, CURBS, WALKS AND DRIVEWAY DETAILS.

FILTER FABRIC USE

	SOIL TYPE	
	SILT OR CLAY	GRANULAR SOIL
ABOVE GROUND WATER	FILTER FABRIC NOT REQUIRED	FILTER FABRIC NOT REQUIRED
BELOW GROUND WATER	FILTER FABRIC REQUIRED	FILTER FABRIC NOT REQUIRED



UTILITY TRENCH
NOT TO SCALE



- NOTE:**
SIZE AND FOOTING FOR BASES TO BE VERIFIED BY STRUCTURAL ENGINEER.

RAISED LIGHT POLE 2' DIAMETER
NOT TO SCALE

APPROVED BY:
TOWN OF LEXINGTON PLANNING BOARD

THIS PLAN IS SUBJECT TO A COVENANT

DATED _____

THIS PLAN IS SUBJECT TO A CERTIFICATE OF ACTION DATED _____

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TOWN CLERK _____ DATE _____



PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

APPLICANT/OWNER:

ELIOT COMMUNITY HUMAN SERVICES, INC.
186 BEDFORD STREET
LEXINGTON, MA 02420

PROJECT:

PRELIMINARY NON-RESIDENTIAL SUBDIVISION PLANS
125 HARTWELL AVENUE
LEXINGTON, MA

PROJECT NO. 3491-01 DATE: 2025-03-06

SCALE: AS NOTED DWG. NAME: C3491-01

DESIGNED BY: DMR/MTB CHECKED BY: CMQ

PREPARED BY:



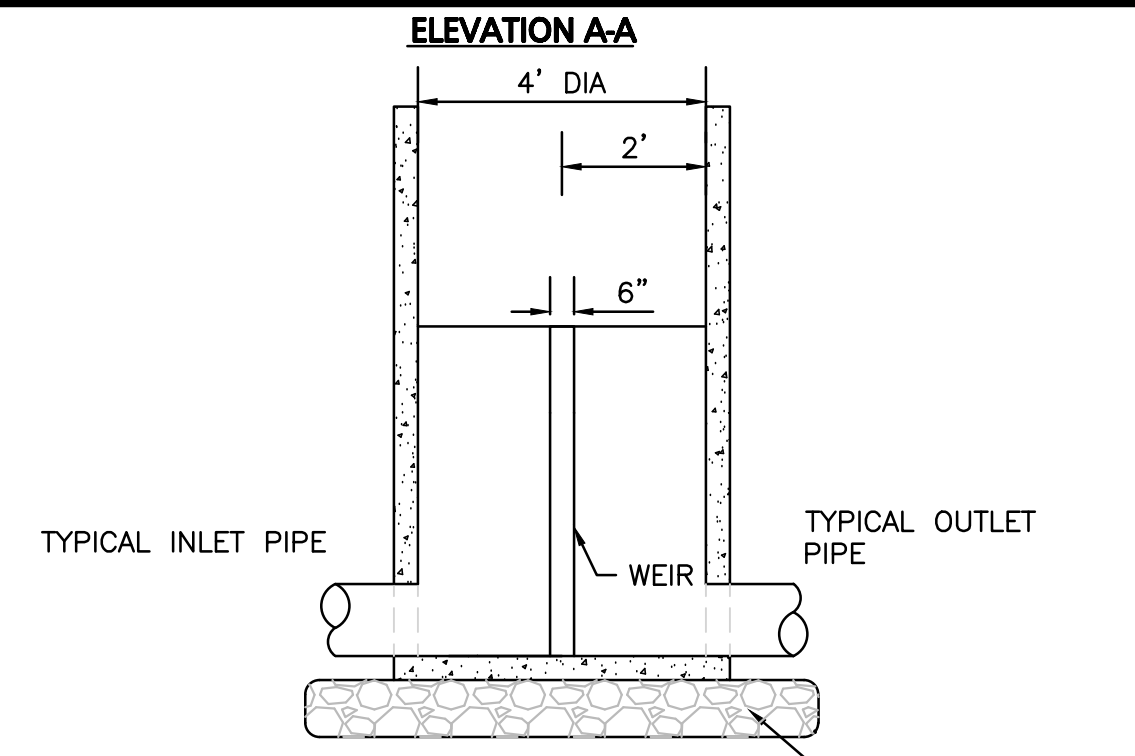
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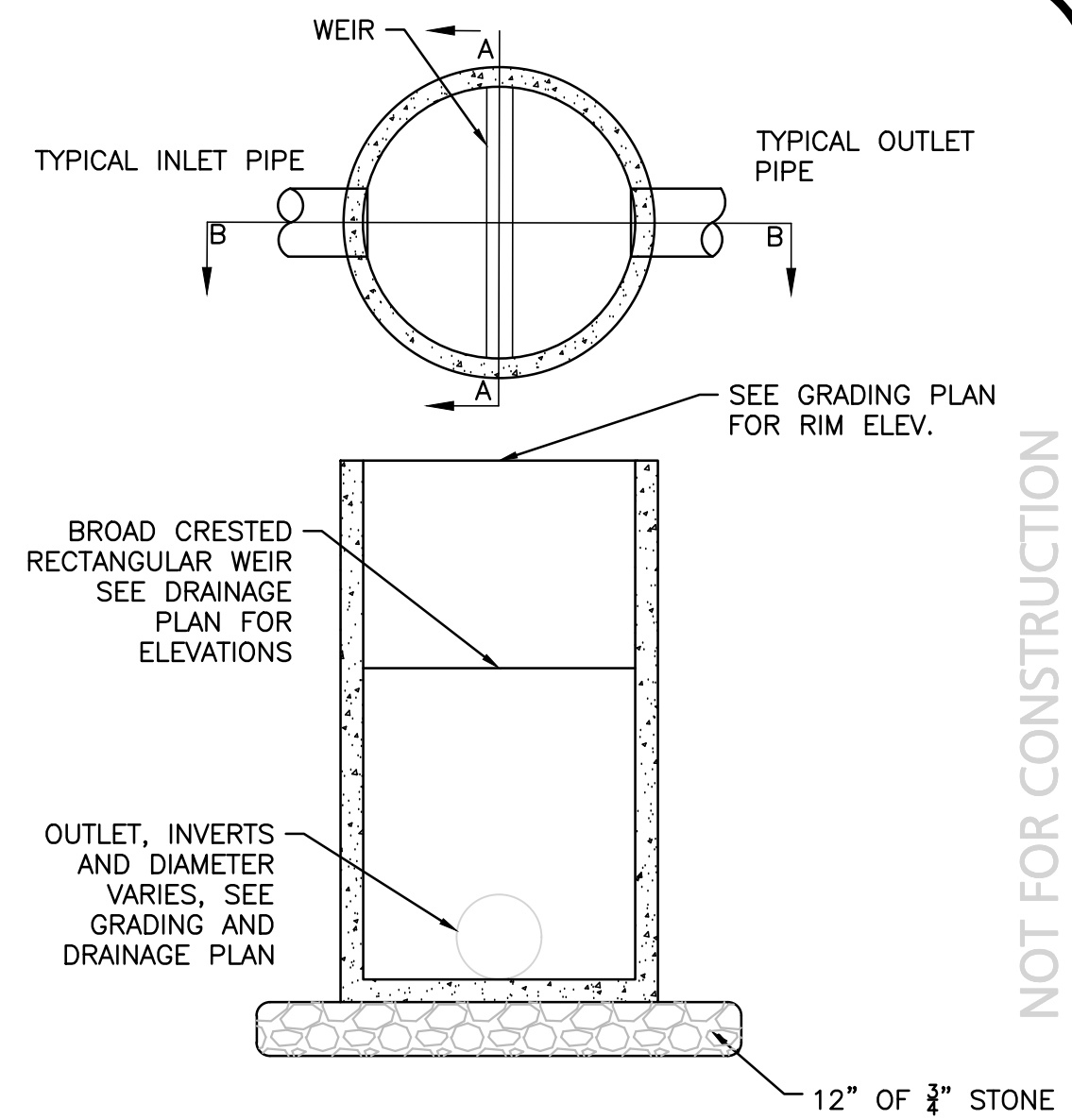
DRAWING TITLE: SHEET No.

DETAILS C-501



- NOTES:**
1. CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS.
 2. ALL REINFORCEMENT PER ASTM C1227-93.
 3. TONGUE & GROOVE JOINT SEALED WITH BUTYLE RESIN OR MASTIC.
 4. WALLS ARE TO BE 6" THICK & BOTTOM TO BE 8" THICK.
 5. PROVIDE 4' SUMP.
 6. SEE GRADING AND DRAINAGE PLAN FOR RIM, INVERT AND WEIR ELEVATIONS, MATERIAL AND MORE INFORMATION.

4' DIAMETER OUTLET CONTROL STRUCTURE
NOT TO SCALE

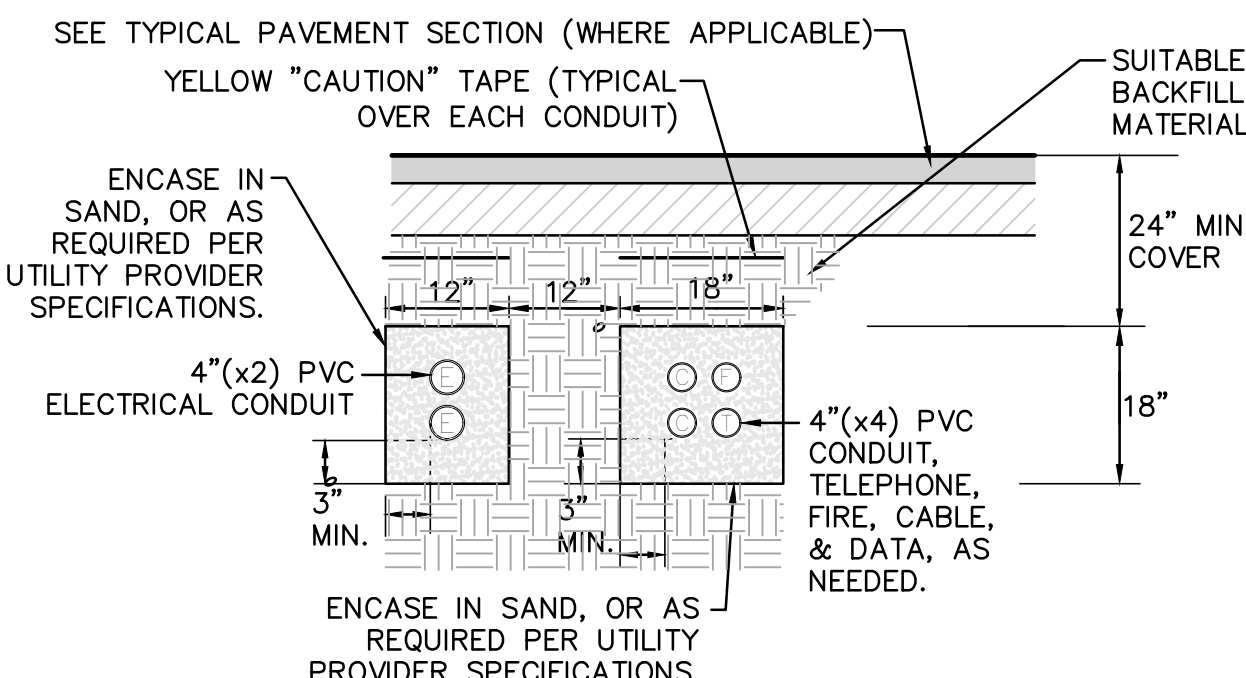


CONTECH WATER QUALITY UNIT
NOT TO SCALE

- GENERAL NOTES:**
1. CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
 2. DIMENSIONS MARKED WITH (O) ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.
 3. FOR FABRICATION DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH STORMWATER SOLUTIONS REPRESENTATIVE. www.contechstormwater.com
 4. CDS WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
 5. STRUCTURE AND CASTINGS SHALL MEET AASHTO HS20 LOAD RATING.
- INSTALLATION NOTES:**
1. CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CDS MANHOLE STRUCTURE (LIFTING CLUTCHES PROVIDED BY MANUFACTURER).
 2. CONTRACTOR TO ADD JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS, AND ASSEMBLE STRUCTURE.
 3. CONTRACTOR TO PROVIDE, INSTALL, AND GROUT PIPES. MATCH PIPE INVERTS WITH ELEVATIONS SHOWN.
 4. CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE THE UNIT IS WATERTIGHT, HOLDING WATER TO THE FLOWLINE INVERT MINIMUM. ALL JOINTS BELOW THE PIPE INVERTS SHALL BE GROUTED.
 5. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR DESIGN ENGINEER REVIEW & APPROVAL.

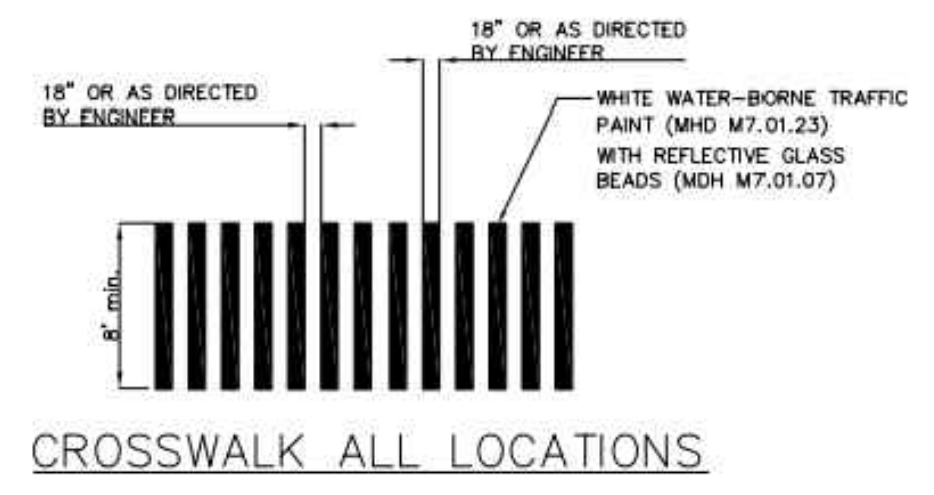
WQ FRAME AND COVER
NOT TO SCALE

NOT FOR CONSTRUCTION



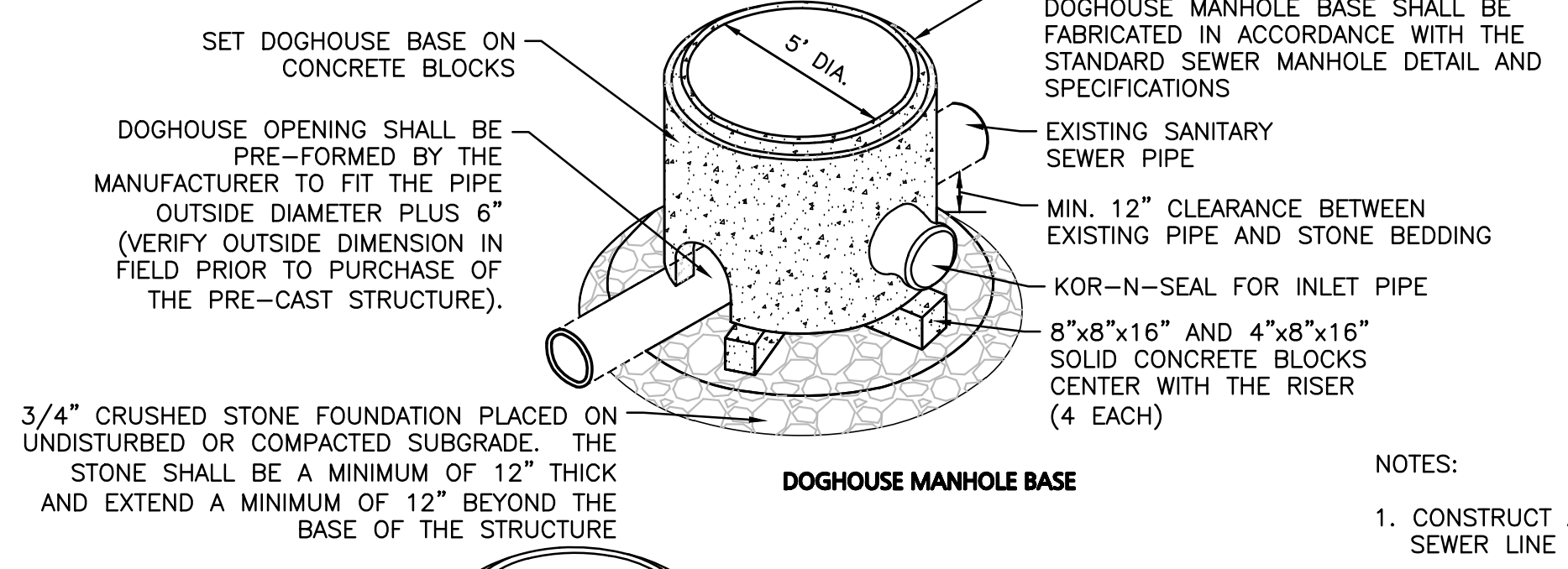
- NOTES:**
1. CONDUITS SHALL BE SCHEDULE 80 PVC UNDER ROAD AND DRIVEWAY SURFACES.
 2. ALL UTILITY INSTALLATION REQUIREMENTS, SEPARATIONS, AND CONDUIT SIZES TO BE VERIFIED WITH EACH UTILITY COMPANY PRIOR TO INSTALLATION OF ANY UNDERGROUND UTILITY CONDUIT.
 3. SEE SITE ELECTRICAL PLANS FOR SPECIFIC SERVICE PROVIDER DETAILS.

BURIED CONDUIT DETAIL
NOT TO SCALE



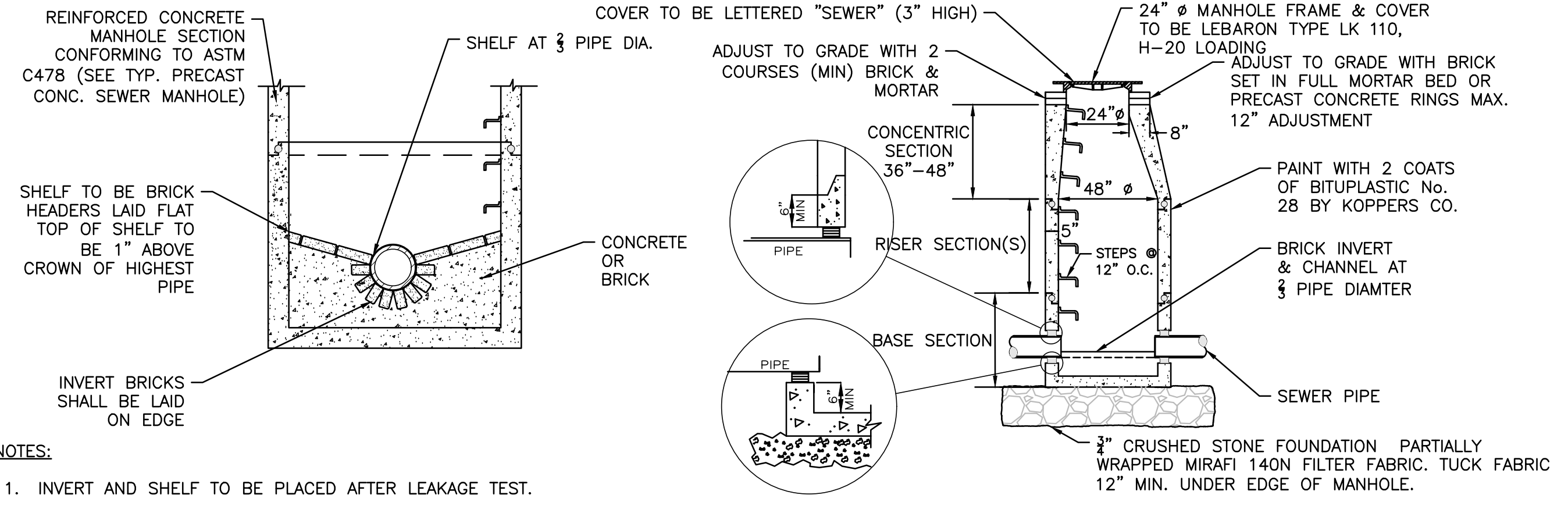
- NOTES:**
1. WHERE PROVIDED, STOP LINES SHOULD BE PLACED NO LESS THAN 4 FEET BEHIND AN ADJACENT CROSSWALK LINE.
 2. MID-BLOCK CROSSWALKS SHALL NOT BE INSTALLED IN AREAS WITH THE SIGHT DISTANCE LESS THAN THAT SHOWN IN THE TABLE BELOW.

TYPICAL TOWN OF LEXINGTON CROSSWALK
NOT TO SCALE



- NOTES:**
1. CONSTRUCT A FORMED INVERT FROM THE NEW SEWER LINE TO ALLOW FLOW TO THE EXISTING PIPE.
 2. POUR A SHELF TO THE LOWER HALF OF THE EXISTING PIPE.
 3. CUT AND REMOVE THE TOP HALF OF THE EXISTING PIPE TO WITHIN 6" OF THE MANHOLE WALLS AFTER THE INVERT AND SHELF HAVE BEEN FORMED AND THE MANHOLE HAS BEEN TESTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.

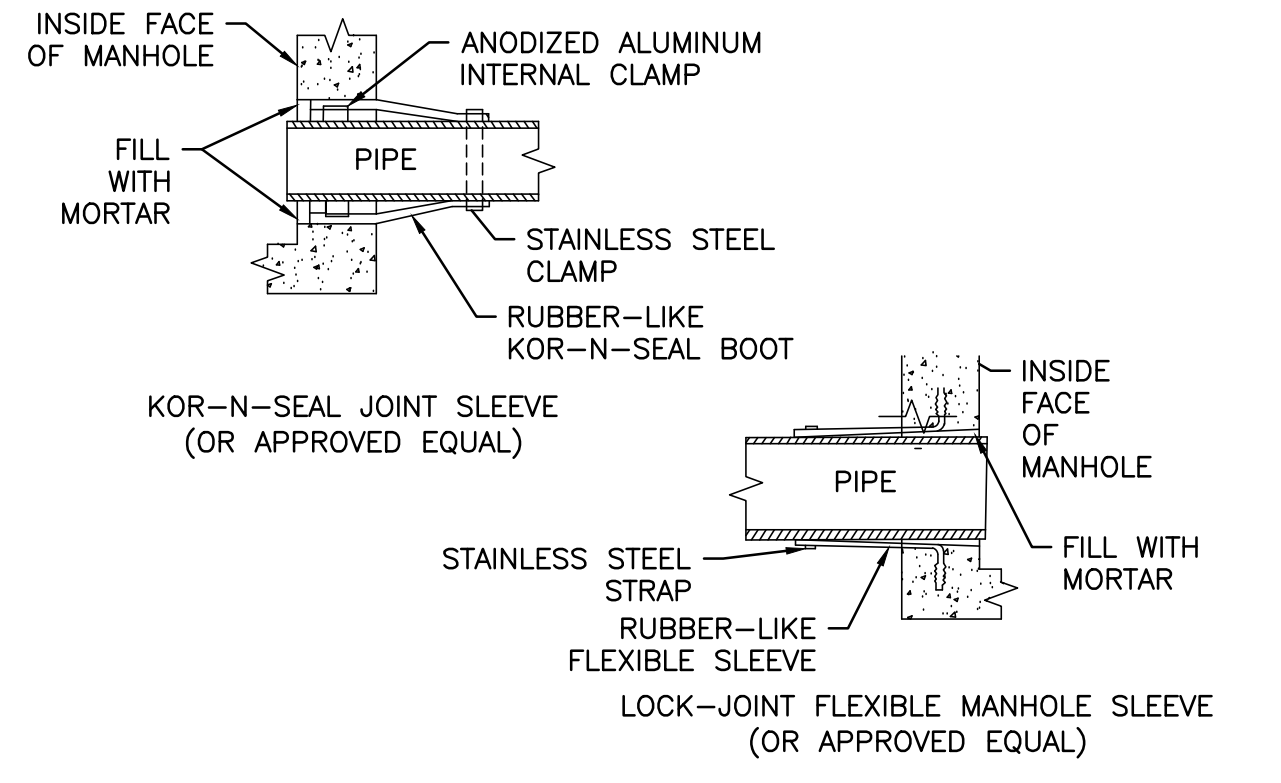
DOGHOUSE MANHOLE STRUCTURE
NOT TO SCALE



- NOTES:**
1. INVERT AND SHELF TO BE PLACED AFTER LEAKAGE TEST.
 2. MANHOLES SHALL HAVE A BRICK PAVED SHELF AND INVERT, CONSTRUCTED TO CONFORM TO THE SIZE OF PIPE AND FLOW. AT CHANGES IN DIRECTION, THE INVERTS SHALL BE LAID OUT IN CURVES OF THE LONGEST RADIUS POSSIBLE TANGENT TO THE CENTER LINE OF THE HIGHEST PIPE CROWN AND SLOPE TO DRAIN TOWARD THE FLOWING THROUGH CHANNEL. UNDERLAYMENT OF INVERT AND SHELF SHALL CONSIST OF CEMENT CONCRETE OR BRICK IN MORTAR.

PRECAST CONCRETE SEWER MANHOLE
NOT TO SCALE

NOTE:
THE MANHOLE, INCLUDING ALL COMPONENT PARTS, SHALL HAVE ADEQUATE SPACE, STRENGTH AND LEAK PROOF QUALITIES CONSIDERED NECESSARY FOR THE INTENDED SERVICE SPACE REQUIREMENT AND CONFIGURATIONS SHALL BE AS SHOWN ON THE DRAWING. MANHOLES MAY BE AN ASSEMBLY OR PRECAST SECTIONS, WITH OR WITHOUT STEEL REINFORCEMENT, WITH ADEQUATE JOINTING OR CONCRETE CAST MONOLITHICALLY IN PLACE WITH OR WITHOUT REINFORCEMENT. IN ANY APPROVED MANHOLE, THE COMPLETE STRUCTURE SHALL BE OF SUCH MATERIAL AND QUALITY AS TO WITHSTAND LOADS OF 8 TONS (H-20 LOADING) WITHOUT FAILURE AND PREVENT LEAKAGE IN EXCESS OF ONE GALLON PER DAY PER VERTICAL FOOT OF MANHOLE.



- NOTES:**
1. PIPE TO MANHOLE JOINTS SHALL BE ONLY AS APPROVED BY THE ENGINEER AND IN GENERAL, WILL DEPEND FOR WATER TIGHTNESS UPON ELASTOMETRIC SEALANT
 2. NON-SHRINKING MORTAR SHALL ONLY BE USED WHERE SPECIFICALLY APPROVED BY THE ENGINEER.

PIPE CONNECTION TO SEWER MANHOLE
NOT TO SCALE

APPROVED BY:
TOWN OF LEXINGTON PLANNING BOARD

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125 HARTWELL AVENUE
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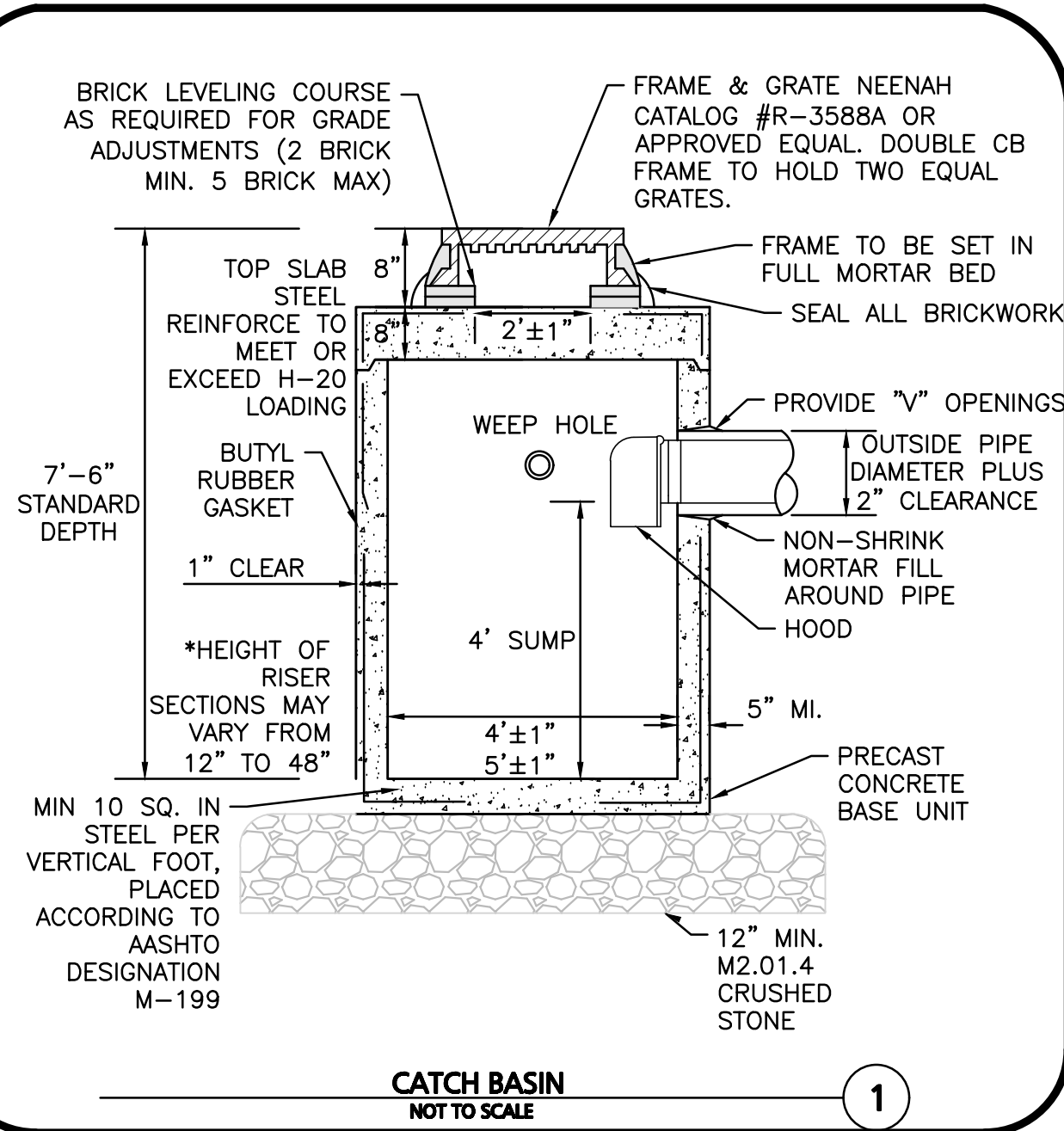
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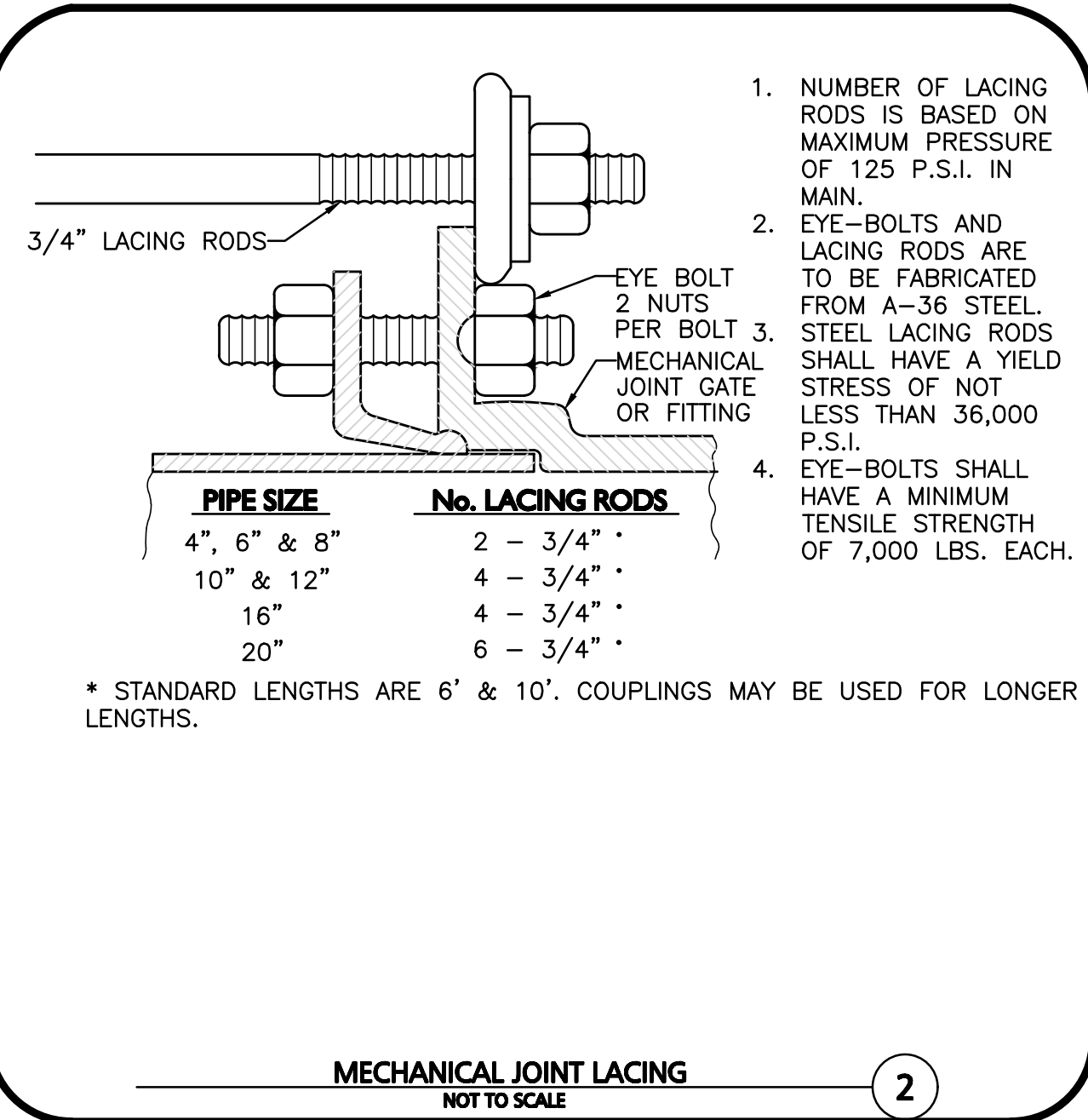
DRAWING TITLE:	SHEET No.
DETAILS	C-503

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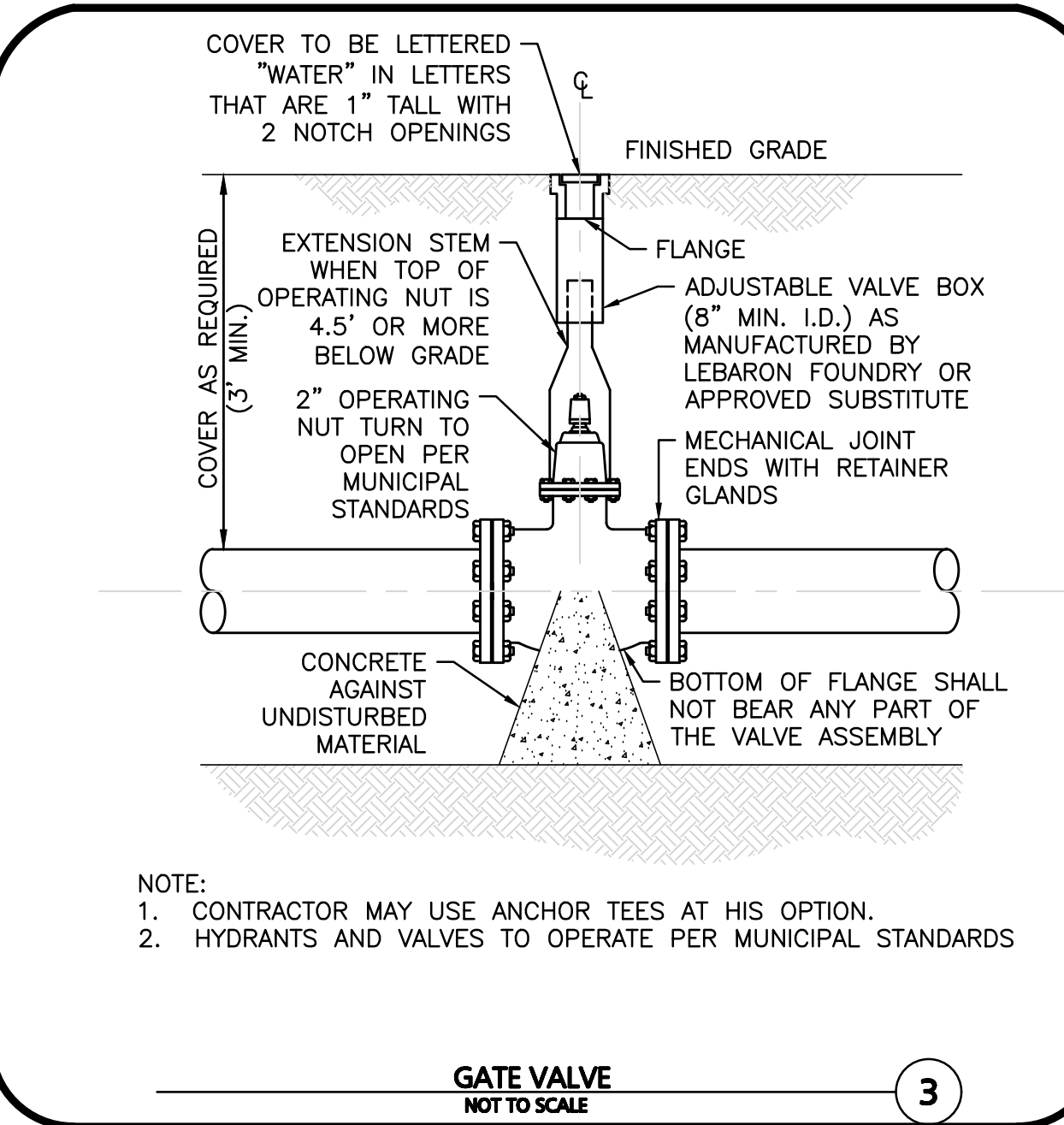
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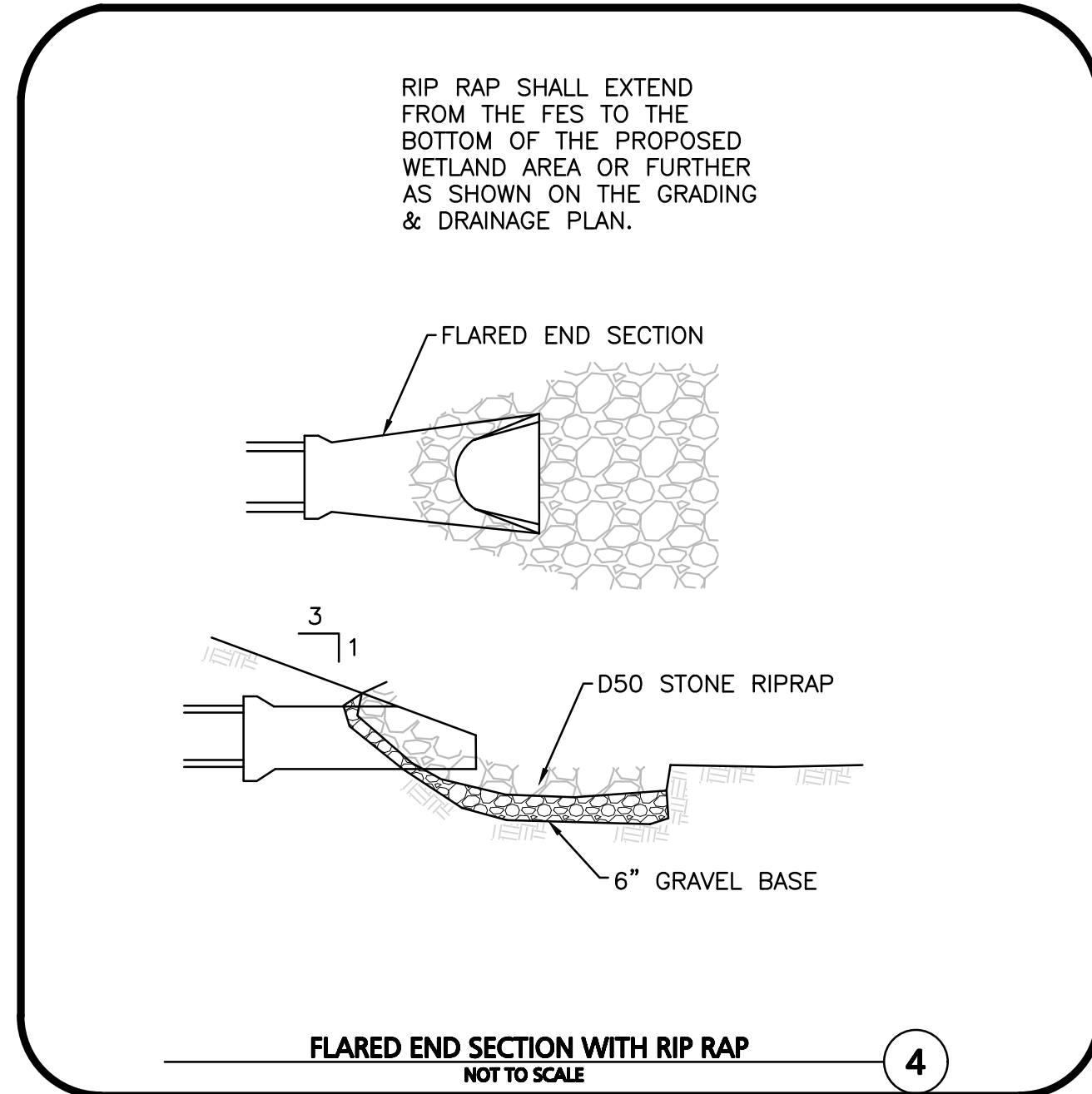
CATCH BASIN
NOT TO SCALE



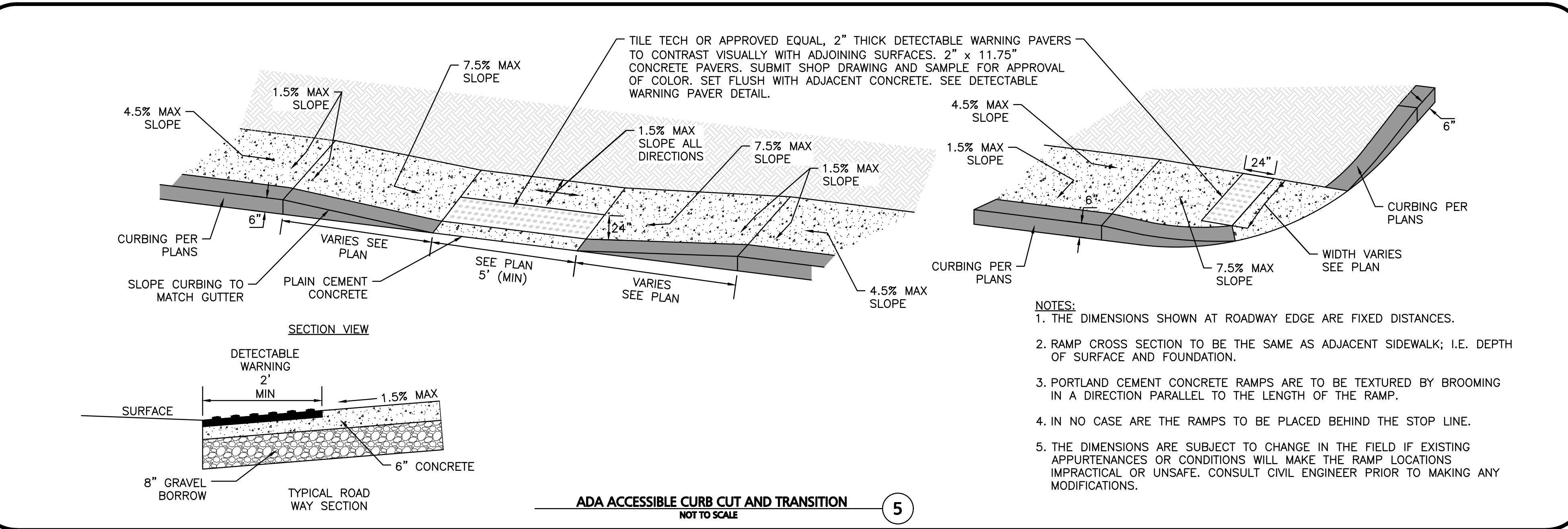
MECHANICAL JOINT LACING
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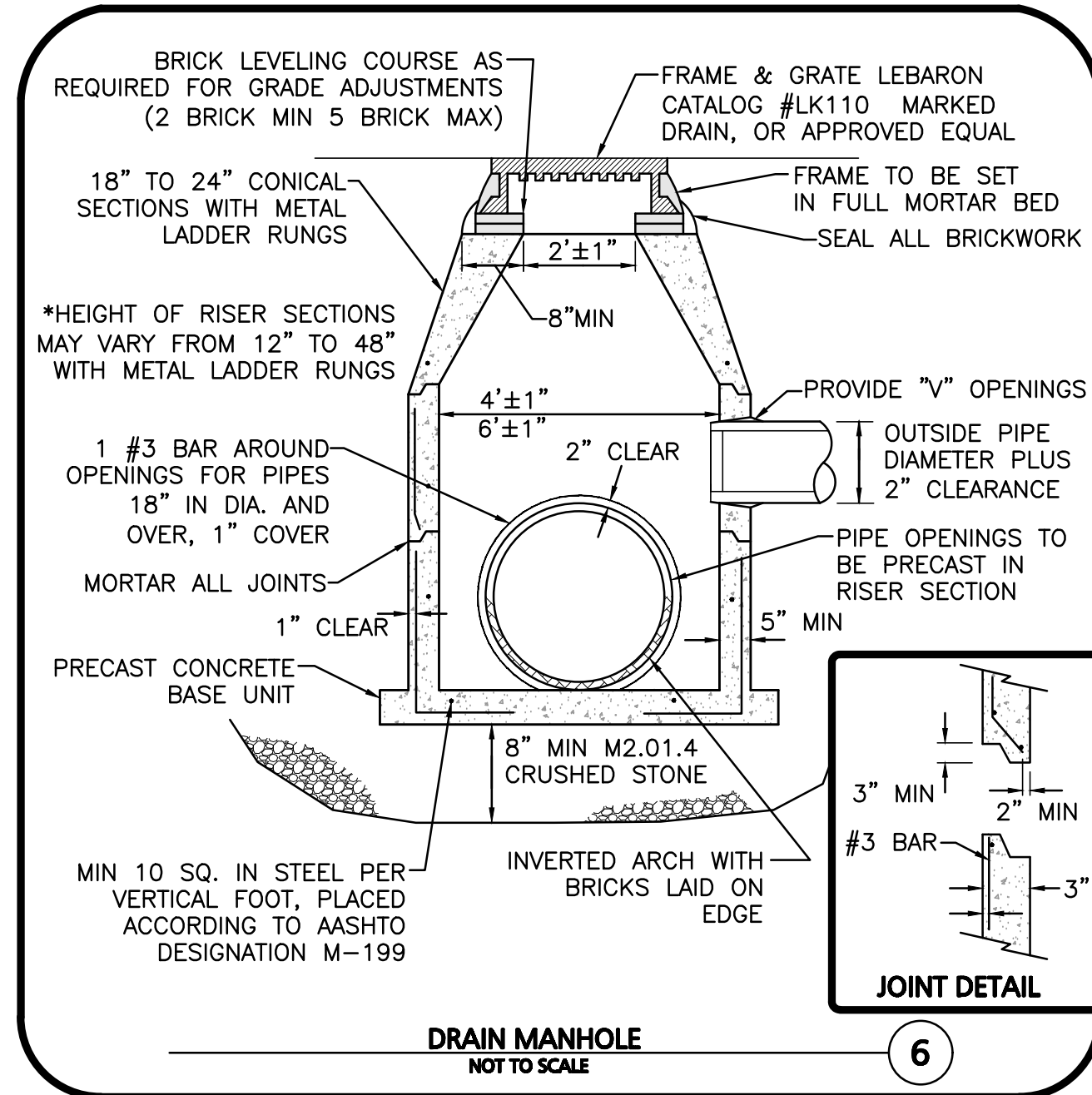
GATE VALVE
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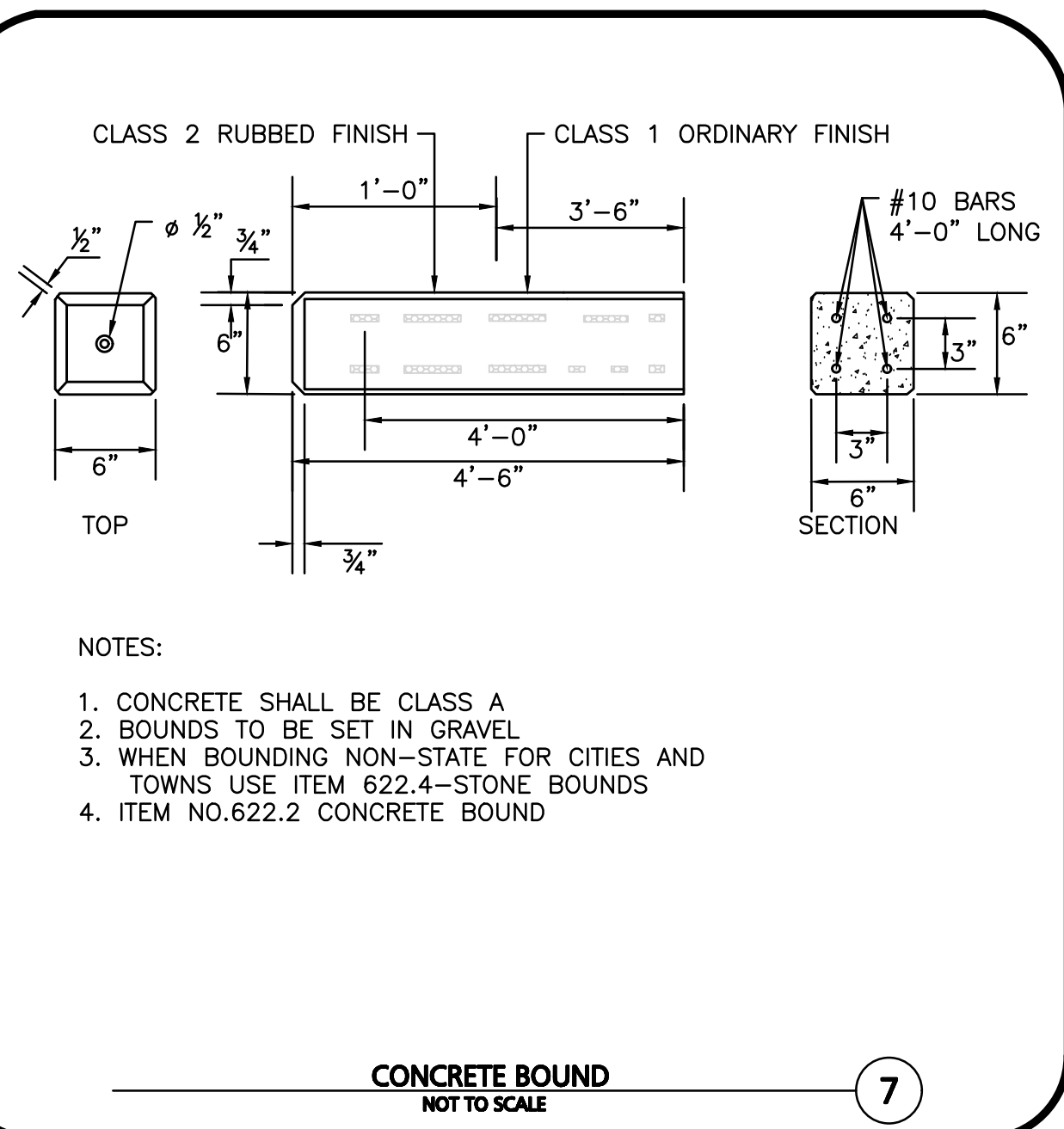
FLARED END SECTION WITH RIP RAP
NOT TO SCALE



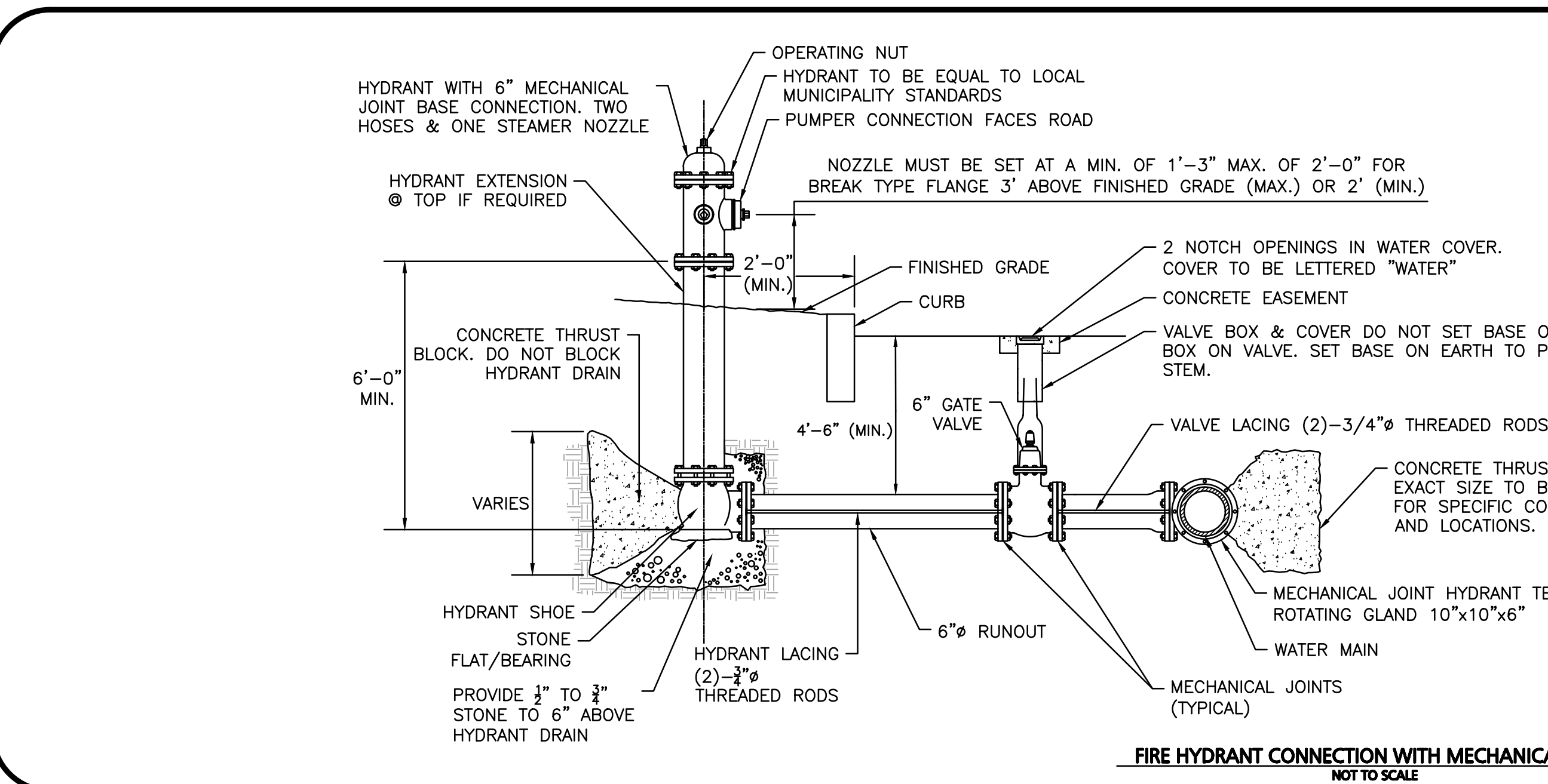
ADA ACCESSIBLE CURB CUT AND TRANSITION
NOT TO SCALE



DRAIN MANHOLE
NOT TO SCALE



CONCRETE BOUND
NOT TO SCALE



FIRE HYDRANT CONNECTION WITH MECHANICAL JOINT
NOT TO SCALE

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I, _____ TOWN CLERK OF THE TOWN OF LEXINGTON, MASSACHUSETTS HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

TOWN CLERK _____ DATE _____

Professional Engineer Seal for Carlton M. Quinn, No. 49923, Registered Professional Engineer. Signature of Carlton M. Quinn. PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

APPLICANT/OWNER:
ELIOT COMMUNITY HUMAN SERVICES, INC.
186 BEDFORD STREET
LEXINGTON, MA 02420

PROJECT:
PRELIMINARY NON-RESIDENTIAL SUBDIVISION PLANS
125 HARTWELL AVENUE
LEXINGTON, MA

PROJECT NO. 3491-01 DATE: 2025-03-06
SCALE: AS NOTED DWG. NAME: C3491-01
DESIGNED BY: DMR/MTB CHECKED BY: CMQ

PREPARED BY:
ALLEN & MAJOR ASSOCIATES, INC.
civil engineering • land surveying
environmental consulting • landscape architecture
www.allenmajor.com
100 COMMERCE WAY, SUITE 5
WOBURN MA 01801
TEL: (781) 935-6889
FAX: (781) 935-2896

THIS DRAWING HAS BEEN PREPARED IN DIGITAL FORMAT. CLIENTS/CLIENTS REPRESENTATIVE OR CONSULTANTS MAY BE PROVIDED COPIES OF DRAWINGS AND SPECIFICATIONS FOR HIS/HER INFORMATION AND/OR SPECIFIC USE ON THIS PROJECT. DUE TO THE POTENTIAL THAT THE PROVIDED INFORMATION MAY BE MODIFIED UNINTENTIONALLY OR OTHERWISE, ALLEN & MAJOR ASSOCIATES, INC. MAY REMOVE ALL INDICATION OF THE DOCUMENTS AUTHORSHIP ON THE DIGITAL MEDIA. PRINTED REPRESENTATIONS OR PORTABLE DOCUMENT FORMAT OF THE DRAWINGS AND SPECIFICATIONS ISSUED SHALL BE THE ONLY RECORD COPIES OF ALLEN & MAJOR ASSOCIATES, INC.'S WORK PRODUCT.

DRAWING TITLE: DETAILS SHEET No. C-504

N:\PROJECTS\3491-01\CIVIL\DRAWINGS\CURRENT\3491-01_DETAILS.DWG

AGENDA ITEM SUMMARY

LEXINGTON PLANNING BOARD

AGENDA ITEM TITLE:

473 & 477 Lowell Street - ANR (Approval Not Required)

PRESENTER:

Staff

ITEM NUMBER:

SUMMARY:

This ANR proposes to alter the side lot lines between two lots. Staff has asked for a plan note to be added or lot lines adjusted to confirm that the driveway is at least 5 ft. from the side property line. The application has not been submitted yet but may be filed prior to the meeting. A draft ANR plan is attached.

SUGGESTED MOTION:

FOLLOW-UP:

DATE AND APPROXIMATE TIME ON AGENDA:

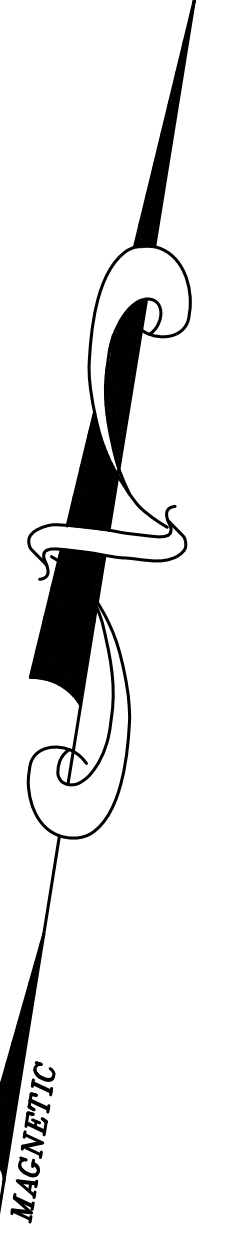
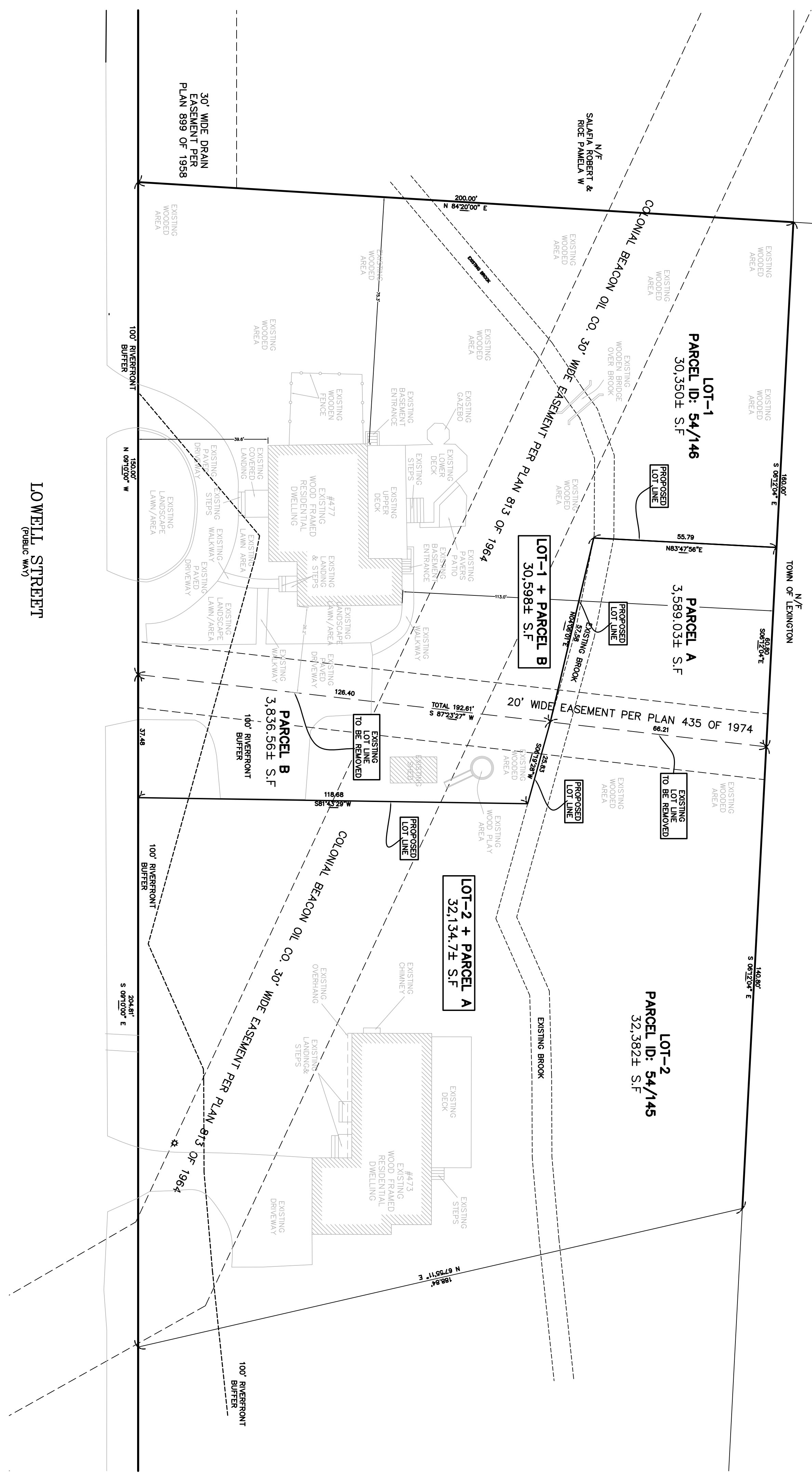
4/17/2025

ATTACHMENTS:

Description	Type
<input type="checkbox"/> DRAFT ANR Plan	Exhibit
<input type="checkbox"/> Aerial View	Exhibit

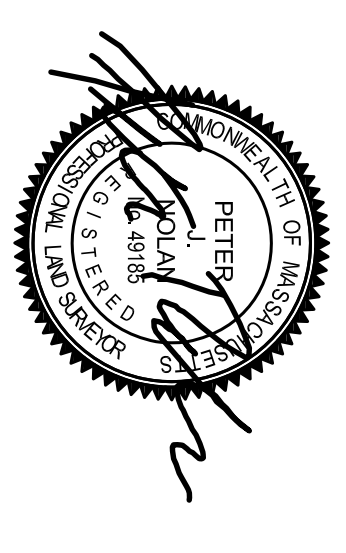
REGISTERED PROFESSIONAL LAND SURVEYOR:
 PETER NOLAN
 PETER NOLAN & ASSOCIATES, LLC
 80 JEWETT STREET - SUITE 2
 NEWTON, MA - 02458
 857-891-7478
 PNOLAN@PNASURVEYORS.COM

REFERENCES:
 DEED REFERENCE: #477 BOOK 64610, PAGE 209
 DEED REFERENCE: #473 BOOK 61652, PAGE 564
 PLAN REFERENCE: PLAN BOOK 10580, PLAN 263 OF 1964
 MIDDLESEX SOUTH DISTRICT REGISTRY OF DEEDS



- NOTES:
1. INFORMATION SHOWN ON THIS PLAN IS THE RESULT OF A FIELD SURVEY PERFORMED BY PETER NOLAN & ASSOCIATES, LLC AS OF 6/27/2023.
 2. DEED REFERENCE: #477 BOOK 64610, PAGE 209
 DEED REFERENCE: #473 BOOK 61652, PAGE 564
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 3. I CERTIFY THAT THE DWELLING SHOWN IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE X AND PARTLY IN ZONE X WITH 0.2% ANNUAL CHANCE FLOOD HAZARD ON FLOOD HAZARD BOUNDARY MAP NUMBER 25017C0404E, IN COMMUNITY NUMBER: 250199, DATED 6/4/2010.
 4. THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT USES OF THE LAND; HOWEVER, THIS NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.
 5. NO RESPONSIBILITY IS TAKEN FOR ZONING TABLE AS PETER NOLAN & ASSOCIATES, LLC ARE NOT ZONING EXPERTS. TABLE IS TAKEN FROM TABLE PROVIDED BY LOCAL ZONING ORDINANCE. CLIENT AND/OR ARCHITECT TO VERIFY THE ACCURACY OF ZONING ANALYSIS.
 6. NEW PARCEL A 3,589.03± S.F. (PORTION OF LOT 1) IS TO BE COMBINED WITH LOT 2 AND PARCEL B 3,836.56± S.F. (PORTION OF LOT 2) IS TO BE COMBINED WITH LOT 1.
 7. TOTAL AREA OF LOT 1 + PARCEL B = 30,598± S.F. RECORD OWNER GEVA SHLOMO
 8. TOTAL AREA OF LOT 2 + PARCEL A = 32,134.7± S.F. RECORD OWNER KSHATRINYA SAURABH

I CERTIFY THAT THIS PLAN WAS MADE FROM AN INSTRUMENT SURVEY ON THE GROUND THE DATES OF JUNE 27, 2023 AND ALL STRUCTURES ARE LOCATED AS SHOWN HEREON.
 I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS
 I HEREBY CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED IN ACCORDANCE WITH THE PROCEDURAL AND TECHNICAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS.
 I CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY AND THE LATEST RECORD PLANS, DEEDS AND CERTIFICATES OF TITLE.



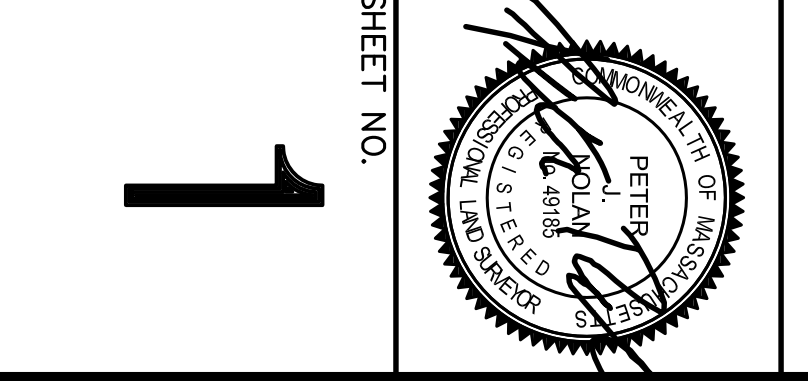
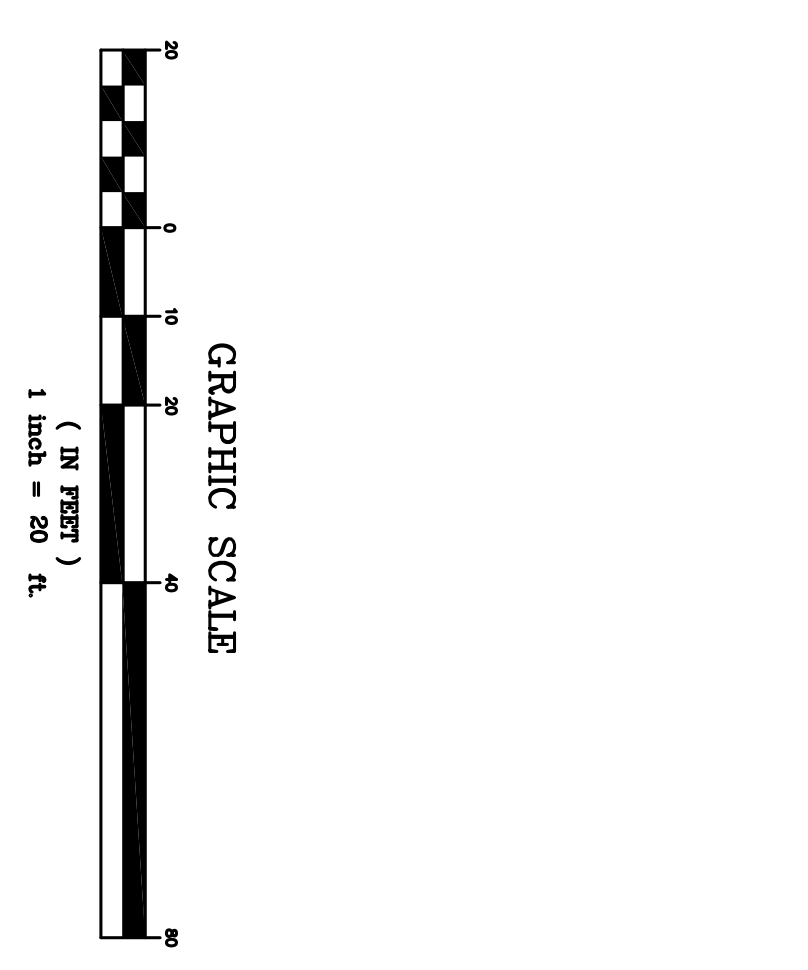
PETER NOLAN, P.L.S. B.S.C. DATE: 09/23/2024

APPROVAL OF THIS PLAN UNDER THE SUBDIVISION CONTROL LAW IS NOT REQUIRED.
 DATE: _____

THE ABOVE ENDORSEMENT IS NOT A DETERMINATION AS TO CONFORMANCE WITH ZONING REGULATIONS

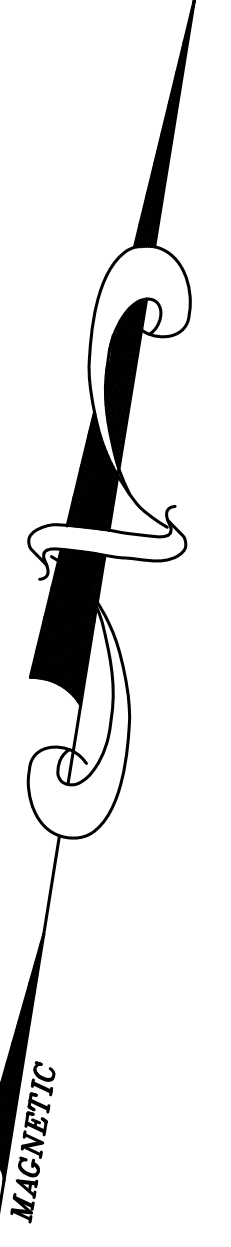
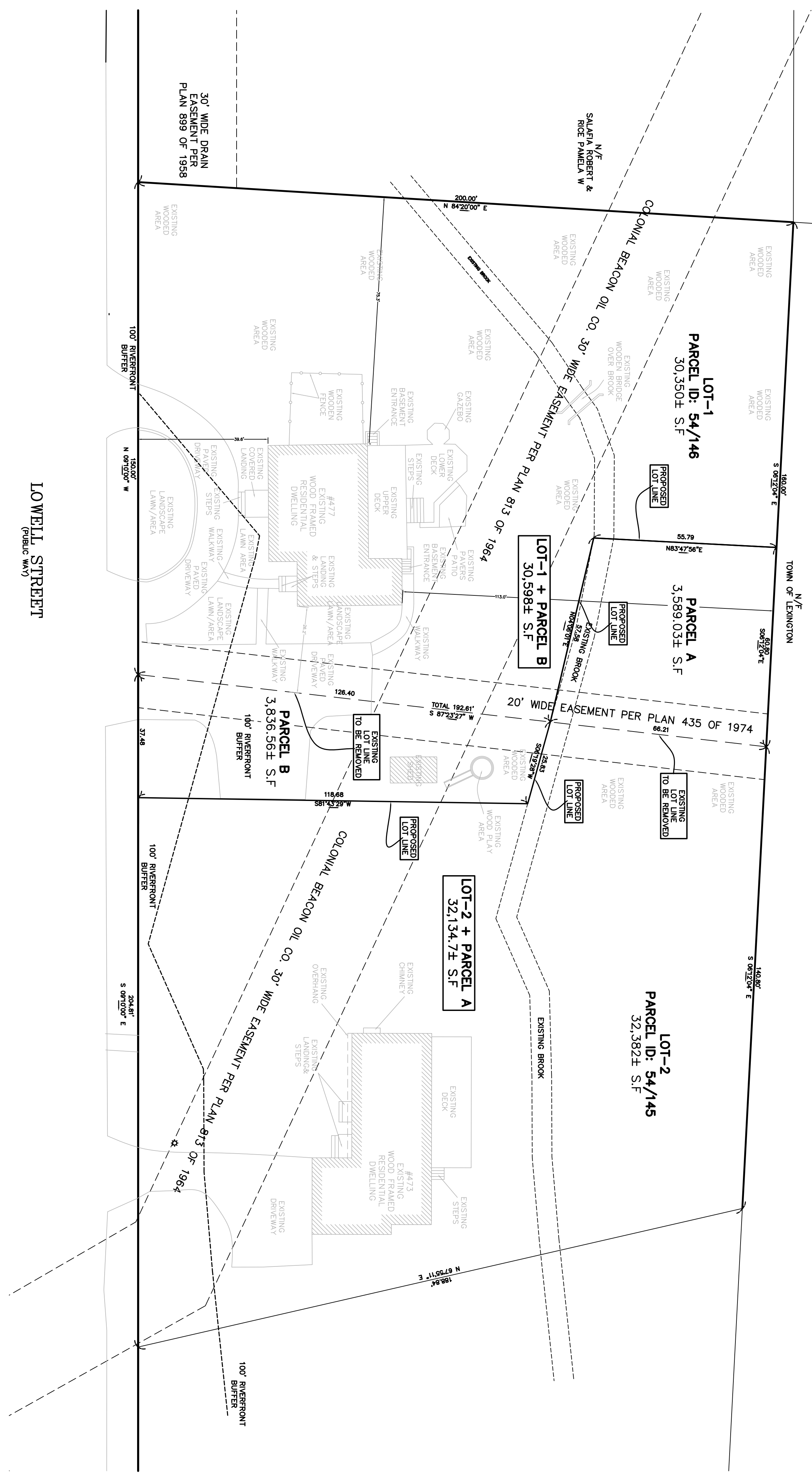
SCALE	1"=20'	REV	DATE	REVISION	BY
DATE	9/23/2024				
SHEET	1				
PLAN NO.	1 OF 1				
CLIENT:	ANR PLAN				
DRAWN BY	DK				
CHKD BY	PAN				
APPD BY	PAN				
<p>PETER NOLAN & ASSOCIATES, LLC LAND SURVEYORS/CIVIL ENGINEERING CONSULTANTS 80 JEWETT STREET, SUITE 2 NEWTON, MA 02458 PHONE: 857 891 7478/617 202 1533 FAX: 617 202 5891 EMAIL: pnoldn@pnasurveyors.com</p>					
SHEET NO.					1

PETER NOLAN & ASSOCIATES, LLC SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MARKS, METERS, STAKEWORK, OR PROCEEDINGS INITIATED BY THE CONTRACTOR OR ANY OTHER PARTY. THE SURVEYOR'S LIABILITY FOR THE FAILURE OF THE CONSTRUCTION TO COMPLY WITH THE INTENT OF THE PLAN IS LIMITED TO THE EXTENT OF THE SURVEYOR'S NEGLIGENCE.
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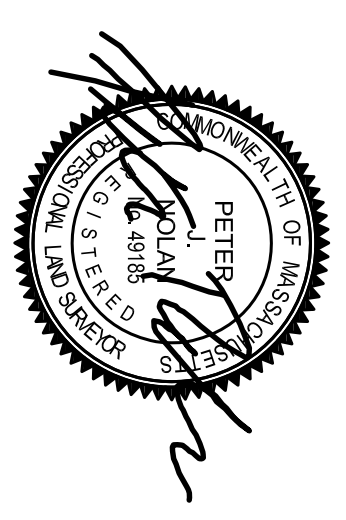
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PETER NOLAN, P.L.S. B.S.C. DATE: 09/23/2024

APPROVAL OF THIS PLAN UNDER THE SUBDIVISION CONTROL LAW IS NOT REQUIRED.
 DATE: _____

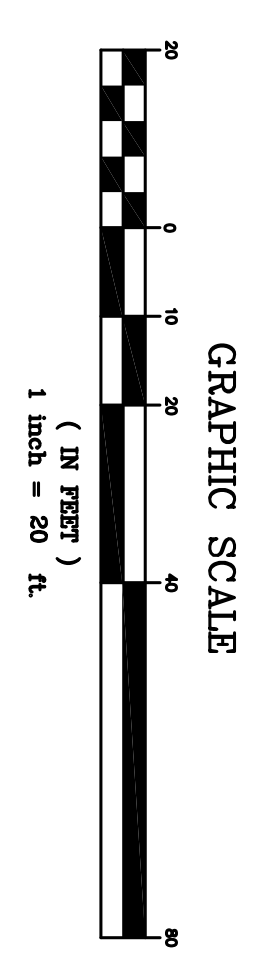
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SCALE	1"=20'	REV	DATE	REVISION	BY
DATE	9/23/2024				
SHEET	1				
PLAN NO.	1 OF 1				
CLIENT:	ANR PLAN				
DRAWN BY	DK				
CHKD BY	PAN				
APPD BY	PAN				
	PETER NOLAN & ASSOCIATES, LLC LAND SURVEYORS/CIVIL ENGINEERING CONSULTANTS 80 JEWETT STREET, SUITE 2 NEWTON, MA 02458 PHONE: 857 891 7478/617 202 1533 FAX: 617 202 5891 EMAIL: pnoldn@pnasurveyors.com				
	SHEET NO. 1				

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ALL RIGHTS RESERVED

GRAPHIC SCALE
 1 inch = 20 ft.



AGENDA ITEM SUMMARY

LEXINGTON PLANNING BOARD

AGENDA ITEM TITLE:

185, 187-189 Bedford Street - ANR (Approval Not Required)

PRESENTER:

Staff

ITEM NUMBER:

SUMMARY:

The ANR proposes combining the two lots into one. This was a condition of the January 30, 2025 site plan review approval for the project site. Application material here: <https://lexingtonma.portal.opengov.com/locations/133812>

SUGGESTED MOTION:

Move to endorse the approval not required plan for 185, 187-189 Bedford Street.

Board members: please stop by the office to sign the plans.

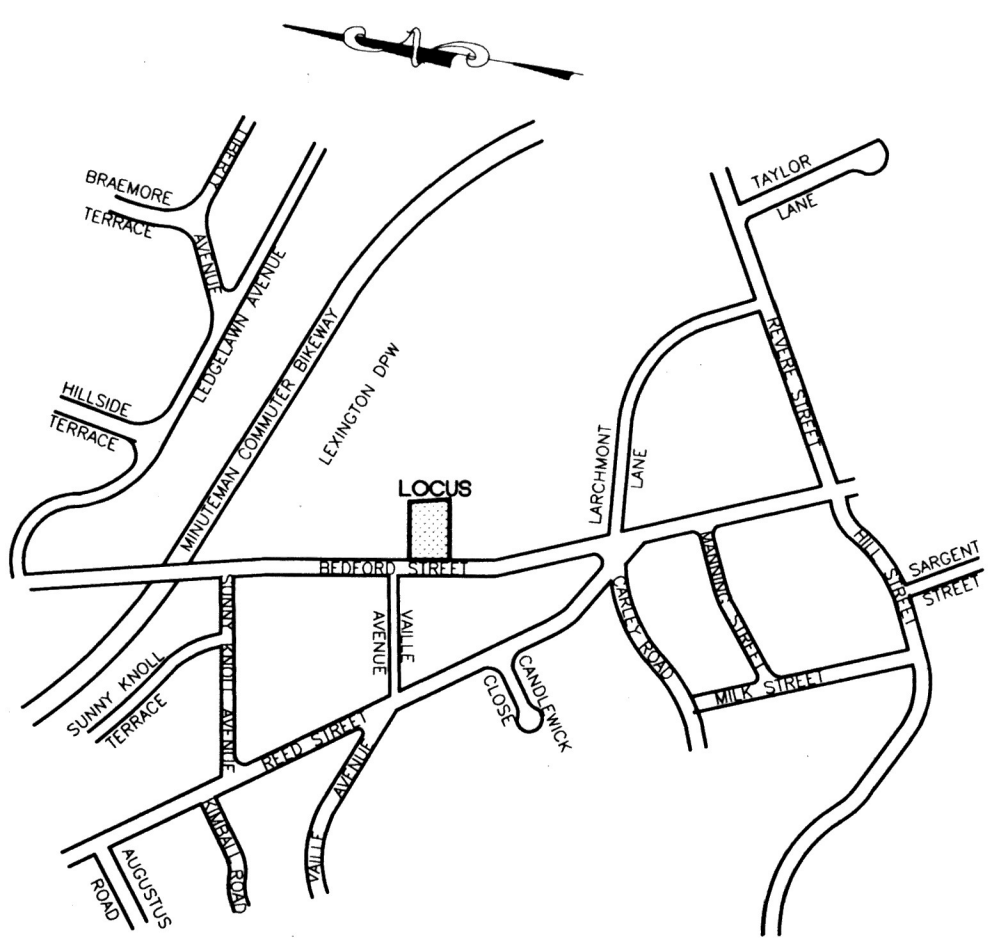
FOLLOW-UP:

DATE AND APPROXIMATE TIME ON AGENDA:

4/17/2025

ATTACHMENTS:

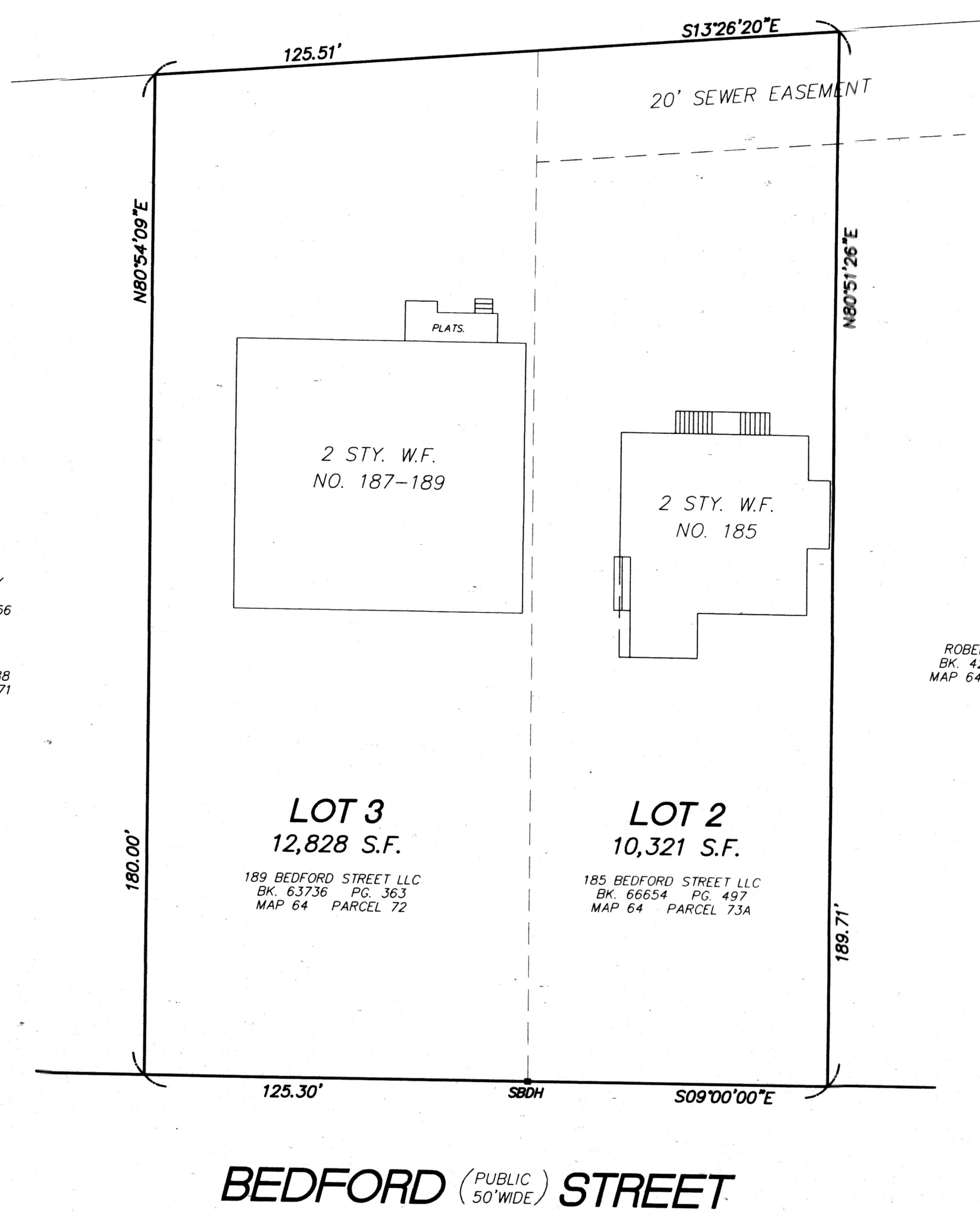
Description	Type
 ANR Plan	Exhibit



LOCUS MAP
1 IN. = 600 FT.



TOWN OF LEXINGTON



MONISHA ADHIKARY
& SAGAR PANDEY
BK. 78442 PG. 256

AMIT KUMAR &
POOJA CHUGH
BK. 79316 PG. 588
MAP 64 PARCEL 71

ROBERT J. DEREGIS
BK. 42950 PG. 38
MAP 64 PARCEL 74A

LOT 3
12,828 S.F.
189 BEDFORD STREET LLC
BK. 63236 PG. 363
MAP 64 PARCEL 72

LOT 2
10,321 S.F.
185 BEDFORD STREET LLC
BK. 66654 PG. 497
MAP 64 PARCEL 73A

BEDFORD (PUBLIC 50' WIDE) STREET

PLAN REFERENCES

- PLAN 711 OF 1944
- PLAN 445 OF 1945
- PLAN 255 OF 1966
- PLAN 1163 OF 1970
- PLAN 1649 OF 1980
- PLAN 674 OF 1981

NOTE: THE PURPOSE OF THIS PLAN IS TO COMBINE LOTS 2 AND 3 TO CREATE ONE LOT CONTAINING 23,149 S.F. THE CURRENT DIVIDING LINE IS TO BE EXTINGUISHED.

NOTE: EXISTING BUILDINGS TO BE RAZED.

PLANNING BOARD APPROVAL UNDER
SUBDIVISION CONTROL LAW NOT REQUIRED.

DATE

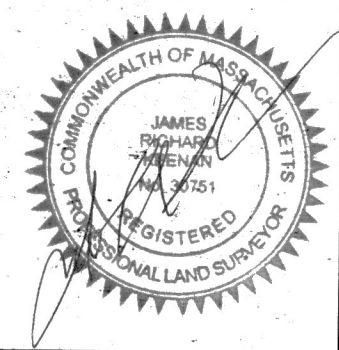
THE ENDORSEMENT ABOVE IS NOT A
DETERMINATION BY THE PLANNING
BOARD AS TO COMPLIANCE WITH THE
ZONING BYLAW.

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY
WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS
OF THE COMMONWEALTH OF MASSACHUSETTS.

4-12-25
DATE

James Keenan
P.L.S.

<p>APPROVAL NOT REQUIRED 185-187-189 BEDFORD STREET IN LEXINGTON, MASSACHUSETTS (MIDDLESEX COUNTY)</p>	
<p>PREPARED FOR BEACON POINT DEVELOPMENT 186 BEDFORD STREET LEXINGTON, MA. 02421</p>	
<p>SCALE: 1" = 20'</p>	<p>DATE: APRIL 11, 2025</p>
<p>KEENAN SURVEY 8 WINCHESTER PLACE WINCHESTER, MA 01890</p>	<p>MAP 64 PARCELS 72 & 73A SHEET No. 1 OF 1</p>



AGENDA ITEM SUMMARY

LEXINGTON PLANNING BOARD

AGENDA ITEM TITLE:

Board Member & Staff Updates

PRESENTER:

**ITEM
NUMBER:**

SUMMARY:

SUGGESTED MOTION:

FOLLOW-UP:

DATE AND APPROXIMATE TIME ON AGENDA:

4/17/2025

AGENDA ITEM SUMMARY

LEXINGTON PLANNING BOARD

AGENDA ITEM TITLE:

Review of Draft Meeting Minutes: 3/12 & 3/27/25

PRESENTER:

**ITEM
NUMBER:**

SUMMARY:

SUGGESTED MOTION:

FOLLOW-UP:

DATE AND APPROXIMATE TIME ON AGENDA:

4/17/2025

AGENDA ITEM SUMMARY

LEXINGTON PLANNING BOARD

AGENDA ITEM TITLE:

Upcoming Meetings

PRESENTER:

**ITEM
NUMBER:**

SUMMARY:

SUGGESTED MOTION:

FOLLOW-UP:

DATE AND APPROXIMATE TIME ON AGENDA:

4/17/2025

AGENDA ITEM SUMMARY

LEXINGTON PLANNING BOARD

AGENDA ITEM TITLE:

Adjourn – The meeting will continue until all items are finished. The estimated adjournment time is 9:30 pm.

PRESENTER:

ITEM NUMBER:

SUMMARY:

SUGGESTED MOTION:

FOLLOW-UP:

DATE AND APPROXIMATE TIME ON AGENDA:

4/17/2025

AGENDA ITEM SUMMARY

LEXINGTON PLANNING BOARD

AGENDA ITEM TITLE:

Zoom Details - <https://www.lexingtonma.gov/377/Access-Virtual-Meetings>

PRESENTER:

ITEM NUMBER:

SUMMARY:

Topic: Planning Board Meeting

Time: Apr 17, 2025 06:00 PM Eastern Time (US and Canada)

Join Zoom Meeting

<https://lexingtonma.zoom.us/j/82672499911?pwd=BCctYjNFUJP4J6uneEbckbG797azqC.1>

Meeting ID: 826 7249 9911

Passcode: 879938

One tap mobile

+16469313860,,82672499911#,,,,*879938# US

+13017158592,,82672499911#,,,,*879938# US (Washington DC)

Dial by your location

- +1 646 931 3860 US
- +1 301 715 8592 US (Washington DC)
- +1 305 224 1968 US
- +1 309 205 3325 US
- +1 312 626 6799 US (Chicago)
- +1 646 876 9923 US (New York)
- +1 408 638 0968 US (San Jose)
- +1 507 473 4847 US
- +1 564 217 2000 US
- +1 669 444 9171 US
- +1 669 900 6833 US (San Jose)
- +1 689 278 1000 US
- +1 719 359 4580 US
- +1 253 205 0468 US
- +1 253 215 8782 US (Tacoma)
- +1 346 248 7799 US (Houston)
- +1 360 209 5623 US
- +1 386 347 5053 US

Meeting ID: 826 7249 9911

Passcode: 879938

Find your local number: <https://lexingtonma.zoom.us/j/kdE2lWrOc7>

SUGGESTED MOTION:

FOLLOW-UP:

DATE AND APPROXIMATE TIME ON AGENDA:

4/17/2025