

AGENDA

Lexington Planning Board

Thursday, March 27, 2025

Remote on Zoom: [https://www.lexingtonma.gov/377/Access-](https://www.lexingtonma.gov/377/Access-Virtual-Meetings)

Virtual-Meetings

6:00 PM

Development Administration

- 1. 166 Spring Street - Public Hearing for a limited site plan review (to be continued)**
Public hearing for a limited site plan review at 166 Spring Street, continued from February 26, 2025. - *To be continued to May 7*
- 2. 952 Waltham Street - Public hearing for a village overlay site plan review**
Public hearing for a Village Overlay site plan review application at 952 Waltham Street. *Applicant request a continuance to May 7, 2025.*

Town Meeting

- 1. Public Hearing for Article 34: Amend Section 7.5 Village & Multi-Family Overlay Districts**
Public hearing continued from March 5, 2025 on Annual Town Meeting Article 34: Amend Section 7.5 Village & Multi-Family Overlay districts.

Development Administration (continued)

- 1. 475 Bedford Street - Preliminary Subdivision**
Public meeting for a preliminary subdivision application proposing 3 lots on a cul-de-sac.
- 2. 242 Bedford Street - Preliminary Subdivision**
Public meeting for a preliminary subdivision application to create 4 lots on a cul-de-sac.
- 3. 251, 267, 275, & 301 Massachusetts Avenue - Preliminary Subdivision**
Public meeting for a preliminary subdivision application to create 5 lots on a cul-de-sac.

Board Administration

- 1. Board Member & Staff Updates**
- 2. Review of draft meeting minutes: 2/26/25 and 3/17/25**

Review of draft meeting minutes from February 26 and March 17 meetings.

3. Upcoming Meetings

Upcoming meetings: Thursday 4/10 & 4/17; Wednesday 5/7 & 5/28.

Adjourn

- 1. Adjourn – The meeting will continue until all items are finished. The estimated adjournment time is 8:15 pm.**

Zoom Details

- 1. Zoom Details - <https://www.lexingtonma.gov/377/Access-Virtual-Meetings>**

Topic: Planning Board Meeting

Time: Mar 27, 2025 06:00 PM Eastern Time (US and Canada)

Join Zoom Meeting

[https://lexingtonma.zoom.us/j/88051318742?](https://lexingtonma.zoom.us/j/88051318742?pwd=6yqLUE10NhxHevFCh9upRkTNFrTdDz.1)

[pwd=6yqLUE10NhxHevFCh9upRkTNFrTdDz.1](https://lexingtonma.zoom.us/j/88051318742?pwd=6yqLUE10NhxHevFCh9upRkTNFrTdDz.1)

Meeting ID: 880 5131 8742

Passcode: 268339



Meeting broadcast by LexMedia

AGENDA ITEM SUMMARY

LEXINGTON PLANNING BOARD

AGENDA ITEM TITLE:

166 Spring Street - Public Hearing for a limited site plan review (to be continued)

PRESENTER:

**ITEM
NUMBER:**

SUMMARY:

Public hearing for a limited site plan review on the application of Isam Hijazi on behalf of the Muslim American Community Center at Lexington, Massachusetts at 166 Spring Street.

To be continued to Wednesday, May 7, 2025 at or after 6:00 p.m. on Zoom.

SUGGESTED MOTION:

Staff recommends this hearing be further continued to allow the applicant time to file with the Conservation Commission.

Move to continue the public hearing for the limited site plan review application at 166 Spring Street to Wednesday, May 7 at or after 6:00 pm in the Hudson Room at Cary Memorial Building, 1605 Massachusetts Avenue and on Zoom.

*Please note, the meeting may switch to fully remote on Zoom.

FOLLOW-UP:

DATE AND APPROXIMATE TIME ON AGENDA:

3/27/2025

AGENDA ITEM SUMMARY

LEXINGTON PLANNING BOARD

AGENDA ITEM TITLE:

952 Waltham Street - Public hearing for a village overlay site plan review

PRESENTER:

Planning Staff

ITEM NUMBER:

SUMMARY:

Per Applicant request, this hearing will be continued to May 7, 2025 at or after 6:00 p.m. on Zoom without testimony.

Public hearing on the application of HongSheng Tang for approval of a major site plan review under §135-7.5 [Village & Multi-Family Overlay Districts] and 9.5 [Site Plan Review] of the Zoning Bylaw and Article VI of §181-71 Stormwater Management Regulations. Proposal also requires a special permit, pursuant to Section 5.1.14 and 5.1 [Off-Street Parking and Loading]. Application is to construct 9 townhouse-style ownership units in 3 buildings with private garages, visitor parking, stormwater management, and landscaping

The property is located at 952 Waltham Street, Lexington, MA also known as Map 10, Lot 19A in the RO (One Family Dwelling) and VO (Village Overlay) zoning districts. Application material may be viewed online at <https://lexingtonma.portal.opengov.com/records/101348>

SUGGESTED MOTION:

Move to accept the Applicant's request to continue the site plan review public hearing for 952 Waltham Street to Wednesday, May 7 at or after 6:00 pm on Zoom and in the Hudson Room at Cary Memorial Building, 1605 Massachusetts Avenue and on Zoom.

*Please note: the meeting may switch to fully remote on Zoom.

FOLLOW-UP:

DATE AND APPROXIMATE TIME ON AGENDA:

3/27/2025

ATTACHMENTS:

Description	Type
☐ Request for Continuance	Cover Memo

LAW OFFICES OF
NICHOLSON, SRETER & GILGUN, P.C.
33 BEDFORD STREET, SUITE 4
LEXINGTON, MASSACHUSETTS 02420
(781) 861-9160

ALBERT J. SRETER*
asreter@nsglawyers.com
FREDERICK V. GILGUN, JR.**
fgilgun@nsglawyers.com
DEAN E. NICHOLSON
(5/29/14-8/12/14)

*Admitted in MA and NH
**Admitted in MA and NY

OF COUNSEL
EDMUND C. GRANT
edgrant@nsglawyers.com
JOSEPH C. ABATE

March 4, 2025

Abigail McCabe
Planning Director
Town of Lexington
1625 Massachusetts Avenue
Lexington, MA 02420


Re: 952 Waltham Street
Site Plan Review of Special Residential Development

Dear Ms. McCabe:

As you know I represent Hongsheng Tang and Limei Wang in connection with their application for Site Plan Review of a Special Residential Development project at 952 Waltham Street which is scheduled for a public hearing on March 27, 2025. Request is hereby made that the public hearing be continued to May 7, 2025.

Thank you for your consideration.

Very truly yours,


Frederick V. Gilgun, Jr.

AGENDA ITEM SUMMARY

LEXINGTON PLANNING BOARD

AGENDA ITEM TITLE:

Public Hearing for Article 34: Amend Section 7.5 Village & Multi-Family Overlay Districts

PRESENTER:

Proponents (Carol Sacerdote, Alan
Levine, Dawn McKenna, John
Bartenstein, Brielle Kissel Meade)

ITEM NUMBER:

SUMMARY:

On March 17, 2025, Special Town Meeting adopted Article 2. Article 2 amended the overlay districts on the zoning map, added in a unit per acre density limit, reduced the maximum height for mixed-use developments, and added in a maximum site coverage. The article adopted on March 17 can be found here (dated March 10) with a presentation summary here. More about Special Town Meeting: <https://lexingtonma.gov/2265/2025-1-Special-Town-Meeting>

The changes proposed under Annual Town Meeting Article 34 are to:

- Increase the front yard setback for mixed-use developments to 10-ft. where no minimum front yard setback exists currently;
- Require the first floor of a mixed-use development to be at least 14-ft. floor to floor height; and
- Increase the landscape transition area for buildings over 40-ft. from 5-ft. wide to 20-ft. wide around the boundaries of the Overlay Districts.

The amendment motion language and visuals are attached.

The Proponents will present, the board members will discuss, and then the Chair will open the hearing up to public comments. After public comments the Board will have a discussion. The Board may continue the hearing to a future meeting date or they may close the public hearing and make a recommendation to Town Meeting. (Annual Town Meeting begins on March 24 and will continue through April). More about Annual Town Meeting: <https://lexingtonma.gov/2266/2025-Annual-Town-Meeting>

More about the projects submitted under the Overlay District Zoning here: <https://www.lexingtonma.gov/1496/MBTA-Communities-Zoning>

SUGGESTED MOTION:

If the Board is ready and supports the zoning motion as proposed, staff recommends closing the public hearing and make a recommendation to Town Meeting.

Move to close the public hearing on Annual Town Meeting Article 34 to amend Section 7.5 of the Zoning Bylaw.

Move to recommend Town Meeting approve the motion under Article 34 as revised through March 25, 2025 to amend Section 7.5 Village Overlay Districts.

Move to approve the recommendation report for Annual Town Meeting article 34.

FOLLOW-UP:

DATE AND APPROXIMATE TIME ON AGENDA:

3/27/2025

ATTACHMENTS:

Description	Type
☐ DRAFT Zoning Amendment Motion Article 34 3.27.25	Exhibit
☐ DRAFT Presentation Slides	Presentation
☐ DRAFT Planning Board Recommendation Report	Exhibit

Town of Lexington
Motion
Annual Town Meeting 2025

ARTICLE 34 AMEND SECTION 7.5 OF THE ZONING BYLAW TO REDUCE MULTI-FAMILY DWELLING UNIT CAPACITY (Citizen Petition)

MOTION

That the Zoning Bylaw, Chapter 135 of the Code of the Town of Lexington, and Zoning Map be amended as follows, where ~~struck through~~ text is to be removed and underlined text is to be added, and further that non-substantive changes to the numbering of this bylaw be permitted to comply with the numbering format of the Code of the Town of Lexington:

A. Amend §135-7.5.5.6 as follows:

6. The minimum required front yard in feet is the lesser of that required in the underlying zoning district or 15 feet, except that where 50% or more of the façade facing the public way is occupied by nonresidential principal uses in the VO District, ~~no the minimum required~~ front yard is required 10 feet. Minimum required front yard areas shall be used as amenity space available for occupants and semi-public uses such as landscaping, benches, tables, chairs, play areas, public art, or similar features. Parking spaces are not permitted in the minimum required front yard.

B. Amend §135-7.5.5.10.b as follows:

- b. VO Height Bonus. In the VO District, the maximum height is 50 feet and 4 stories when at least 33% of the gross floor area of the street floor level or buildings' footprint, whichever is greater, of the entire development is occupied by nonresidential principal uses pursuant to §7.5.4.4, ~~and no more than the greater of 20% or 20 feet of the street floor frontage on a public way is dedicated to residential uses, and the floor to floor height of the street floor level is at least 14 feet.~~

C. Amend §135-7.5.9.1 as follows:

1. Transition areas, as specified under §5.3.4 (Transition Areas), are required only along the boundary of the Village Overlay Districts and shall have a depth of 20 feet on developments in the VO District containing a building with a height greater than 40 feet or five (5) feet otherwise.

(3/27/2025)



Article 34

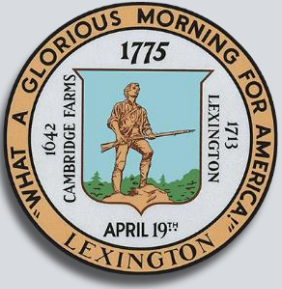
Amend Section 7.5 of the Zoning Bylaw to Reduce Multi-Family Dwelling Unit Capacity



3 Changes to Section 7.5 Village Overlay Districts

1) Increases the minimum front yard setback to 10 ft. where none is currently required for mixed-use buildings





First Floor Height

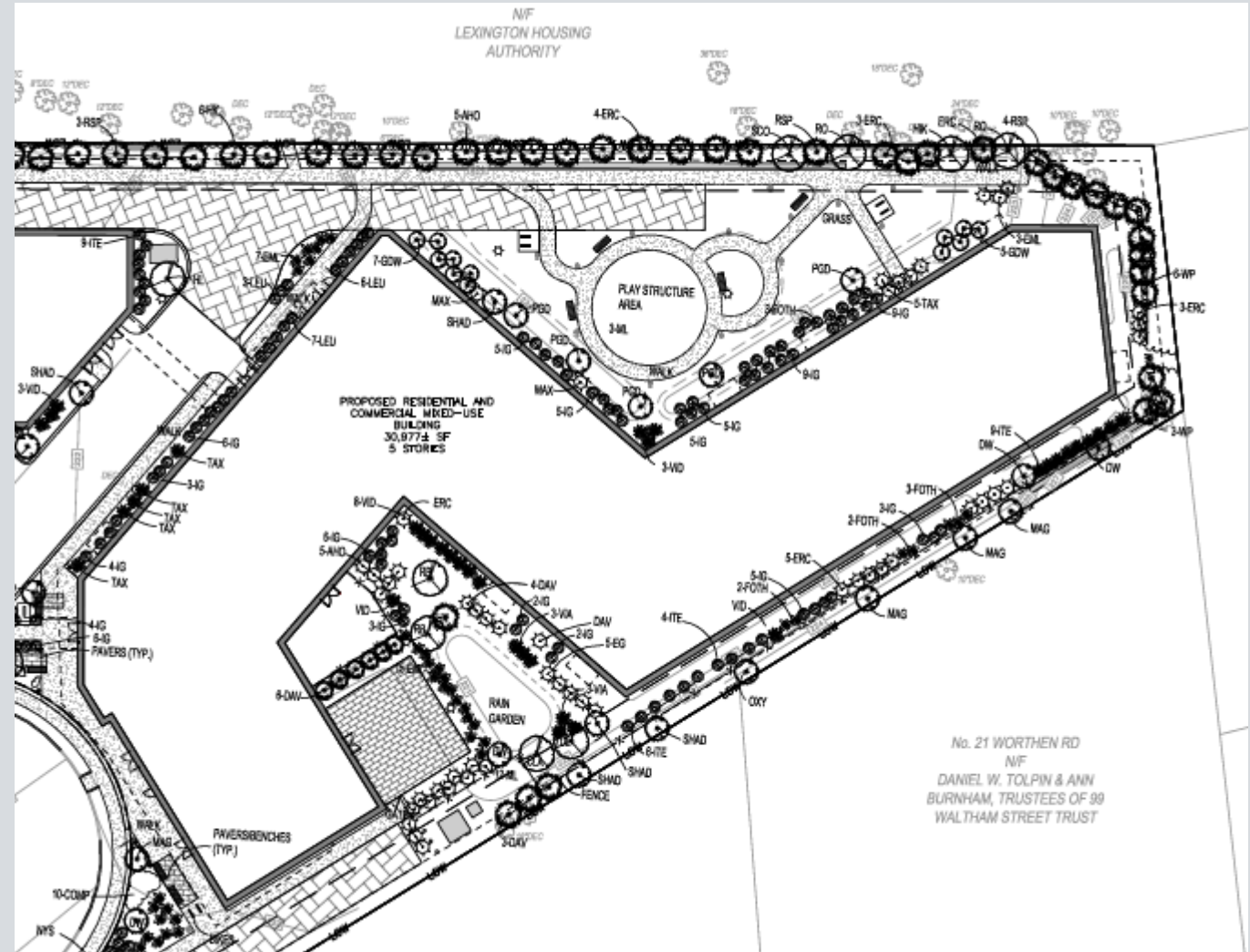
2) Adds requirement for 14 ft. floor to floor height for street floor level mixed-use developments





Landscape Screening

- Increases width of landscape screening area from 5 ft. to 20 ft. wide for buildings over 40 ft. in height





Town of Lexington
PLANNING BOARD
1625 Massachusetts Avenue
Lexington, MA 02420
Tel (781) 698-4560
planning@lexingtonma.gov
www.lexingtonma.gov/planning

Michael Schanbacher, Chair
Robert Creech, Vice Chair
Melanie Thompson, Clerk
Charles Hornig, Member
Tina McBride, Member
Michael Leon, Associate Member

**RECOMMENDATION REPORT OF THE LEXINGTON PLANNING BOARD
ANNUAL TOWN MEETING 2025**

**ARTICLE 34: AMEND SECTION 7.5 OF THE ZONING BYLAW & ZONING MAP TO REDUCE MULTI-FAMILY
DWELLING UNIT CAPACITY (CITIZEN PETITION)**

March 27, 2025

RECOMMENDATION

On Thursday, March 27, 2025, after four public hearings, the Planning Board voted ___ in favor and ___ opposed, to recommend that Town Meeting **approve** the motion dated **March 27**, 2025 under Article 34 to Amend Section 7.5 of the Zoning Bylaw to reduce the multi-family dwelling unit capacity in the Village & Multi-Family Overlay Districts.

DESCRIPTION OF ZONING PROPOSAL

This article changes the minimum dimensional controls in the Village Overlay zoning districts Section 7.5 of the Zoning Bylaw.

AMENDMENTS TO SECTION 7.5 OF THE ZONING BYLAW

The following are proposed changes to the text of the Zoning Bylaw for the VO District.

- Increase the minimum required front yard for mixed-use projects to 10 feet where no minimum is currently required.
- Require that the street level of a mixed-use development have a floor-to-floor height of at least 14 feet; and
- Increase the minimum width of the required transition screening area from 5 feet to 20 feet for lots bordering the district boundary with buildings over 40 feet in height.

JUSTIFICATION FOR RECOMMENDATION

Adding a ten-foot setback for mixed-use developments will ensure the front yard of a building is used as an amenity space to help activate the area between the building and the sidewalk. The increased building setback will also help address massing concerns.

Establishing a minimum height for the first floor of a mixed-use development will ensure buildings are designed to attract desired uses such as restaurants and food establishments that require additional height for practical purposes. A taller ground floor also helps break up the massing of buildings from a design standpoint.

Increasing the width of the transition area around the boundaries of the Village Overlay districts will provide more landscape screening to create a larger buffer area when a project has a building greater than 40 feet in height. This is intended to address concerns raised by neighbors about some of the proposed development projects.

PUBLIC PROCESS

The Planning Board held public hearings on the proposed zoning amendment on February 12, February 26, and March 5, 2025 concurrently on Article 34 and Special Town Meeting Article 2. A fourth night of public hearings was focused specifically on the additional changes outlined in Article 34 beyond the Special Town Meeting article. The Board heard testimony during the hearings, and received numerous written comments. The Board carefully considered all testimony and comments on the zoning proposal being presented to Town Meeting.

RECORD OF THE VOTE:

Mr. Creech moved that the Planning Board recommend that Town Meeting approve the motion under Article 34 for Annual Town Meeting 2025, as revised through March 27, 2025. The Planning Board voted in favor of the motion --- (Roll Call: Robert Creech - Aye, Charles Hornig - Aye, Tina McBride - Aye, Michael Schanbacher - Aye, Melanie Thompson - Aye).

SIGNATURE OF THE PLANNING BOARD CHAIR

Michael Schanbacher

Zoning Amendment Information for Special Town Meeting (including motion):
<https://lexingtonma.gov/DocumentCenter/View/14135/Motion-Article-34--VO?bidId=>

Development Project Info: <http://www.lexingtonma.gov/MBTAZoning>

AGENDA ITEM SUMMARY

LEXINGTON PLANNING BOARD

AGENDA ITEM TITLE:

475 Bedford Street - Preliminary Subdivision

PRESENTER:

Applicant: Pulte Homes

ITEM NUMBER:

SUMMARY:

The Planning Board will hold a virtual public meeting on the application of Pulte Homes of New England, for approval of a preliminary subdivision plan under §175-5.0 of the Planning Board's Subdivision Regulations. Application proposes subdividing property into three (3) lots on a right-of-way. The property is located at 475 Bedford Street, Lexington, MA also known as Map 84, Lot 85A in the RO (One Family Dwelling) and MFO (Multi-Family Overlay) zoning districts. Application materials may be viewed at <https://lexingtonma.portal.opengov.com/records/101377>. Staff recommends approval with suggested conditions for items to be incorporated into the Definitive Subdivision submission.

SUGGESTED MOTION:

Move to approve the preliminary subdivision application for 475 Bedford Street with the conditions in the draft decision as recommendations to be included in the Definitive Subdivision application.

FOLLOW-UP:

DATE AND APPROXIMATE TIME ON AGENDA:

3/27/2025

ATTACHMENTS:

Description	Type
 Preliminary Subdivision Plan Set	Exhibit

Preliminary Plans

Issued for Preliminary Residential Subdivision
 Date Issued February 7, 2025
 Latest Issue February 11, 2025

Fieldside at Lexington Subdivision

475 Bedford Street
 Lexington, Massachusetts



Owner

Cresset Lexington, LLC
 120 Water Street, Suite 200
 Boston, MA 02109

Applicant

Pulte Homes of New England
 1900 West Park Drive, Suite 180
 Westborough, MA 01581

Assessor's Map: 84
 Lot: 85A

Sheet Index

No.	Drawing Title	Latest Issue
C1.00	Legend and General Notes	February 11, 2025
C2.00	Site Context Plan	February 11, 2025
C3.01-C3.03	Abutters Plan	February 11, 2025
C4.00	Property Rights and Dimensional Standards	February 11, 2025
C5.00	Key Plan	February 11, 2025
C6.01-C6.02	Lotting Plan, Layout and Materials Plan, Grading and Drainage Plan, and Utilities Plan	February 11, 2025
C7.01-C7.02	Site Details	February 11, 2025

Reference Drawings

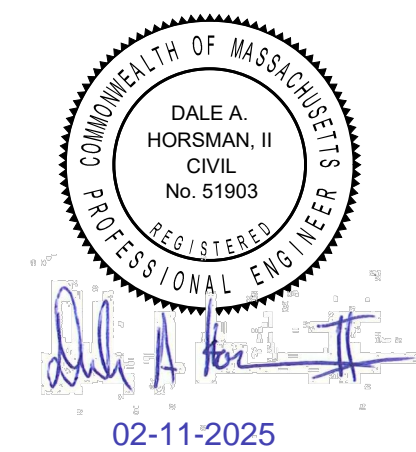
No.	Drawing Title	Latest Issue
Sv-1	Existing Conditions Plan of Land	October 10, 2024



260 Arsenal Place #2
 Watertown, MA 02472
 617.924.1770

Civil Engineer/Surveyor
 VHB
 260 Arsenal Place #2
 Watertown, MA 02472

Landscape Architect
 VHB
 260 Arsenal Place #2
 Watertown, MA 02472



APPROVED BY:
 LEXINGTON PLANNING BOARD

I, _____, CLERK OF THE TOWN OF LEXINGTON, MASSACHUSETTS HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE LEXINGTON PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

 TOWN CLERK

 DATE

Legend

Legend table with columns for 'Exist.' and 'Prop.' showing symbols for property lines, pavements, utilities, and site features.

Abbreviations

Abbreviations table listing symbols for General and Utility items such as ABAN (ABANDON), ACR (ACCESSIBLE CURB RAMP), and CB (CATCH BASIN).

Notes

- Notes 1-14 detailing construction requirements, safety protocols, utility handling, and site preparation instructions.

Layout and Materials

- Layout and Materials notes 1-6 regarding dimensions, curbing, and pavement specifications.

Demolition

- Demolition notes 1-5 detailing procedures for removing existing structures and utilities.

Utilities

- Utilities notes 1-4 detailing the location, size, and types of existing utilities to be identified and handled.

Erosion Control

- Erosion Control notes 1-5 detailing measures to prevent soil erosion during construction.

Existing Conditions Information

- Existing Conditions Information notes 1-2 detailing base plan information and topography data.

Document Use

- Document Use notes 1-10 detailing the use of drawings, materials, and construction standards.

APPROVED BY:
LEXINGTON PLANNING BOARD

Fieldside at Lexington
Subdivision
475 Bedford Street
Lexington, Massachusetts

Table with columns: No., Revision, Date, Appr. for drawing revisions.

Designed by PTM, Checked by KSS. Issued for Preliminary Residential Subdivision, Feb 11, 2025. Not Approved for Construction. Legend and General Notes.

Professional Engineer seal for Dale A. Horsman, II, No. 51903. Sheet 1 of 11. Project Number 15233.02. Date 02-11-2025.

Owner
Cresset Lexington, LLC
120 Water Street, Suite 200
Boston, MA 02109

Applicant
Pulte Homes of New England
1900 West Park Drive, Suite 180
Westborough, MA 01581

APPROVED BY:
LEXINGTON PLANNING BOARD



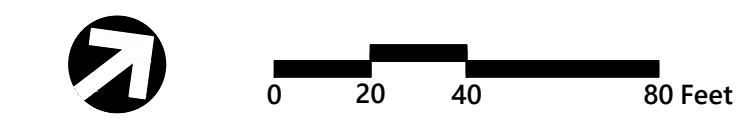
KEY:

- HP * HIGH POINT
- LP * LOW POINT
- ← DIRECTION OF OVERLAND FLOW
- 15-25% SLOPES
- 25-40% SLOPES
- >40% SLOPES
- SOIL BOUNDARY

SOILS INFORMATION:
SOILS INFORMATION DERIVED FROM THE USDA NATURAL RESOURCES CONSERVATION SERVICE SOIL SURVEY OF MIDDLESEX COUNTY, MASSACHUSETTS.
URL: <http://websoilsurvey.nrcs.usda.gov>.

SOIL UNIT	DESCRIPTION
52A	FREETOWN MUCK, 0 TO 1 PERCENT SLOPES
656	UDORTHENTS-URBAN LAND COMPLEX
631C	CHARLTON-URBAN LAND-HOLLIS COMPLEX, 3 TO 15 PERCENT SLOPES, ROCKY

- NOTES:**
1. THE TOPOGRAPHY HEREON WAS DERIVED FROM THE VHB SURVEY PERFORMED JUNE 17, 2021.
 2. THIS PLAN DOES NOT SHOW ANY EASEMENTS WHICH MAY EXIST.
 3. THE SOURCE OF NOISE AFFECTING THE SITE IS THE TRAFFIC FLOW ALONG BEDFORD STREET AND DRUMMER BOY WAY.
 4. THE SUBJECT PROPERTY IS LOCATED WITHIN THE ONE FAMILY DWELLING (RO) ZONING DISTRICT.
 5. THE SUBJECT PROPERTY IS DEPICTED AS PARCEL 85A ON THE TOWN OF LEXINGTON'S ASSESSOR'S MAP 84.



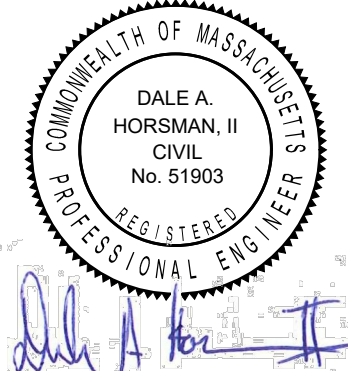
Fieldside at Lexington Subdivision
475 Bedford Street
Lexington, Massachusetts

No.	Revision	Date	App'd.

Designed by: **PTM** Checked by: **KSS**
Issued for: _____ Date: _____

Preliminary Residential Subdivision Feb 11, 2025
Not Approved for Construction

Drawing Title
Site Context Plan
Drawing Number



C2.00
Sheet 2 of 11
Project Number: 15233.02
Date: 02-11-2025



260 Arsenal Place #2
Watertown, MA 02472
617.924.1770

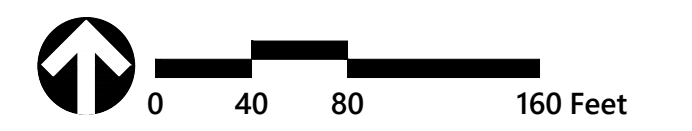
Owner

Cresset Lexington, LLC
120 Water Street, Suite 200
Boston, MA 02109

Applicant

Pulte Homes of New England
1900 West Park Drive, Suite 180
Westborough, MA 01581

APPROVED BY:
LEXINGTON PLANNING BOARD



**Fieldside at Lexington
Subdivision**

475 Bedford Street
Lexington, Massachusetts

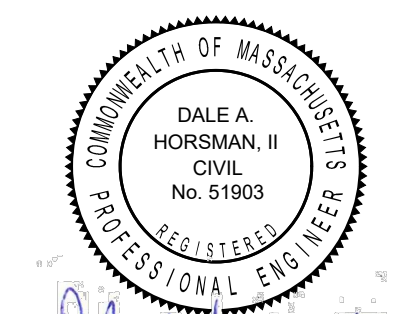
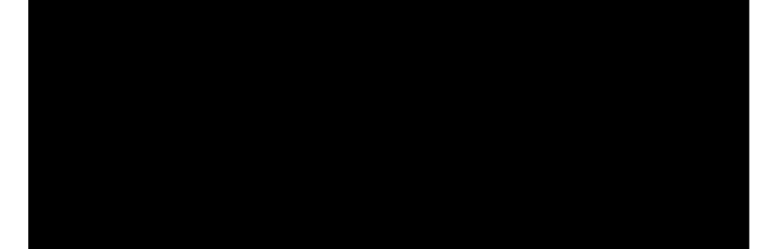
No. Revision Date Appr.

No.	Revision	Date	Appr.

Designed by PTM Checked by KSS

Issued for Preliminary Residential Subdivision Feb 11, 2025

Not Approved for Construction
Drawing Title
Abutters Plan



Dale A. Horsman, II
02-11-2025

C3.01

Sheet 3 of 11

Project Number
15233.02





260 Arsenal Place #2
Watertown, MA 02472
617.924.1770

Owner

Cresset Lexington, LLC
120 Water Street, Suite 200
Boston, MA 02109

Applicant

Pulte Homes of New England
1900 West Park Drive, Suite 180
Westborough, MA 01581

APPROVED BY:
LEXINGTON PLANNING BOARD

**Fieldside at Lexington
Subdivision**

475 Bedford Street
Lexington, Massachusetts

No.	Revision	Date	Appr.

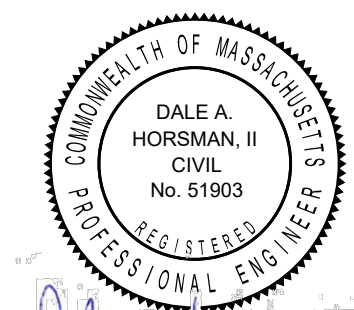
Designed by	Checked by
PTM	KSS

Issued for Preliminary Residential Subdivision Feb 11, 2025

Not Approved for Construction

Drawing Title
Abutters Plan

Drawing Number
C3.02



Sheet 4 of 11

ID	Site Address	Owner Name	Owner Address	Owner City	Owner State	Owner Zip	Owner Country
83-13	24 ELDRED ST	JOSEPH ROBERT J & MAUREEN F	24 ELDRED ST	LEXINGTON	MA	02420	USA
83-14	26 ELDRED ST	GITERMAN LORI J	26 ELDRED ST	LEXINGTON	MA	02420	
83-15	28 ELDRED ST	LUTHER EDNA C	28 ELDRED ST	LEXINGTON	MA	02420	USA
83-16	32 ELDRED ST	JOSEPH TR JEAN M	32 ELDRED ST	LEXINGTON	MA	02420	
84-19A	IVAN ST	TOWN OF LEXINGTON	1625 MASS AVE	LEXINGTON	MA	02420	USA
84-1B	1-108 DRUMMER BOY WAY	DRUMMER BOY HOMES ASSOCIATION, INC	13 DRUMMER BOY WAY	LEXINGTON	MA	02420	
84-1B-1	1 FIFER LN	PALADUGU GAUTHAM &	274 MARRETT RD	LEXINGTON	MA	02421	USA
84-1B-10	10 FIFER LN	CAO OU	10 FIFER LN	LEXINGTON	MA	02420	
84-1B-100	58 FIFER LN	CHU LIANG - HUI	58 FIFER LN	LEXINGTON	MA	02421	USA
84-1B-101	59 FIFER LN	LANE TR KRISTA LOUISE	59 FIFER LN	LEXINGTON	MA	02420	
84-1B-102	60 FIFER LN	TATSUTA NORIYAKI &	60 FIFER LN	LEXINGTON	MA	02420	USA
84-1B-103	61 FIFER LN	SETHI AMIT	61 FIFER LN	LEXINGTON	MA	02420	
84-1B-104	62 FIFER LN	LIU HONG	62 FIFER LN	LEXINGTON	MA	02420	
84-1B-105	63 FIFER LN	COLMAN STEVEN L &	63 FIFER LN	LEXINGTON	MA	02420	USA
84-1B-106	64 FIFER LN	COVIC LIDIJA	64 FIFER LN	LEXINGTON	MA	02420	USA
84-1B-107	65 FIFER LN	PRESCOTT TR KENNETH WAYNE & HACKMAN TR SANDRA LEE	65 FIFER LN	LEXINGTON	MA	02420	
84-1B-108	66 FIFER LN	FULLMER W CARSON &	66 FIFER LN	LEXINGTON	MA	02420	USA
84-1B-109	67 FIFER LN	ZHANG LU	67 FIFER LN	LEXINGTON	MA	02420	
84-1B-11	11 FIFER LN	KARIM RIZWANUL & MALIHA TRS	11 FIFER LN	LEXINGTON	MA	02420	USA
84-1B-110	68 FIFER LN	BISHOP DIANA J TRUSTEE	68 FIFER LN	LEXINGTON	MA	02420	USA
84-1B-111	69 FIFER LN	NEVES SABRINA MUNERATO A &	69 FIFER LN	LEXINGTON	MA	02420	USA
84-1B-112	70 FIFER LN	DIXON LINDA J	70 FIFER LANE	LEXINGTON	MA	02420	USA
84-1B-113	71 FIFER LN	ZHOU NAXIN	71 FIFER LN UNIT 71	LEXINGTON	MA	02420	USA
84-1B-114	72 FIFER LN	WIENER JEFFREY	72 FIFER LN	LEXINGTON	MA	02420	USA
84-1B-115	73 FIFER LN	DAVULURI GANESH V N	73 FIFER LN	LEXINGTON	MA	02420	
84-1B-116	74 FIFER LN	ZOU ZHIYAN	74 FIFER LN	LEXINGTON	MA	02420	
84-1B-117	75 FIFER LN	SLOBODCHIKOV EVGENY V	75 FIFER LN	LEXINGTON	MA	02420	USA
84-1B-118	76 FIFER LN	CHOI JUNG HOON	76 FIFER LN	LEXINGTON	MA	02420	USA
84-1B-119	77 FIFER LN	ZHANG WEI &	77 FIFER LN	LEXINGTON	MA	02420	USA
84-1B-12	12 FIFER LN	VERMA ANSHUM	12 FIFER LN	LEXINGTON	MA	02420	
84-1B-120	78 FIFER LN	SHEN BEI	6 LORING RD	LEXINGTON	MA	02420	USA
84-1B-121	79 FIFER LN	YOUNG EDITH &	79 FIFER LN	LEXINGTON	MA	02420	USA
84-1B-122	80 FIFER LN	MEZHIROV ALEXANDER &	80 FIFER LN	LEXINGTON	MA	02421	USA
84-1B-123	81 FIFER LN	KIM, TR CHIEUN	81 FIFER LN	LEXINGTON	MA	02420	
84-1B-124	82 FIFER LN	SHAW FREDERICK W JR & CUTLER	15 BEAVER POND RD	BELLINGHAM	MA	02019	USA
84-1B-125	83 FIFER LN	KNOWLES LESLIE	83 FIFER LN	LEXINGTON	MA	02420	USA
84-1B-126	84 FIFER LN	LISBOA ELJANE P DESOUZA &	84 FIFER LN	LEXINGTON	MA	02420	USA
84-1B-127	85 FIFER LN	JADHAV SATISH	85 FIFER LN	LEXINGTON	MA	02420	
84-1B-128	86 FIFER LN	FULCINITI GAIL	86 FIFER LN	LEXINGTON	MA	02420	
84-1B-129	87 FIFER LN	BECKER DAVID S & BECKER MARJORIE L TRS	87 FIFER LN	LEXINGTON	MA	02421	USA
84-1B-13	13 FIFER LN	DOUGLAS TR LAURIE ANNE	13 FIFER LN	LEXINGTON	MA	02420	
84-1B-130	88 FIFER LN	XIONG WENWEI &	88 FIFER LN	LEXINGTON	MA	02420	USA
84-1B-131	89 FIFER LN	KOVARI GEORGE D & DANA G TRUSTEES	89 FIFER LN	LEXINGTON	MA	02420	USA
84-1B-132	90 FIFER LN	BRONER MARTHA TRUSTEE	90 FIFER LN	LEXINGTON	MA	02420	USA
84-1B-133	91 FIFER LN	LANDERS R MICHAEL	91 FIFER LN	LEXINGTON	MA	02420	USA
84-1B-134	92 FIFER LN	NI HAIHONG &	87 OLD BURLINGTON RD	BEDFORD	MA	01730	USA
84-1B-135	93 FIFER LN	KINZER LOIS A	93 FIFER LN	LEXINGTON	MA	02420	USA
84-1B-136	94 FIFER LN	SETYAWAN JULIANA	106 RUDDOCK RD	SUDBURY	MA	01776	USA
84-1B-137	95 FIFER LN	RAMANATHAN PALANIAPPAN	95 FIFER LN	LEXINGTON	MA	02420	

ID	Site Address	Owner Name	Owner Address	Owner City	Owner State	Owner Zip	Owner Country
84-1B-138	96 FIFER LN	BAJAJ NITIN &	96 FIFER LN	LEXINGTON	MA	02420	USA
84-1B-139	97 FIFER LN	CUI YUE	97 FIFER LN	LEXINGTON	MA	02420	USA
84-1B-14	14 FIFER LN	FARRELL KERRY E & JABER AFSHIN TRUSTEES	11 PLUM ISLAND TURNPIKE	NEWBURYPORT	MA	01950	USA
84-1B-140	98 FIFER LN	LIM LIONEL SHEUNG HAN &	98 FIFER LN	LEXINGTON	MA	02420	USA
84-1B-141	99 FIFER LN	MADDOX JENNY	99 FIFER LN	LEXINGTON	MA	02420	USA
84-1B-142	100 FIFER LN	REVELLE CYNTHIA M TRUSTEE	100 FIFER LN	LEXINGTON	MA	02420	USA
84-1B-143	101 FIFER LN	WEST JANET	101 FIFER LN	LEXINGTON	MA	02420	
84-1B-144	102 FIFER LN	ONAIZA ANIE	102 FIFER LN	LEXINGTON	MA	02420	
84-1B-145	103 FIFER LN	LI GANG &	103 FIFER LN	LEXINGTON	MA	02420	USA
84-1B-146	104 FIFER LN	LOSS, TR ROBERT	104 FIFER LN	LEXINGTON	MA	02420	
84-1B-147	105 FIFER LN	KIM CHE HOON	105 FIFER LN	LEXINGTON	MA	02420	
84-1B-148	106 FIFER LN	PATKIN MURRAY S TRUSTEE	106 FIFER LN	LEXINGTON	MA	02420	USA
84-1B-149	107 FIFER LN	SPALDING JANE	107 FIFER LN	LEXINGTON	MA	02420	
84-1B-15	15 FIFER LN	AHARA CONSTANCE E	15 FIFER LN	LEXINGTON	MA	02420	USA
84-1B-150	108 FIFER LN	DER SIRAKIAN ARAM &	108 FIFER LN	LEXINGTON	MA	02420	USA
84-1B-16	16 FIFER LN	THIRULNIKOV VITALY &	16 FIFER LN	LEXINGTON	MA	02420	USA
84-1B-17	17 FIFER LN	TURIN JACQUELINE W	17 FIFER LN	LEXINGTON	MA	02420	USA
84-1B-18	18 FIFER LN	GHOSH PARTHA S &	7 WAINWRIGHT ROAD #66	WINCHESTER	MA	01890	USA
84-1B-19	19 FIFER LN	LI YONGTAO	19 FIFER LN	LEXINGTON	MA	02420	
84-1B-2	2 FIFER LN	CARL CHARLES W	2 FIFER LN	LEXINGTON	MA	02420	USA
84-1B-20	20 FIFER LN	XIAO WEICAN &	20 FIFER LN	LEXINGTON	MA	02420	USA
84-1B-21	21 FIFER LN	ZAI MARVIN HO - MING &	21 FIFER LN	LEXINGTON	MA	02420	USA
84-1B-22	22 FIFER LN	GHOSH PARTHA &	7 WAINWRIGHT RD UNIT 66	WINCHESTER	MA	01890	USA
84-1B-23	23 FIFER LN	HAMILTON PHILIP K &	23 FIFER LN	LEXINGTON	MA	02420	USA
84-1B-24	24 FIFER LN	TOUGHARI MOHSEN REZAPOUR	24 FIFER LN	LEXINGTON	MA	02420	
84-1B-25	25 FIFER LN	MCSHINE RANDALL H & ZHANG XIAOQI S TRS	71 MIDDLE ST	LEXINGTON	MA	02421	USA
84-1B-26	26 FIFER LN	RUVINSKY ANATOLY	26 FIFER LN	LEXINGTON	MA	02420	
84-1B-27	27 FIFER LN	KWAK YONG MIN &	27 FIFER LN	LEXINGTON	MA	02420	USA
84-1B-28	28 FIFER LN	DESAI SMITA K	28 FIFER LN	LEXINGTON	MA	02420	USA
84-1B-29	1 DRUMMER BOY WAY	ADGAONKAR SANDEEP NAGESH &	59 FREEMONT ST	LEXINGTON	MA	02421	USA
84-1B-3	3 FIFER LN	LO CONTE FORTUNATA MARIA	3 FIFER LANE	LEXINGTON	MA	02420	USA
84-1B-30	2 DRUMMER BOY WAY	WOODWORTH GAIL S	4 OSBORNE COURT UNIT 1	NEWPORT	RI	02840	USA
84-1B-31	3 DRUMMER BOY WAY	LIU ZHU	3 DRUMMER BOY WAY	LEXINGTON	MA	02420	
84-1B-32	4 DRUMMER BOY WAY	RADLO TRS MURRAY D & RITA & FITZPATRICK TR MARIBETH	4 DRUMMER BOY WAY	LEXINGTON	MA	02420	
84-1B-33	5 DRUMMER BOY WAY	RUBIN PAUL J TRUSTEE	5 DRUMMER BOY WAY	LEXINGTON	MA	02420	USA
84-1B-34	6 DRUMMER BOY WAY	SHOOR JYLLIAN TRS	6 DRUMMER BOY WAY	LEXINGTON	MA	02420	USA
84-1B-35	7 DRUMMER BOY WAY	SOOD DEEPIKA	7 DRUMMER BOY WAY	LEXINGTON	MA	02420	
84-1B-36	8 DRUMMER BOY WAY	GOHIL SMITA	8 DRUMMER BOY WAY	LEXINGTON	MA	02420	USA
84-1B-37	9 DRUMMER BOY WAY	CHRYSOSTOMOUCOSTAS	9 DRUMMER BOY WAY	LEXINGTON	MA	02420	
84-1B-38	10 DRUMMER BOY WAY	US BANK TRUST NATIONAL ASSOCIATION TR C/O SELENE FINANCE	3501 OLYMPUS BLVD 5TH FLR	DALLAS	TX	75019	
84-1B-39	11 DRUMMER BOY WAY	DAD SHAHID	5 LALIA LN	BILLERICA	MA	01821	
84-1B-4	4 FIFER LN	CHEN GUOXIN	4 FIFER LN	LEXINGTON	MA	02420	USA
84-1B-40	12 DRUMMER BOY WAY	WONG DORIS SUE	12 DRUMMER BOY WAY	LEXINGTON	MA	02420	USA
84-1B-41	14 DRUMMER BOY WAY	SARKHOT YOGESH V	14 DRUMMER BOY WAY	LEXINGTON	MA	02420	
84-1B-42	15 DRUMMER BOY WAY	SHILMAN VITALY H &	15 DRUMMER BOY WAY	LEXINGTON	MA	02420	USA
84-1B-43	16 DRUMMER BOY WAY	BATLAPENUMARTHY HARISH &	16 DRUMMER BOY WAY	LEXINGTON	MA	02420	USA
84-1B-44	17 DRUMMER BOY WAY	LI ANYIN	17 DRUMMER BOY WAY	LEXINGTON	MA	02420	
84-1B-45	18 DRUMMER BOY WAY	KHORAKIWALA HASIM AND KHORAKIWALA FATEMA	18 DRUMMER BOY WAY	LEXINGTON	MA	02420	USA
84-1B-46	19 DRUMMER BOY WAY	BAIRD CYNTHIA C	36 COLONY ROAD	LEXINGTON	MA	02420	USA



260 Arsenal Place #2
Watertown, MA 02472
617.924.1770

Owner

Cresset Lexington, LLC
120 Water Street, Suite 200
Boston, MA 02109

Applicant

Pulte Homes of New England
1900 West Park Drive, Suite 180
Westborough, MA 01581

APPROVED BY:
LEXINGTON PLANNING BOARD

ID	Site Address	Owner Name	Owner Address	Owner City	Owner State	Owner Zip	Owner Country
84-1B-47	20 DRUMMER BOY WAY	ALSUBAI TR ZAINAB A	20 DRUMMER BOY WAY	LEXINGTON	MA	02420	
84-1B-48	21 DRUMMER BOY WAY	TWOMBLY JOHN A TRUSTEE	21 DRUMMER BOY WAY	LEXINGTON	MA	02420	USA
84-1B-49	22 DRUMMER BOY WAY	ELLISON RACHAEL T	22 DRUMMER BOY WAY	LEXINGTON	MA	02420	
84-1B-5	5 FIFER LN	LIU HENG	5 FIFER LN	LEXINGTON	MA	02420	
84-1B-50	23 DRUMMER BOY WAY	JANPATHOMPONG DALIN &	23 DRUMMER BOY WAY	LEXINGTON	MA	02420	USA
84-1B-51	24 DRUMMER BOY WAY	KARIM MOHAMMED ZAHIRUL & KARIM SURAIYA	24 DRUMMER BOY WAY	LEXINGTON	MA	02420	USA
84-1B-52	25 DRUMMER BOY WAY	POLLACK DAVID & JOAN ROBINSON TRUSTEES	25 DRUMMER BOY WAY	LEXINGTON	MA	02420	USA
84-1B-53	26 DRUMMER BOY WAY	AZERRAD JACOB L/E	26 DRUMMER BOY WAY	LEXINGTON	MA	02420	
84-1B-54	27 DRUMMER BOY WAY	CARLO CHERYL A	27 DRUMMER BOY WAY	LEXINGTON	MA	02420	
84-1B-55	28 DRUMMER BOY WAY	LAIRD WILLIAM &	28 DRUMMER BOY WAY	LEXINGTON	MA	02420	USA
84-1B-56	29 DRUMMER BOY WAY	GHAFOOR KHURRAM &	29 DRUMMER BOY WAY	LEXINGTON	MA	02420	USA
84-1B-57	30 DRUMMER BOY WAY	UJJINAMATADA ASHWINI R	30 DRUMMER BOY WAY	LEXINGTON	MA	02420	
84-1B-58	31 DRUMMER BOY WAY	TRIBEMAN PETER D & DOROTHY H TRUSTEES	31 DRUMMER BOY WAY	LEXINGTON	MA	02420	USA
84-1B-59	32 DRUMMER BOY WAY	DAD MISHA SHAHID	32 DRUMMER BOY WAY	LEXINGTON	MA	02420	USA
84-1B-6	6 FIFER LN	CATON SUZANNE B	6 FIFER LN	LEXINGTON	MA	02420	USA
84-1B-60	33 DRUMMER BOY WAY	WRIGHT EKATERINA O	33 DRUMMER BOY WAY	LEXINGTON	MA	02420	
84-1B-61	34 DRUMMER BOY WAY	TEDESCHI TR MAURO	34 DRUMMER BOY WAY	LEXINGTON	MA	02420	
84-1B-62	35 DRUMMER BOY WAY	PAZOUKI MARYAM	35 DRUMMER BOY WAY	LEXINGTON	MA	02420	
84-1B-63	36 DRUMMER BOY WAY	CHESSMAN TRS DANIEL & LINDA S	36 DRUMMER BOY WAY	LEXINGTON	MA	02420	
84-1B-64	37 DRUMMER BOY WAY	STEWART E J III TR, 37 DRUMMER BOY R TR	120 WATER ST 3RD FL	BOSTON	MA	02109	USA
84-1B-65	38 DRUMMER BOY WAY	THEODOSIU ANDREAS &	38 DRUMMER BOY WAY	LEXINGTON	MA	02420	USA
84-1B-66	39 DRUMMER BOY WAY	YU XIAODAN &	39 DRUMMER BOY WAY	LEXINGTON	MA	02420	USA
84-1B-67	40 DRUMMER BOY WAY	CHOI YUNG HOON	40 DRUMMERBOY WAY	LEXINGTON	MA	02420	
84-1B-68	41 DRUMMER BOY WAY	CHELLAPPA MAHIM ALBERT	41 DRUMMER BOY WAY	LEXINGTON	MA	02420	
84-1B-69	42 DRUMMER BOY WAY	MCWEENEY TR MARILYN N	42 DRUMMER BOY WAY	LEXINGTON	MA	02420	
84-1B-7	7 FIFER LN	KRISHNAN VIGNESH	7 FIFER LN	LEXINGTON	MA	02420	
84-1B-70	43 DRUMMER BOY WAY	SAULICH MICHAEL L/E & SAULICH MARK G	11 MITCHELL GRANT WAY	BEDFORD	MA	01730	USA
84-1B-71	29 FIFER LN	LIN STEVE L &	29 FIFER LN	LEXINGTON	MA	02420	USA
84-1B-72	30 FIFER LN	MIAO JIANHUA	30 FIFER LN	LEXINGTON	MA	02420	
84-1B-73	31 FIFER LN	PIQUET ELISABETH A	31 FIFER LN	LEXINGTON	MA	02420	USA
84-1B-74	32 FIFER LN	SHING LAU YUK	32 FIFER LN	LEXINGTON	MA	02420	
84-1B-75	33 FIFER LN	DESANTO JEANNE & DESANTO MICHAEL TRUSTEE	33 FIFER LN	LEXINGTON	MA	02420	USA
84-1B-76	34 FIFER LN	LULLA MUKESH	34 FIFER LN	LEXINGTON	MA	02420	
84-1B-77	35 FIFER LN	GILBERT RICHARD	35 FIFER LN	LEXINGTON	MA	02420	
84-1B-78	36 FIFER LN	STREITHORST JOHN MICHAEL & LETICIA	36 FIFER LN	LEXINGTON	MA	02420	USA
84-1B-79	37 FIFER LN	HARTRANFT GLENN	37 FIFER LN	LEXINGTON	MA	02420	USA
84-1B-8	8 FIFER LN	ZUNZ GAIL	8 FIFER LN	LEXINGTON	MA	02420	USA
84-1B-80	38 FIFER LN	GAONKAR NAYANA &	38 FIFER LN	LEXINGTON	MA	02420	USA
84-1B-81	39 FIFER LN	JOHAR HARINDER S	5 FAIRLEE LN	NORTON	MA	02766	
84-1B-82	40 FIFER LN	GUO FANGZHOU	40 FIFER LN	LEXINGTON	MA	02420	
84-1B-83	41 FIFER LN	RAMANATHAN SHYAMSUNDAR	41 FIFER LN	LEXINGTON	MA	02420	
84-1B-84	42 FIFER LN	ZANI, ALFRED E	42 FIFER LANE	LEXINGTON	MA	02420	
84-1B-85	43 FIFER LN	PETERS NANCY L &	43 FIFER LN	LEXINGTON	MA	02420	USA
84-1B-86	44 FIFER LN	MAKAR-LIMANOV MARIA	44 FIFER LN	LEXINGTON	MA	02420	
84-1B-87	45 FIFER LN	DING PENGFEI	45 FIFER LN	LEXINGTON	MA	02420	
84-1B-88	46 FIFER LN	CHEN LILING	46 FIFER LN	LEXINGTON	MA	02420	
84-1B-89	47 FIFER LN	ZHANG DONGSHENG &	47 FIFER LN	LEXINGTON	MA	02420	USA
84-1B-9	9 FIFER LN	MALLANA ANIL KUMAR &	9 FIFER LN	LEXINGTON	MA	02420	USA
84-1B-90	48 FIFER LN	KANTER DAVID G TRUSTEE	48 FIFER LN	LEXINGTON	MA	02420	USA

ID	Site Address	Owner Name	Owner Address	Owner City	Owner State	Owner Zip	Owner Country
84-1B-91	49 FIFER LN	49 FIFER LANE LLC	49 FIFER LN	LEXINGTON	MA	02420	
84-1B-92	50 FIFER LN	NELLIMARLA SRINIVAS & PADMAVATHI	50 FIFER LN	LEXINGTON	MA	02420	
84-1B-93	51 FIFER LN	GUPTA NILAKSH	51 FIFER LN	LEXINGTON	MA	02420	
84-1B-94	52 FIFER LN	RAJ ALEX &	52 FIFER LN	LEXINGTON	MA	02420	USA
84-1B-95	53 FIFER LN	DEL ANGEL GUILLERMO &	53 FIFER LN	LEXINGTON	MA	02420	USA
84-1B-96	54 FIFER LN	YOFFE ROBERT C TRUSTEE	54 FIFER LN	LEXINGTON	MA	02420	USA
84-1B-97	55 FIFER LN	BURIAN CHRISTOPHER J	55 FIFER LN	LEXINGTON	MA	02420	
84-1B-98	56 FIFER LN	JJ XINANN	56 FIFER LN	LEXINGTON	MA	02420	
84-1B-99	57 FIFER LN	WHARTON TR GEORGE C & MENICHELLA TR ADELE	99-50 FLORENCE ST APT 2D	CHESTNUT HILL	MA	02467	USA
84-1C	459 BEDFORD ST	COMMONWEALTH OF MASSACHUSETTS ARMORY	459 BEDFORD ST	LEXINGTON	MA	02420	USA
84-20	IVAN ST	TOWN OF LEXINGTON	1625 MASSACHUSETTS AVE	LEXINGTON	MA	02420	USA
84-24	18 ELDRED ST	WANG TONG	18 ELDRED ST	LEXINGTON	MA	02420	
84-25	20 ELDRED ST	GE YING	20 ELDRED ST	LEXINGTON	MA	02420	
84-26	JUSTIN ST	JOSEPH TR JEAN M	32 ELDRED ST	LEXINGTON	MA	02420	
84-3	451 BEDFORD ST	KHAN SHERAZ	451 BEDFORD ST	LEXINGTON	MA	02420	USA
84-41G	450 BEDFORD ST	BEDFORD STREET LIMITED PARTNERSHIP	116 FLANDERS RD SUITE 2000	WESTBOROUGH	MA	01581	USA
84-55A	BEDFORD ST	TOWN OF LEXINGTON	1625 MASSACHUSETTS AVE	LEXINGTON	MA	02420	USA
84-56	BEDFORD ST	TOWN OF LEXINGTON	1625 MASS AVE	LEXINGTON	MA	02420	USA
84-57	BEDFORD ST	BOSTON EDISON COMPANY	PO BOX 270	HARTFORD	CT	06141	USA
84-58	BEDFORD ST	BOSTON EDISON COMPANY	PO BOX 270	HARTFORD	CT	06141	USA
84-60A	GARWOOD AVE	BOSTON EDISON COMPANY	PO BOC 270	HARTFORD	CT	06141	USA
84-66	GARWOOD AVE	BOSTON EDISON COMPANY	PO BOX 270	HARTFORD	CT	06141	USA
84-67	BEDFORD ST	BOSTON EDISON COMPANY	PO BOX 270	HARTFORD	CT	06141	USA
84-68	BEDFORD ST	TOWN OF LEXINGTON	1625 MASS AVE	LEXINGTON	MA	02420	USA
84-69	476 BEDFORD ST	LBVH PROPERTY LLC	1325 FRY BRANCH RD	LYNNVILLE	TN	38472	
84-70A	482 BEDFORD ST	TRUST FOR THE BENEFIT OF THE BETH ISRAEL	482 BEDFORD STREET	LEXINGTON	MA	02420	USA
87-63	HADLEY RD	TOWN OF LEXINGTON	HADLEY RD	LEXINGTON	MA	02420	USA
88-73C	507 BEDFORD ST	WASSAN ANMOL &	507 BEDFORD ST	LEXINGTON	MA	02420	USA

**Fieldside at Lexington
Subdivision**

475 Bedford Street
Lexington, Massachusetts

No.	Revision	Date	Appr.

Designed by: PTM Checked by: KSS

Issued for: Preliminary Residential Subdivision Date: Feb 11, 2025

Not Approved for Construction
Drawing Title: Abutters Plan



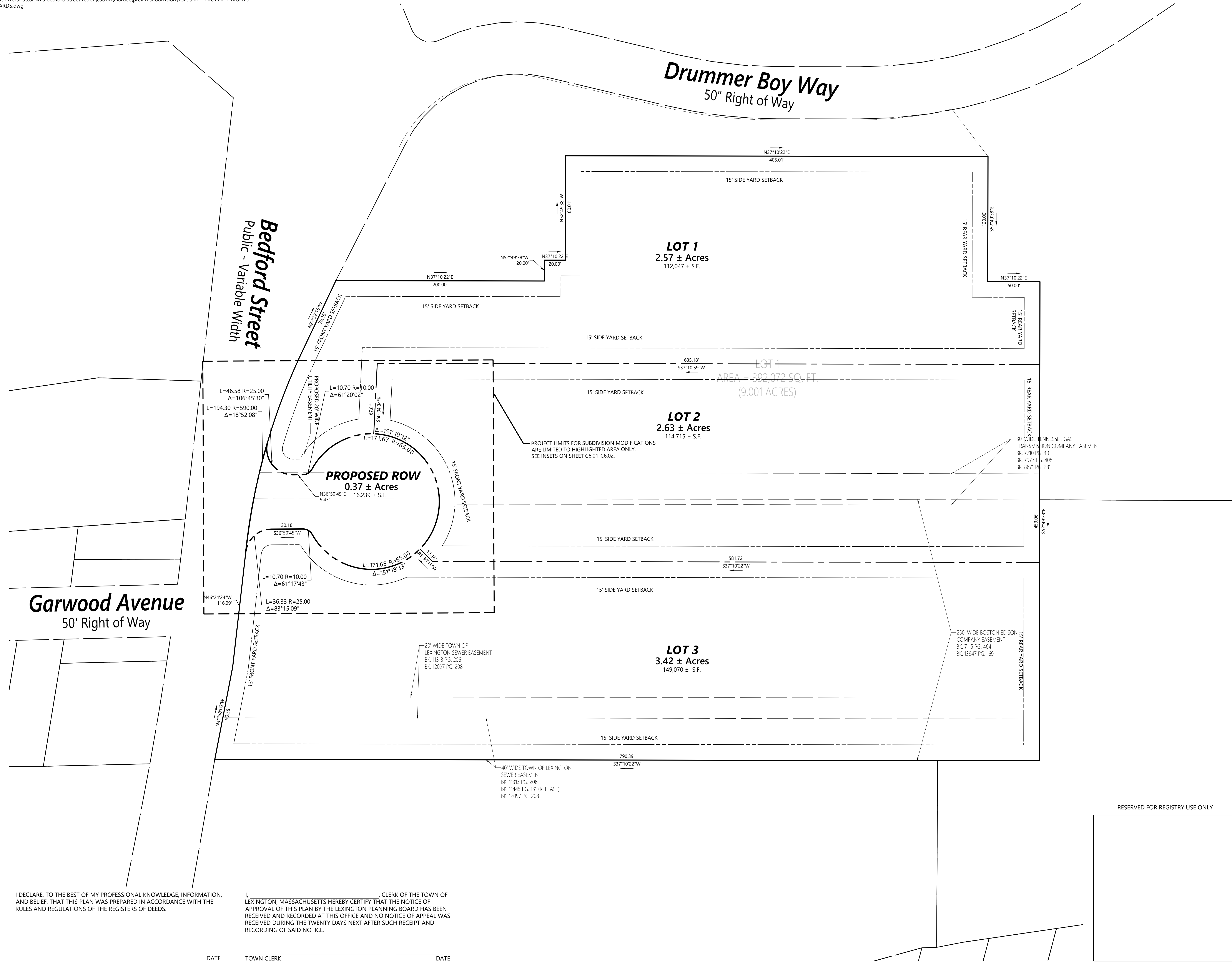
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Sheet 5 of 11

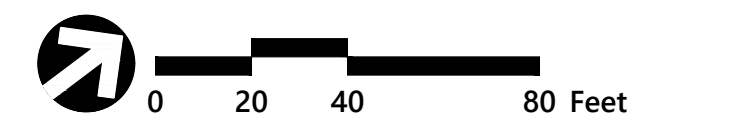
Project Number: 15233.02
Date: 02-11-2025

Owner
Cresset Lexington, LLC
120 Water Street, Suite 200
Boston, MA 02109

Applicant
Pulte Homes of New England
1900 West Park Drive, Suite 180
Westborough, MA 01581



APPROVED BY:
LEXINGTON PLANNING BOARD



Fieldside at Lexington Subdivision
475 Bedford Street
Lexington, Massachusetts

No.	Revision	Date	App'd.


Designed by: PTM
Checked by: KSS

Issued for: Preliminary Residential Subdivision
Date: Feb 11, 2025

Not Approved for Construction

Property Rights and Dimensional Standards

RESERVED FOR REGISTRY USE ONLY



C4.00

Sheet 6 of 11

Project Number: 15233.02

Date: 02-11-2025

I DECLARE, TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THAT THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

_____, CLERK OF THE TOWN OF LEXINGTON, MASSACHUSETTS HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE LEXINGTON PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

DATE _____ TOWN CLERK _____ DATE _____

Notes

General

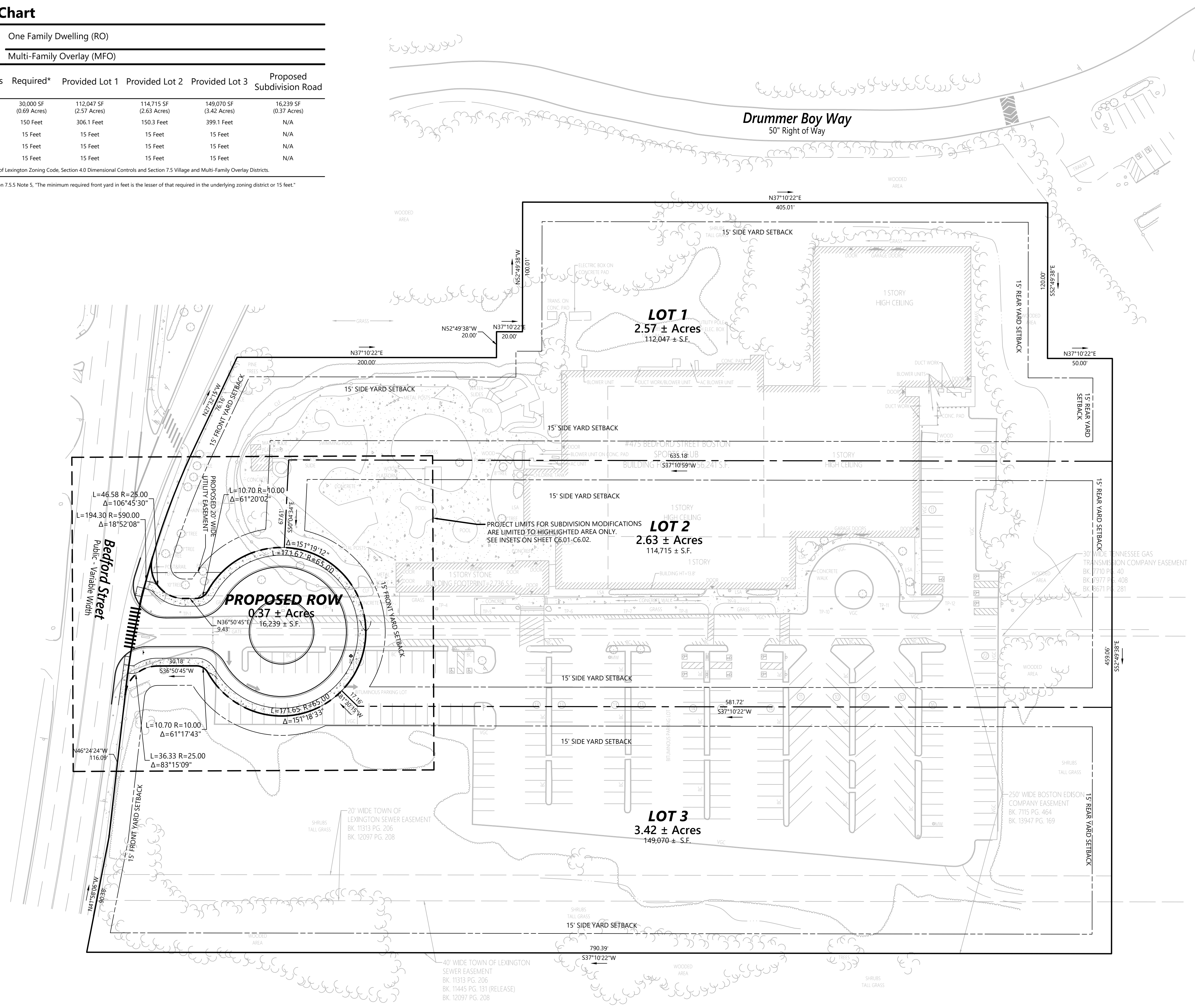
- HORIZONTAL DATUM IS BASED ON MASS. GRID SYSTEM, NAD 1983. ELEVATIONS SHOWN ON THIS PLAN REFER TO NAVD OF 1988.

Zoning Summary Chart

Zoning District(S):	One Family Dwelling (RO)				
Overlay District(S):	Multi-Family Overlay (MFO)				
Zoning Regulation Requirements	Required*	Provided Lot 1	Provided Lot 2	Provided Lot 3	Proposed Subdivision Road
MINIMUM LOT AREA	30,000 SF (0.69 Acres)	112,047 SF (2.57 Acres)	114,715 SF (2.63 Acres)	149,070 SF (3.42 Acres)	16,239 SF (0.37 Acres)
FRONTAGE	150 Feet	306.1 Feet	150.3 Feet	399.1 Feet	N/A
FRONT YARD SETBACK ¹	15 Feet	15 Feet	15 Feet	15 Feet	N/A
SIDE YARD SETBACK	15 Feet	15 Feet	15 Feet	15 Feet	N/A
REAR YARD SETBACK	15 Feet	15 Feet	15 Feet	15 Feet	N/A

* Zoning regulation requirements as specified in Town of Lexington Zoning Code, Section 4.0 Dimensional Controls and Section 7.5 Village and Multi-Family Overlay Districts.

¹ As specified in Town of Lexington Zoning Code, Section 7.5.5 Note 5. "The minimum required front yard in feet is the lesser of that required in the underlying zoning district or 15 feet."



260 Arsenal Place #2
Watertown, MA 02472
617.924.1770

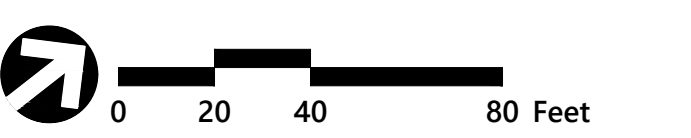
Owner

Cresset Lexington, LLC
120 Water Street, Suite 200
Boston, MA 02109

Applicant

Pulte Homes of New England
1900 West Park Drive, Suite 180
Westborough, MA 01581

APPROVED BY:
LEXINGTON PLANNING BOARD



Fieldside at Lexington Subdivision
475 Bedford Street
Lexington, Massachusetts

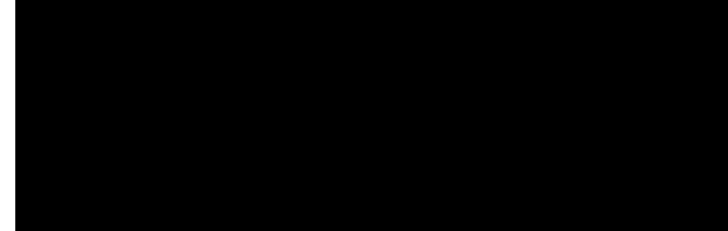
No.	Revision	Date	Appr.

Designed by: PTM
Checked by: KSS

Issued for: Preliminary Residential Subdivision
Date: Feb 11, 2025

Not Approved for Construction

Key Plan



Professional Engineer Seal for Dale A. Horsman, II, No. 51903, State of Massachusetts.

Sheet 7 of 11

Project Number: 15233.02

Date: 02-11-2025


BENCHMARK
BOLT OVER MAIN OUTLET
ELEVATION=125.00'

Notes

General

- HORIZONTAL DATUM IS BASED ON MASS. GRID SYSTEM, NAD 1983. ELEVATIONS SHOWN ON THIS PLAN REFER TO NAVD OF 1988.

Sign Summary

M.U.T.C.D. Number	Specification Width	Specification Height	Desc.
W14-1	30"	30"	

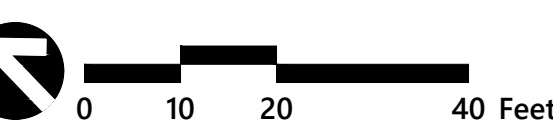
Owner

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Fieldside at Lexington Subdivision

475 Bedford Street
Lexington, Massachusetts

No. Revision Date Appr.

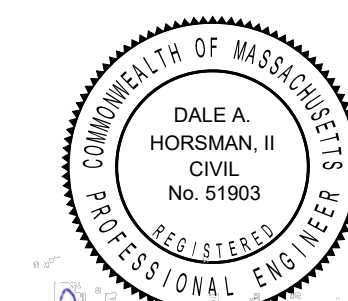
Designed by PTM Checked by KSS

Issued for Preliminary Residential Subdivision Date Feb 11, 2025

Not Approved for Construction

Lotting Plan and Layout and Materials Plan

Drawing Number

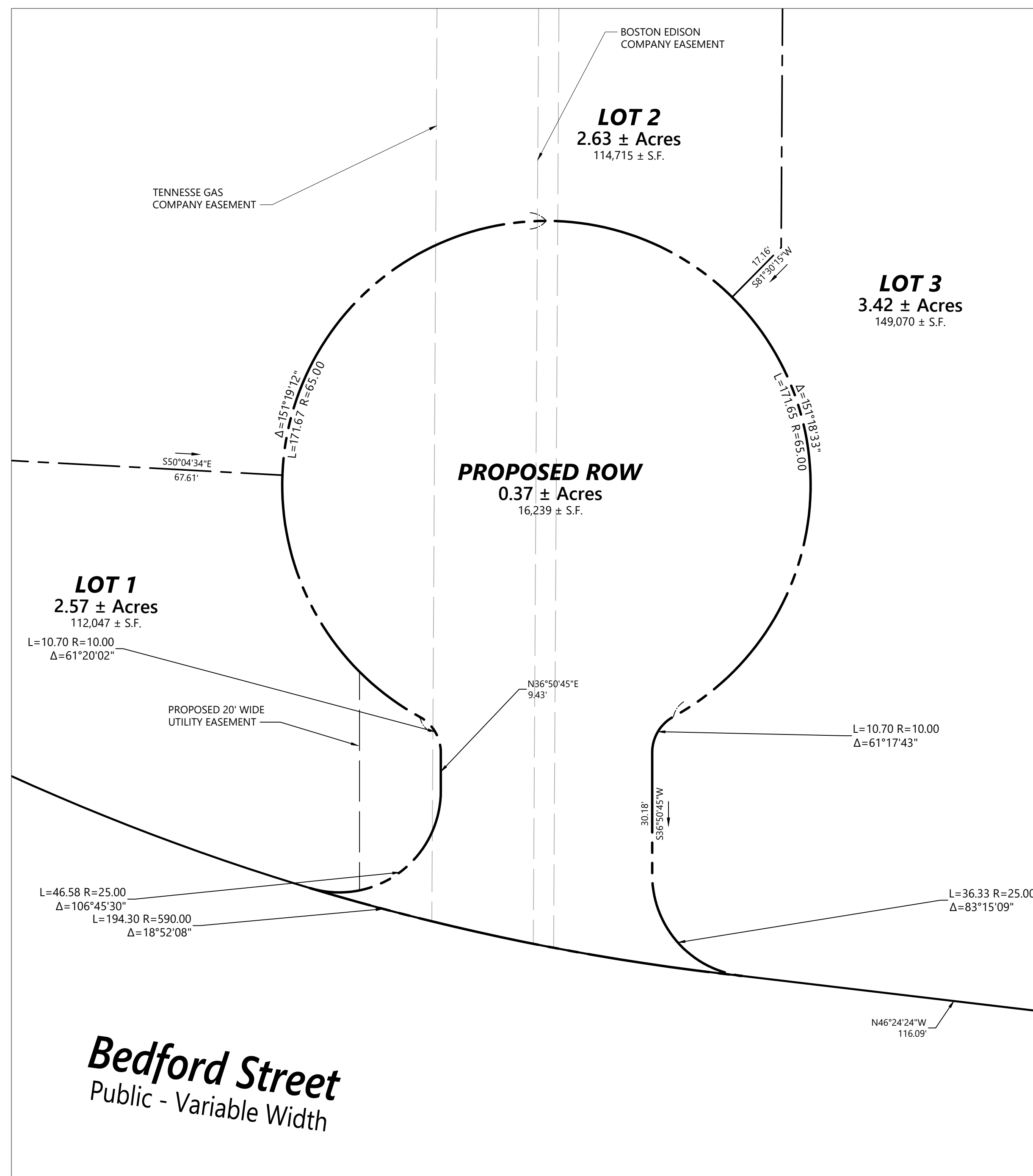


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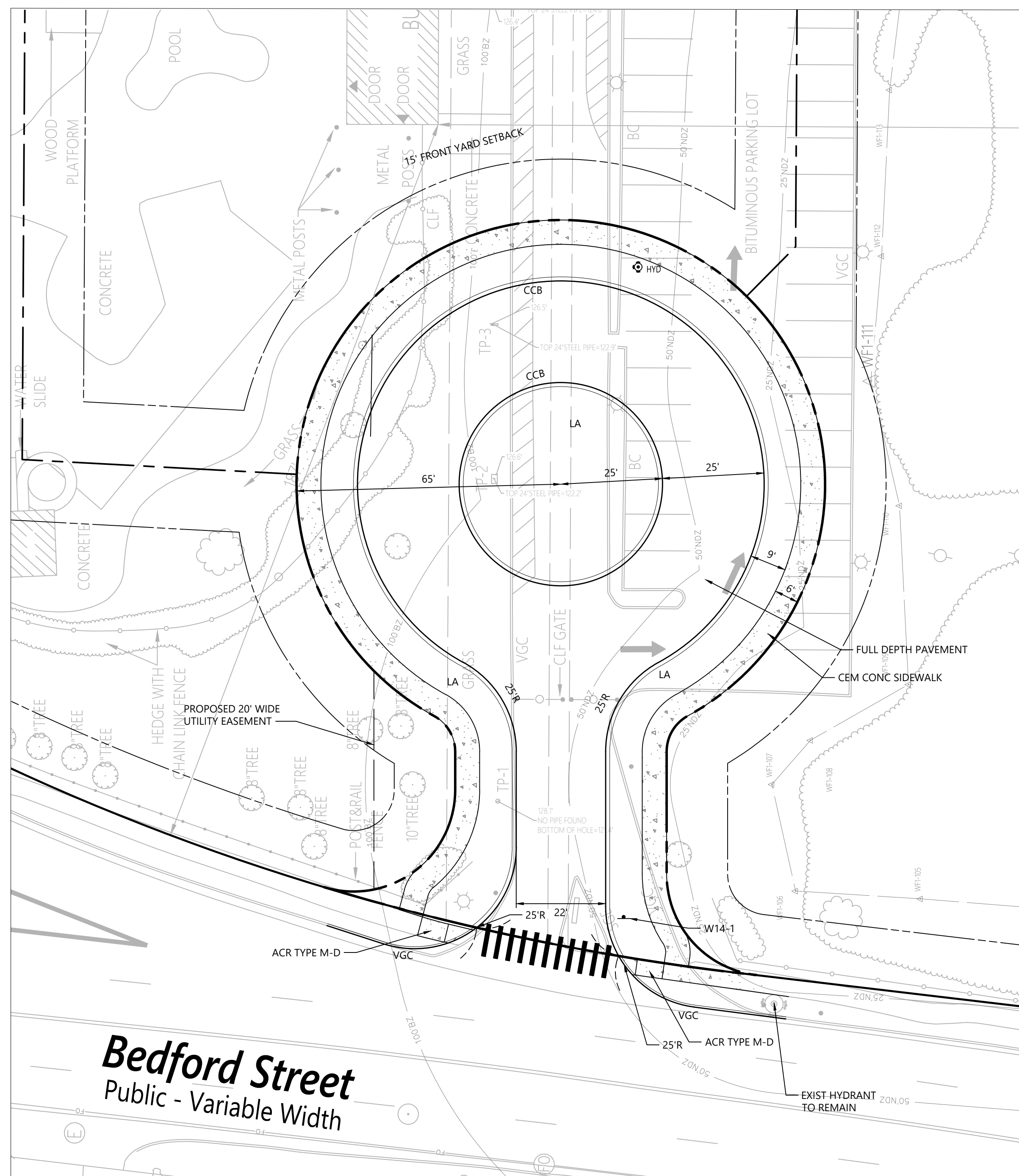
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Project Number 15233.02

02-11-2025



LOTING PLAN



LAYOUT AND MATERIALS

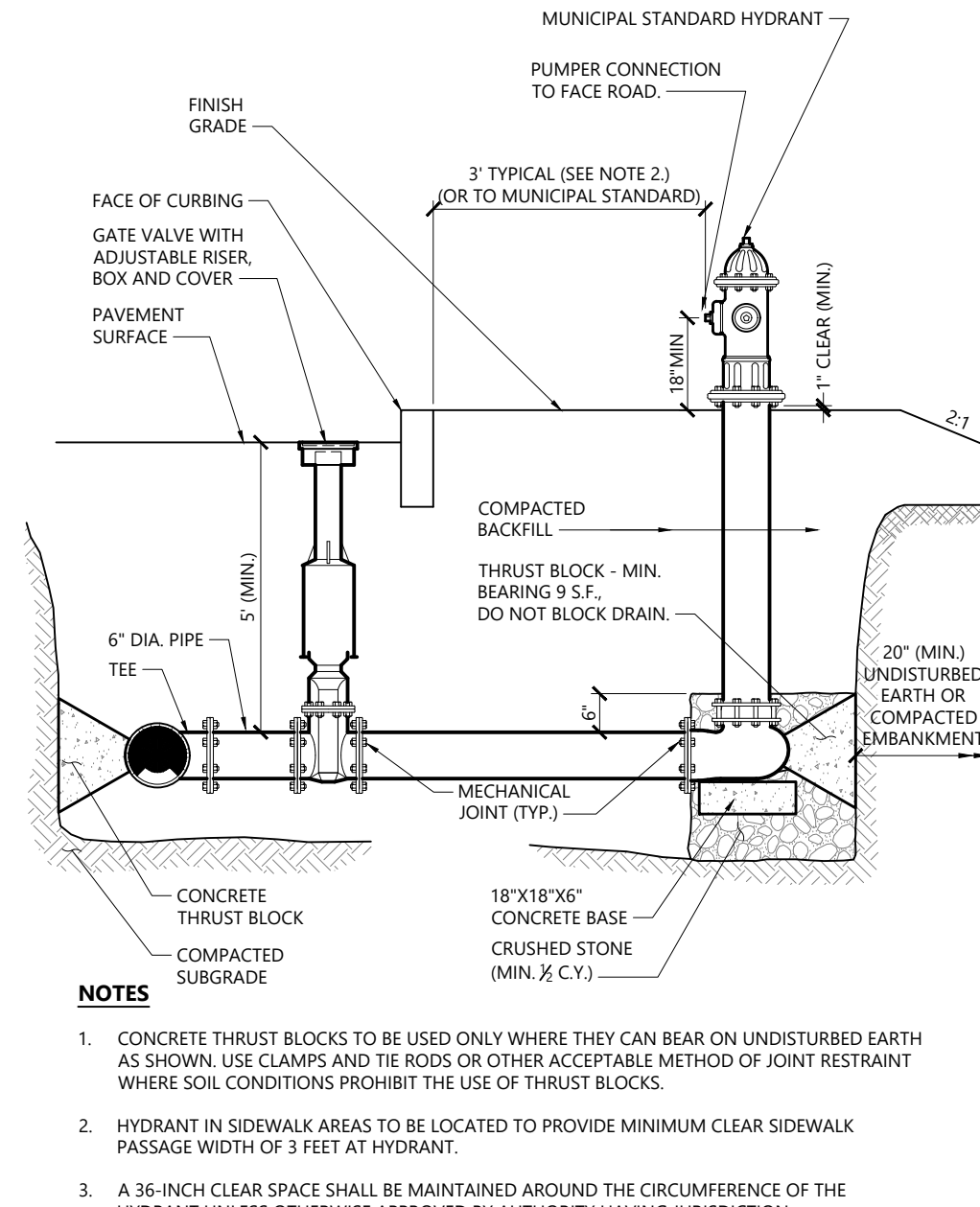
Owner

Cresset Lexington, LLC
120 Water Street, Suite 200
Boston, MA 02109

Applicant

Pulte Homes of New England
1900 West Park Drive, Suite 150
Westborough, MA 01581

APPROVED BY:
LEXINGTON PLANNING BOARD



Hydrant Construction 12/19
N.T.S. Source: VHB LD_250

TABLE OF DIMENSIONS

BENDS	B	C	D	E	F	BENDS	B	C	D	E	F
6" 11 1/2"	8"	15"	12"	24"	12"	6" 45"	8"	30"	12"	24"	14"
6" 22 1/2"	-	19"	-	13"	6" 90"	-	30"	-	-	-	27"
8" 11 1/2"	-	20"	-	12"	8" 45"	-	30"	-	-	-	24"
8" 22 1/2"	-	22"	-	17"	8" 90"	-	38"	-	-	-	36"
12" 11 1/2"	-	30"	-	15"	12" 45"	-	40"	-	-	-	40"
12" 22 1/2"	-	35"	-	25"	12" 90"	-	60"	-	-	-	52"

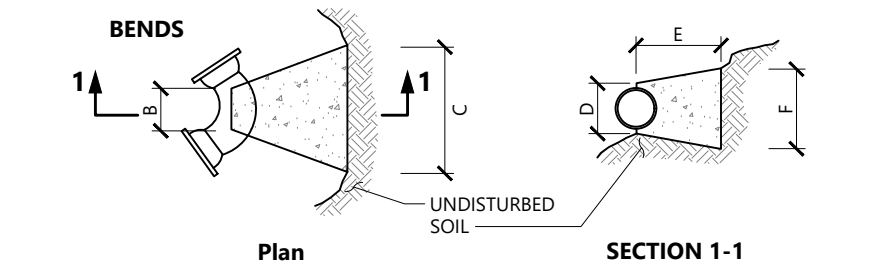
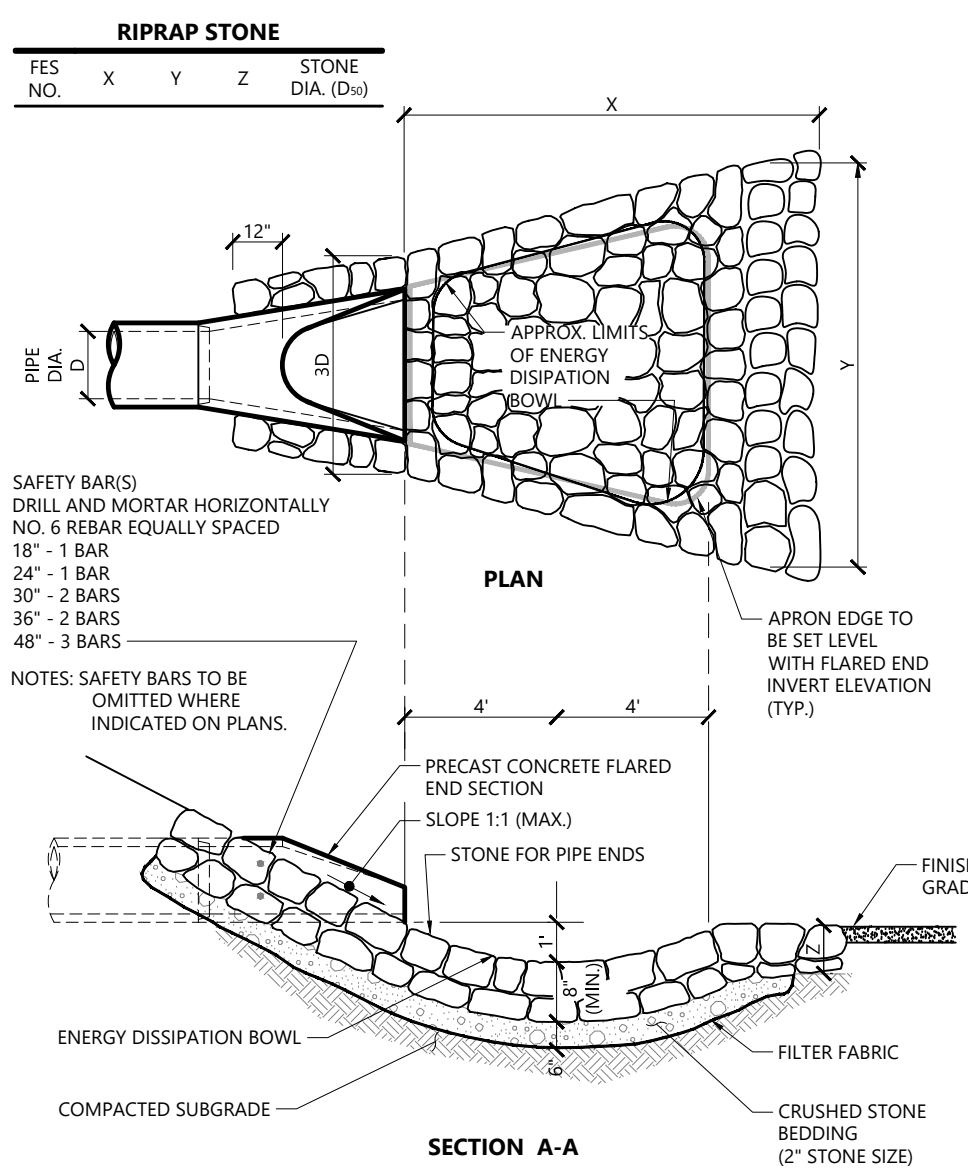


TABLE OF DIMENSIONS

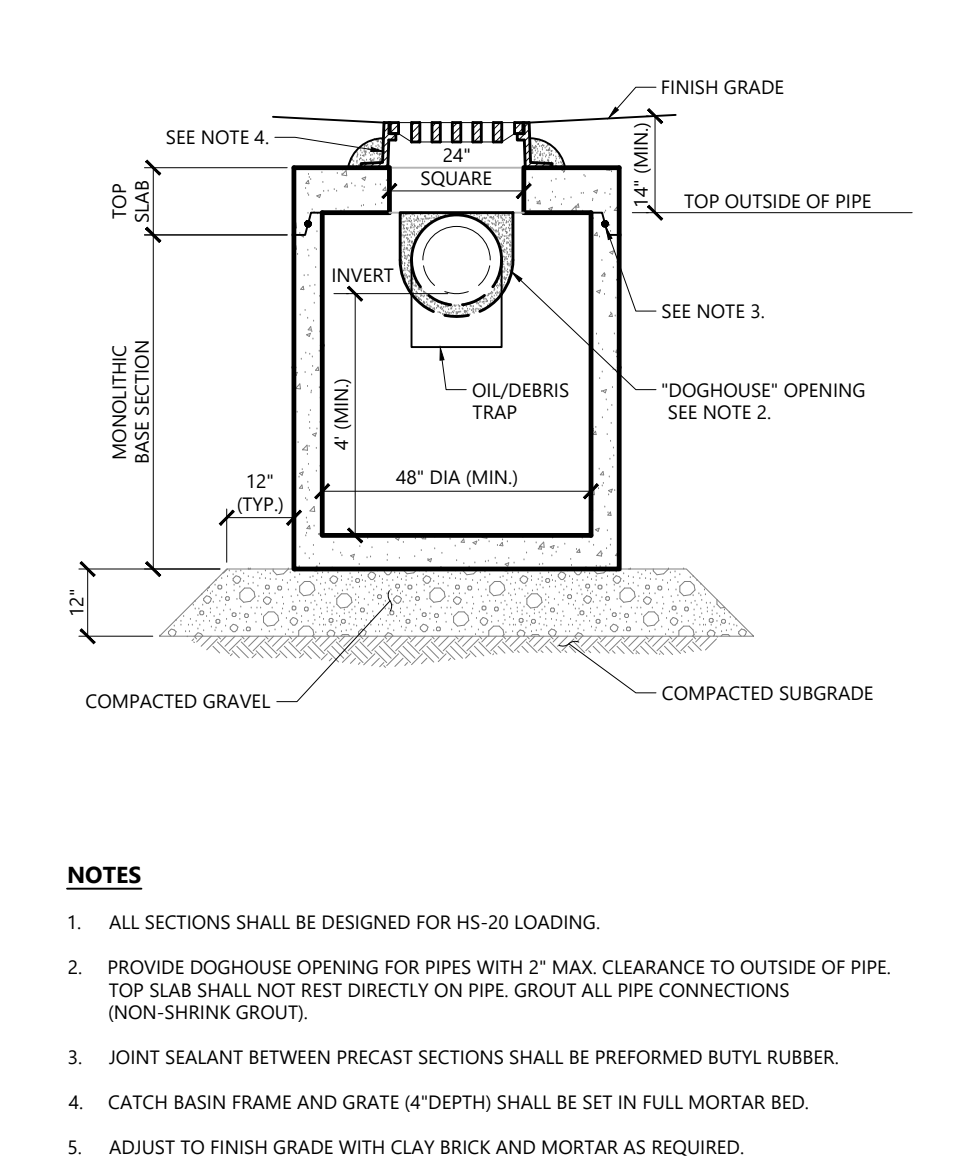
TEES	G	H	I	J	TEES	G	H	I	J
6"X6"X6"	12"	24"	24"	18"	12"X12"X6"	12"	24"	24"	18"
8"X8"X6"	-	-	-	-	12"X12"X8"	-	-	-	24"
8"X8"X8"	-	-	-	24"	12"X12"X12"	-	-	36"	36"

- NOTES**
1. PROVIDE BLOCKS FOR TAPPING SLEEVES, DEAD ENDS, GATE VALVES, AND VERTICAL BENDS (SAME SIZE AS REQUIRED FOR TEES). PROVIDE ANCHOR RODS AT VERTICAL BENDS AND GATE VALVES.
 2. CONCRETE SHALL NOT BE PLACED AGAINST PIPE BEYOND FITTING.
 3. CONCRETE SHALL BE 3,000 PSI-TYPE I.

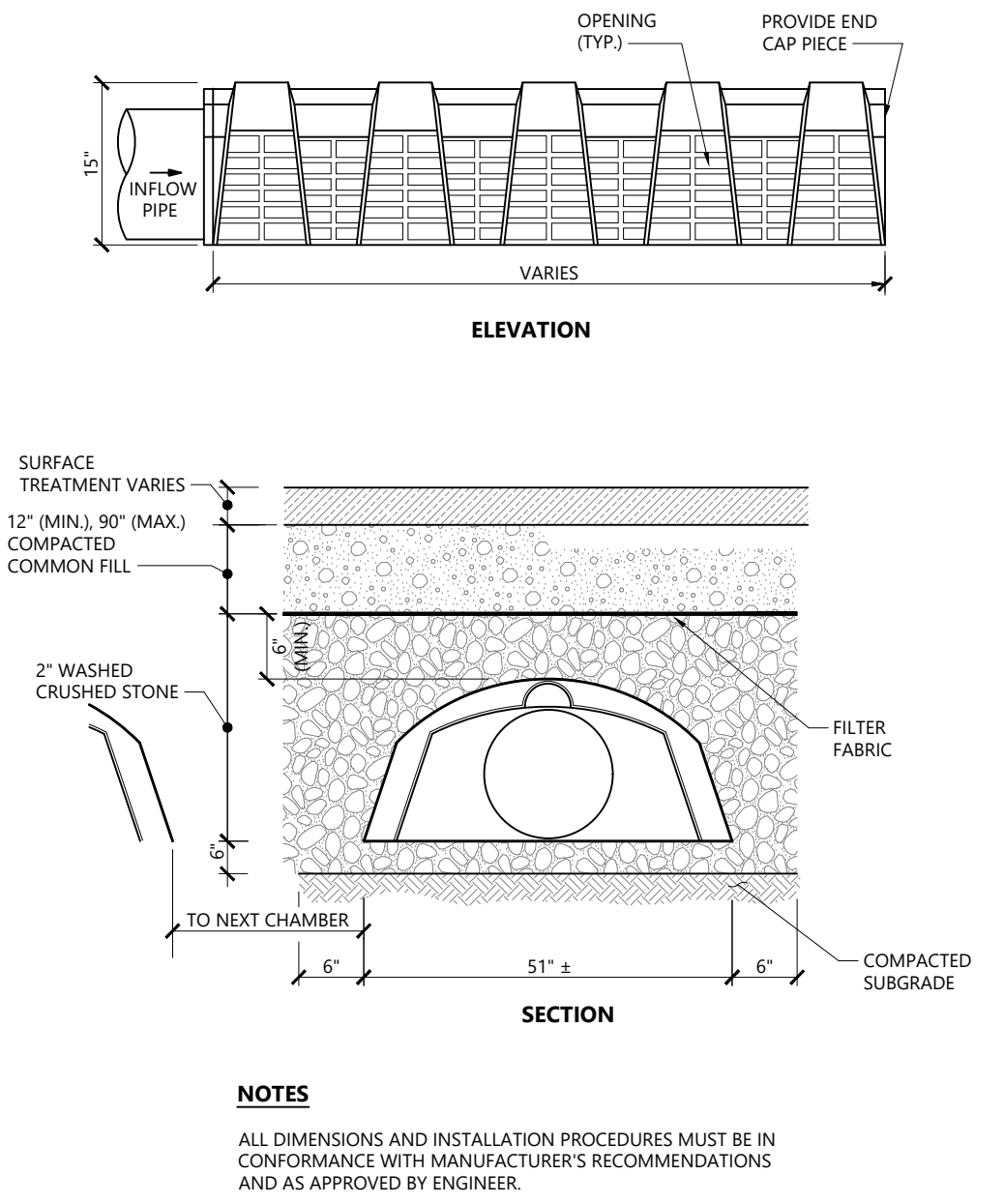
Concrete Thrust Block 3/16
N.T.S. Source: VHB LD_260



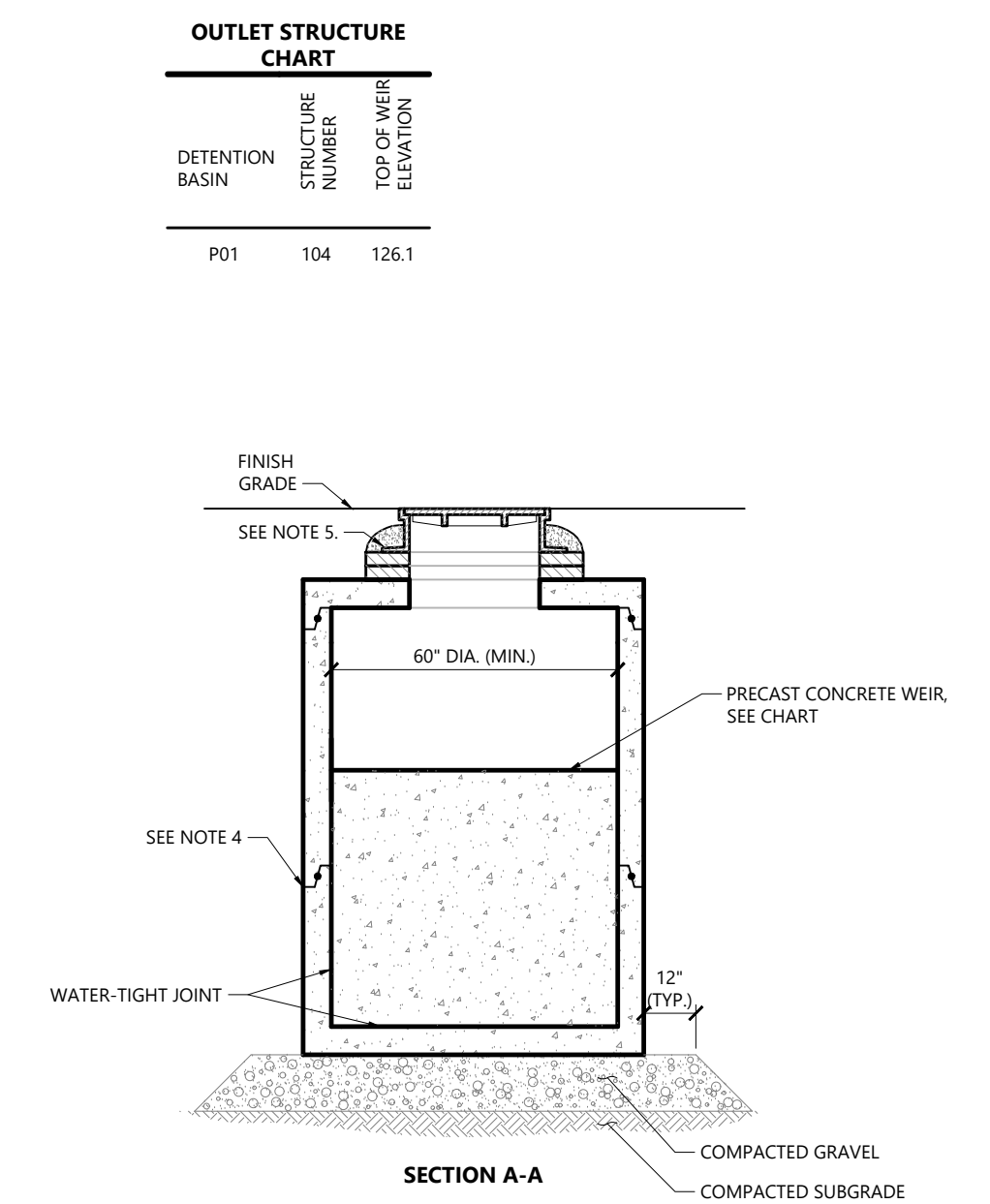
Flared End Section (FES) with Stone Protection 3/19
N.T.S. Source: VHB LD_134



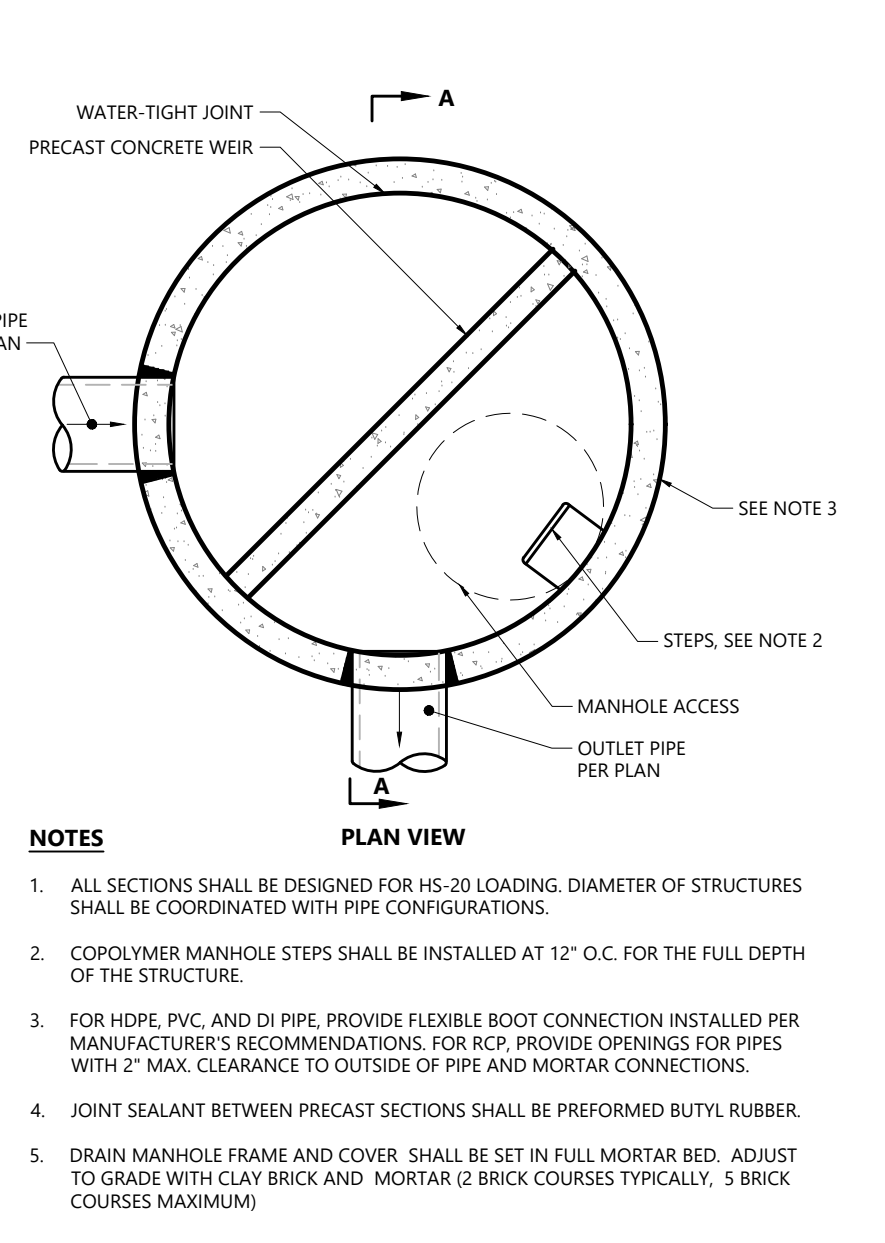
Catch Basin (CB) Shallow Cover with Oil/Debris Trap 1/16
N.T.S. Source: VHB LD_105



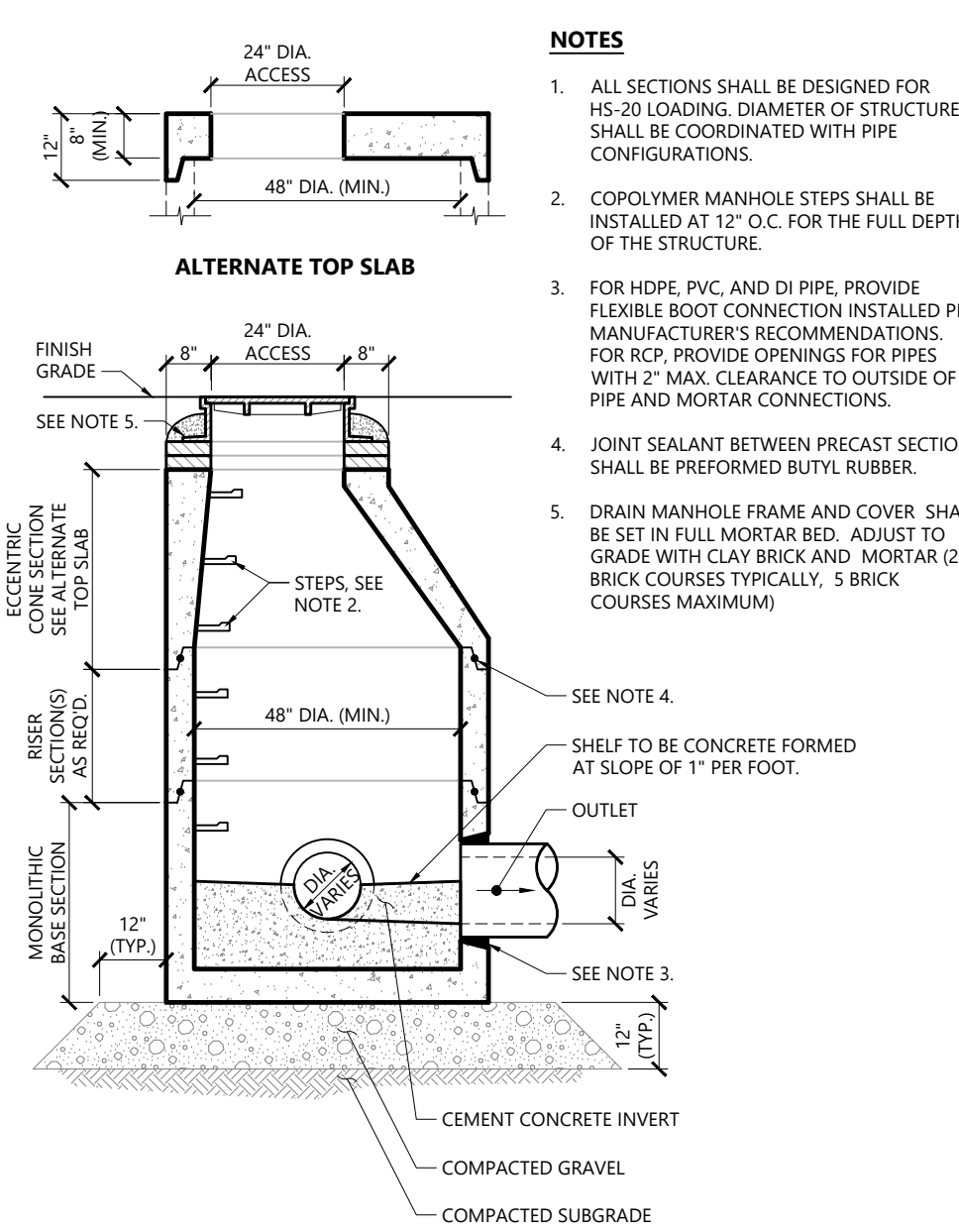
Recharge Chamber 1/16
N.T.S. Source: VHB LD_182



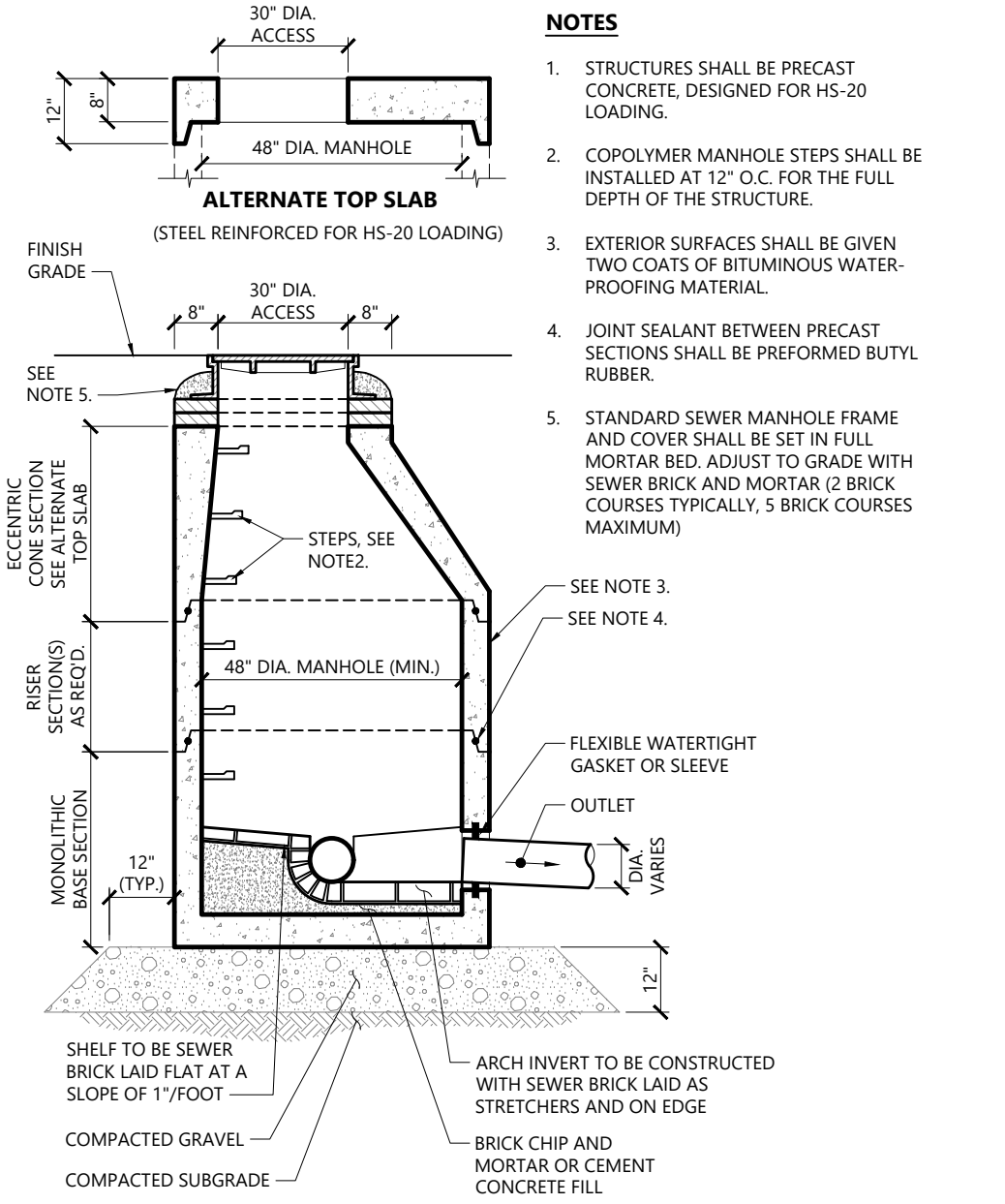
Outlet Control Structure with Weir (OCS) 3/20
N.T.S. Source: VHB REV LD_162A



Drain Manhole (DMH) 11/19
N.T.S. Source: VHB LD_115



Sanitary Sewer Manhole (SMH) 1/16
N.T.S. Source: VHB LD_200



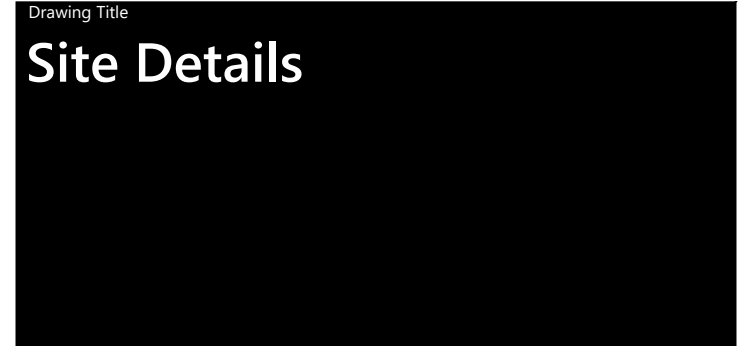
Utility Trench 1/19
N.T.S. Source: VHB LD_300

Fieldside at Lexington Subdivision
475 Bedford Street
Lexington, Massachusetts

No.	Revision	Date	Appr.

Designed by: PTM Checked by: KSS
Issued for: Preliminary Residential Subdivision Date: Feb 11, 2025

Not Approved for Construction
Drawing Title: Site Details



AGENDA ITEM SUMMARY

LEXINGTON PLANNING BOARD

AGENDA ITEM TITLE:

242 Bedford Street - Preliminary Subdivision

PRESENTER:

Applicant: 240 Bedford LLC

ITEM NUMBER:

SUMMARY:

The Planning Board will hold a virtual public meeting on the application of 240 Bedford LLC, for approval of a preliminary subdivision plan under §175-5.0 of the Planning Board's Subdivision Regulations. Application proposes subdividing property into four (4) lots on a right-of-way.

The property is located at 242 Bedford Street, Lexington, MA also known as Map 71, Lot 61A in the RS (One Family Dwelling), CS (Service Business) and VO (Village Overlay) zoning districts.

Application materials may be viewed at <https://lexingtonma.portal.opengov.com/records/101461>.

Staff recommends approval with suggested conditions for items to be incorporated into the Definitive Subdivision submission.

SUGGESTED MOTION:

Move to approve the preliminary subdivision application for 242 Bedford Street with the conditions in the draft decision as recommendations to be included in the Definitive Subdivision application.

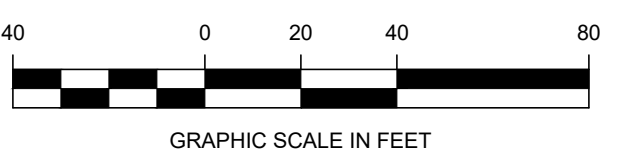
FOLLOW-UP:

DATE AND APPROXIMATE TIME ON AGENDA:

3/27/2025

ATTACHMENTS:

Description	Type
☐ 242 Bedford St Preliminary Subdivision Plan Set	Cover Memo



NOTES:

1. THIS PLAN IS BASED ON A PARTIAL SURVEY PERFORMED ON THE GROUND BY KEENAN SURVEY, LEXINGTON GIS AND RECORD PLANS.
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5. THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST.

TABLE OF DIMENSIONAL REQUIREMENTS

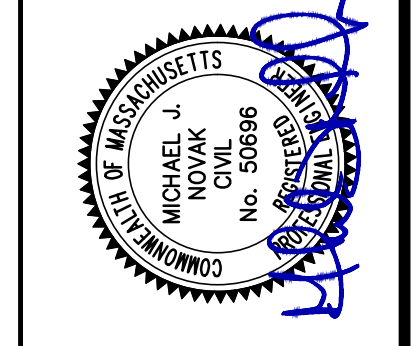
ITEM	REQUIREMENT	
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MIN REAR YARD	15'	15'
MIN REAR YARD (ADJACENT TO RESIDENTIAL)	30'	DOES NOT APPLY

ALL UNDERGROUND UTILITY DATA REPRESENTS RECORD INFORMATION RECOVERED THROUGH RESEARCH WITHOUT SURFACE DEMARCATION NOR SUBSURFACE VERIFICATION.

NOT FOR CONSTRUCTION

238-244 BEDFORD ST
LEXINGTON, MA
DRAWN BY: MVC
CHECKED BY: MIN
DATE: 2-12-2025

REVISIONS	DESCRIPTION
DATE	BY
2-19-2025	
	NO REVISIONS TO THIS SHEET

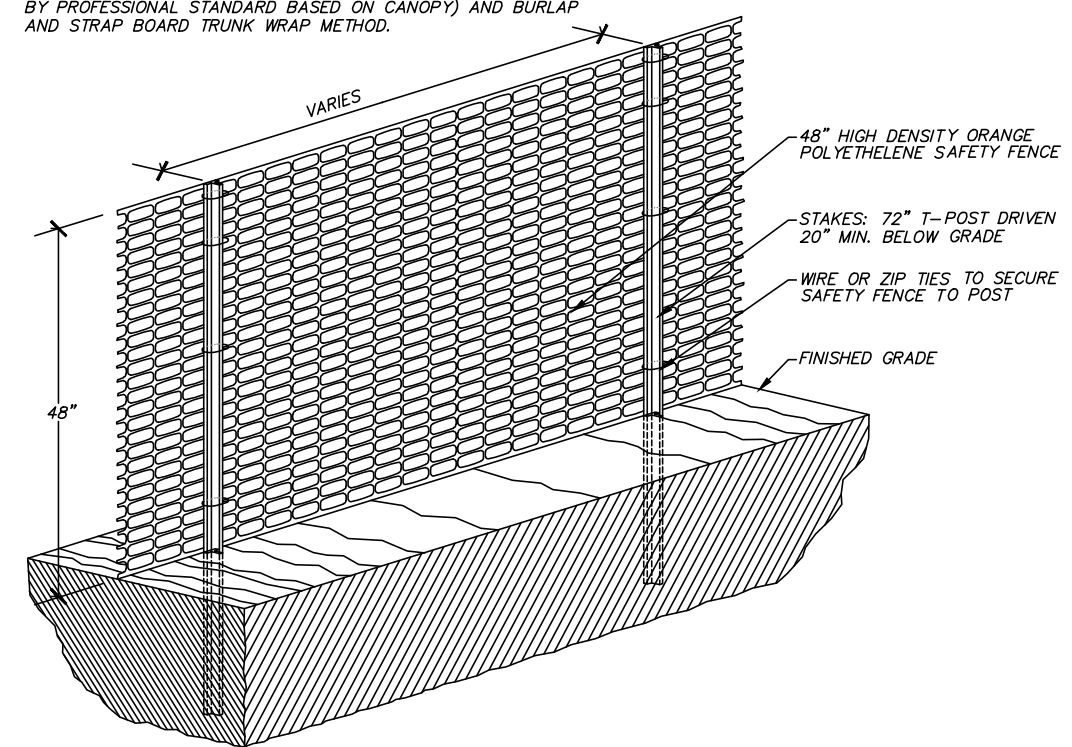


PATRIOT Engineering
 PO BOX 362
 LEXINGTON, MASSACHUSETTS 02420
 T: (978) 726-2654
 www.patriot-eng.com

EXISTING CONDITIONS PLAN
 LOCATED IN
 LEXINGTON, MA
 (MIDDLESEX COUNTY)
 PREPARED FOR
 SEAN MALONEY, TRUSTEE

SHEET
C-1

NOTE:
 1. EXISTING TREES TO BE SAVED SHALL BE PROTECTED WITH ORANGE CONSTRUCTION FENCE (OFF-SET FROM THE TREE TRUNK BY PROFESSIONAL STANDARD BASED ON CANOPY) AND BURLAP AND STRAP BOARD TRUNK WRAP METHOD.



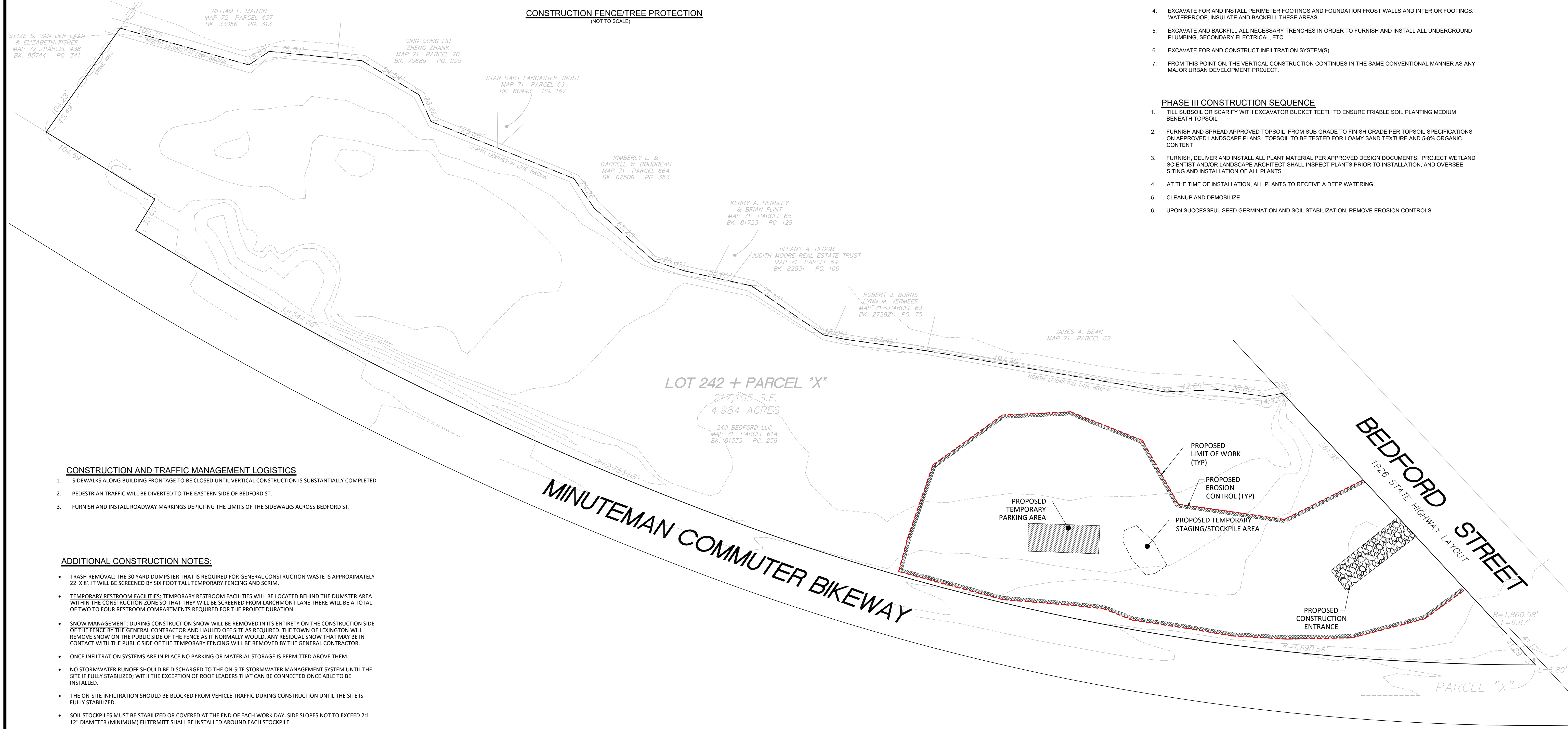
CONSTRUCTION FENCE/TREE PROTECTION
 (NOT TO SCALE)

LEGEND	DESCRIPTION
	PROPOSED LIMIT OF WORK LINE
	PROPOSED FILTERMITT
	PROPOSED TEMPORARY CONSTRUCTION ENTRANCE
	PROPOSED TEMPORARY CONSTRUCTION PARKING
	PROPOSED TEMPORARY CONSTRUCTION FENCING

- PHASE I CONSTRUCTION SEQUENCE**
1. INSTALL ALL EROSIONS CONTROL MEASURES AS REQUIRED.
 2. MEET WITH LEXINGTON PLANNING STAFF, SITE CONTRACTOR, AND EROSION CONTROL MONITOR AT PRE-CONSTRUCTION MEETING TO REVIEW EROSION CONTROL MEASURES AND SITE PLAN REVIEW CONDITIONS.
 3. INSTALL TEMPORARY, HIGH VISIBILITY, ORANGE CONSTRUCTION FENCING AROUND ENTIRE PROPERTY TO DELINEATE WORK AREA. TEMPORARY CONSTRUCTION FENCING WILL BE INSTALLED BEHIND EROSION CONTROL MEASURES TO ENSURE ADEQUATE ACCESS TO THE EROSION CONTROLS FOR INSPECTION, MAINTENANCE, AND REPAIR AS NEEDED FOR THE DURATION OF CONSTRUCTION.
 4. REMOVE AND DISPOSE OF ALL TRASH AND DEBRIS FROM SITE.
 5. REMOVE ALL SPECIFIED TREES AND STUMPS.
 6. TEST REMAINING SOIL FOR CONTAMINANTS AND PLANTING SUITABILITY.
 7. DRESS THE TEMPORARY STAGING AND PARKING AREAS ON SITE WITH CRUSHED STONE.

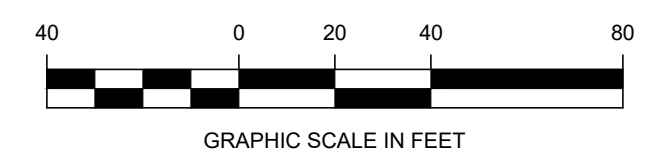
- PHASE II CONSTRUCTION SEQUENCE**
1. EXCAVATE BASEMENT AREAS TO BOTTOM OF FOOTING. STOCKPILE MATERIAL FOR BACKFILL AND HAUL REMAINDER OF MATERIAL OFF SITE.
 2. FURNISH AND INSTALL BASEMENT FOOTINGS AND FOUNDATION WALLS.
 3. WATERPROOF, INSULATE AND BACKFILL BASEMENT FOOTINGS AND FOUNDATION WALLS.
 4. EXCAVATE FOR AND INSTALL PERIMETER FOOTINGS AND FOUNDATION FROST WALLS AND INTERIOR FOOTINGS. WATERPROOF, INSULATE AND BACKFILL THESE AREAS.
 5. EXCAVATE AND BACKFILL ALL NECESSARY TRENCHES IN ORDER TO FURNISH AND INSTALL ALL UNDERGROUND PLUMBING, SECONDARY ELECTRICAL, ETC.
 6. EXCAVATE FOR AND CONSTRUCT INFILTRATION SYSTEM(S).
 7. FROM THIS POINT ON, THE VERTICAL CONSTRUCTION CONTINUES IN THE SAME CONVENTIONAL MANNER AS ANY MAJOR URBAN DEVELOPMENT PROJECT.

- PHASE III CONSTRUCTION SEQUENCE**
1. TILL SUBSOIL OR SCARIFY WITH EXCAVATOR BUCKET TEETH TO ENSURE FRIABLE SOIL PLANTING MEDIUM BENEATH TOPSOIL.
 2. FURNISH AND SPREAD APPROVED TOPSOIL FROM SUB GRADE TO FINISH GRADE PER TOPSOIL SPECIFICATIONS ON APPROVED LANDSCAPE PLANS. TOPSOIL TO BE TESTED FOR LOAMY SAND TEXTURE AND 5-8% ORGANIC CONTENT.
 3. FURNISH, DELIVER AND INSTALL ALL PLANT MATERIAL PER APPROVED DESIGN DOCUMENTS. PROJECT WETLAND SCIENTIST AND/OR LANDSCAPE ARCHITECT SHALL INSPECT PLANTS PRIOR TO INSTALLATION, AND OVERSEE SITING AND INSTALLATION OF ALL PLANTS.
 4. AT THE TIME OF INSTALLATION, ALL PLANTS TO RECEIVE A DEEP WATERING.
 5. CLEANUP AND DEMOBILIZE.
 6. UPON SUCCESSFUL SEED GERMINATION AND SOIL STABILIZATION, REMOVE EROSION CONTROLS.



- CONSTRUCTION AND TRAFFIC MANAGEMENT LOGISTICS**
1. SIDEWALKS ALONG BUILDING FRONTAGE TO BE CLOSED UNTIL VERTICAL CONSTRUCTION IS SUBSTANTIALLY COMPLETED.
 2. PEDESTRIAN TRAFFIC WILL BE DIVERTED TO THE EASTERN SIDE OF BEDFORD ST.
 3. FURNISH AND INSTALL ROADWAY MARKINGS DEPICTING THE LIMITS OF THE SIDEWALKS ACROSS BEDFORD ST.

- ADDITIONAL CONSTRUCTION NOTES:**
- TRASH REMOVAL: THE 30 YARD DUMPSTER THAT IS REQUIRED FOR GENERAL CONSTRUCTION WASTE IS APPROXIMATELY 22' X 8'. IT WILL BE SCREENED BY SIX FOOT TALL TEMPORARY FENCING AND SCRIM.
 - TEMPORARY RESTROOM FACILITIES: TEMPORARY RESTROOM FACILITIES WILL BE LOCATED BEHIND THE DUMSTER AREA WITHIN THE CONSTRUCTION ZONE SO THAT THEY WILL BE SCREENED FROM LARCHMONT LANE THERE WILL BE A TOTAL OF TWO TO FOUR RESTROOM COMPARTMENTS REQUIRED FOR THE PROJECT DURATION.
 - SNOW MANAGEMENT: DURING CONSTRUCTION SNOW WILL BE REMOVED IN ITS ENTIRETY ON THE CONSTRUCTION SIDE OF THE FENCE BY THE GENERAL CONTRACTOR AND HAULED OFF SITE AS REQUIRED. THE TOWN OF LEXINGTON WILL REMOVE SNOW ON THE PUBLIC SIDE OF THE FENCE AS IT NORMALLY WOULD. ANY RESIDUAL SNOW THAT MAY BE IN CONTACT WITH THE PUBLIC SIDE OF THE TEMPORARY FENCING WILL BE REMOVED BY THE GENERAL CONTRACTOR.
 - ONCE INFILTRATION SYSTEMS ARE IN PLACE NO PARKING OR MATERIAL STORAGE IS PERMITTED ABOVE THEM.
 - NO STORMWATER RUNOFF SHOULD BE DISCHARGED TO THE ON-SITE STORMWATER MANAGEMENT SYSTEM UNTIL THE SITE IS FULLY STABILIZED; WITH THE EXCEPTION OF ROOF LEADERS THAT CAN BE CONNECTED ONCE ABLE TO BE INSTALLED.
 - THE ON-SITE INFILTRATION SHOULD BE BLOCKED FROM VEHICLE TRAFFIC DURING CONSTRUCTION UNTIL THE SITE IS FULLY STABILIZED.
 - SOIL STOCKPILES MUST BE STABILIZED OR COVERED AT THE END OF EACH WORK DAY. SIDE SLOPES NOT TO EXCEED 2:1. 12" DIAMETER (MINIMUM) FILTERMITT SHALL BE INSTALLED AROUND EACH STOCKPILE.
 - NO ONSITE REFUELING OF CONSTRUCTION VEHICLES OR EQUIPMENT.
 - DUST CONTROL LIMITED TO POTABLE WATER. CALCIUM CHLORIDE SHALL NOT BE USED FOR DUST CONTROL.
 - SEGMENTS OF BEDFORD ST ON WHICH ANY SEDIMENT IS DEPOSITED SHALL BE SWEEPED WITHIN 24 HOURS OR MORE FREQUENTLY AS REQUIRED OR DIRECTED BY TOWN STAFF.
 - ANY SEDIMENT OR DEBRIS DISCHARGED TO ANY TOWN DRAINAGE STRUCTURE OR DRAINLINE SHALL BE REMOVED WITHIN 24 HOURS.

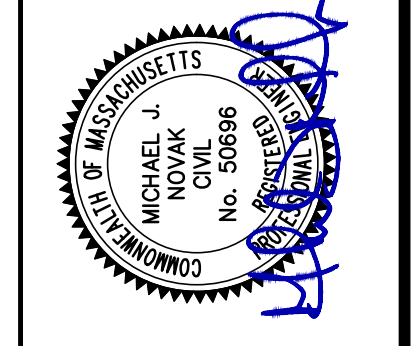


ALL UNDERGROUND UTILITY DATA REPRESENTS RECORD INFORMATION RECOVERED THROUGH RESEARCH WITHOUT SURFACE DEMARICATION NOR SUBSURFACE VERIFICATION.

NOT FOR CONSTRUCTION

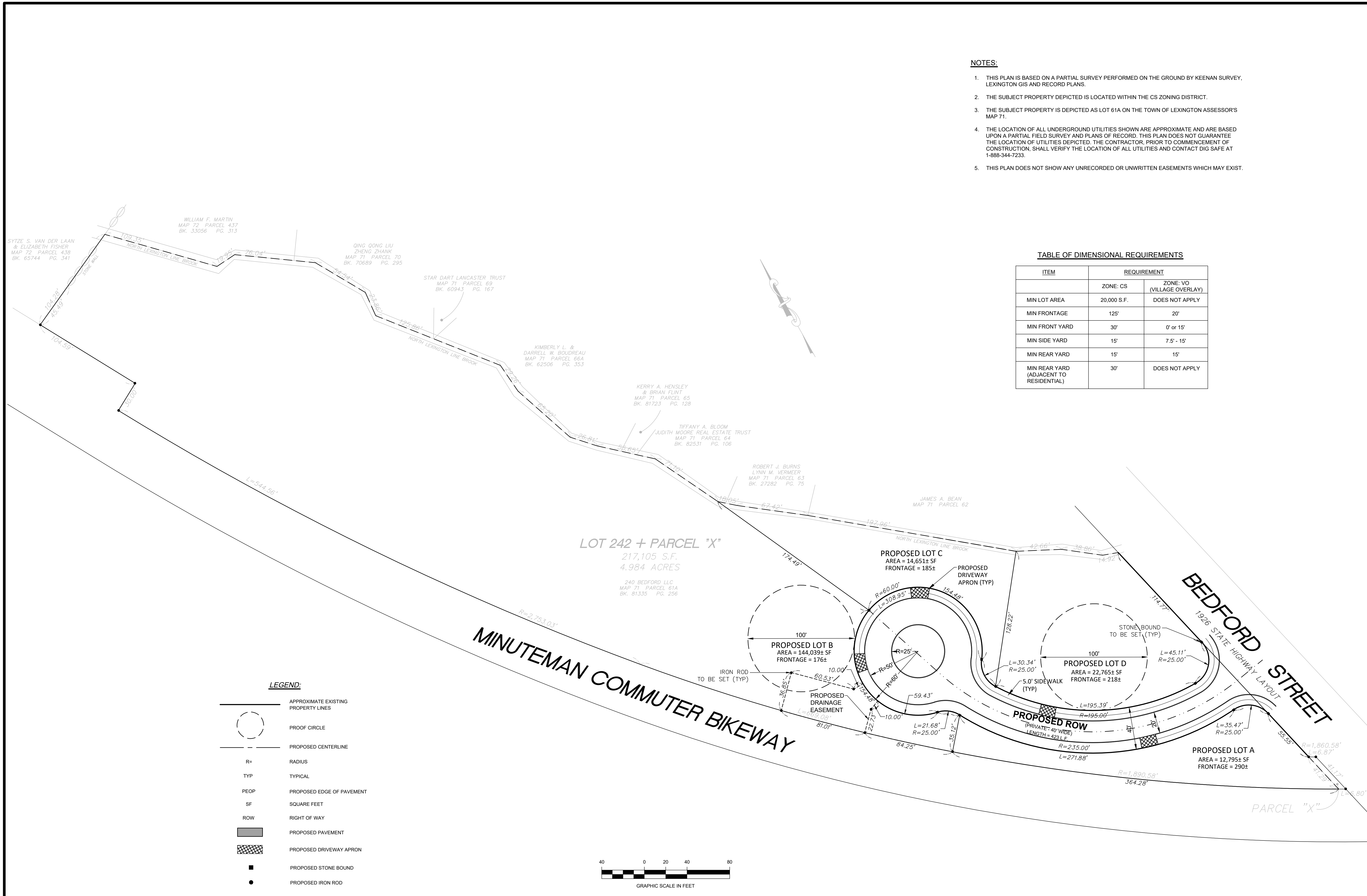
238-244 BEDFORD ST
 LEXINGTON, MA
 DRAWN BY: MVC
 CHECKED BY: MJM
 DATE: 2-12-2025

REVISIONS	DATE	BY	DESCRIPTION
	2-19-2025	MVC	REVISIONS PER COMMENTS



PATRIOT Engineering
 PO BOX 362
 LEXINGTON, MASSACHUSETTS 02420
 T: (978) 726-2654
 www.patriot-eng.com

CONSTRUCTION MANAGEMENT PLAN
 LOCATED IN
 LEXINGTON, MA
 (MIDDLESEX COUNTY)
 PREPARED FOR
 SEAN MALONEY, TRUSTEE

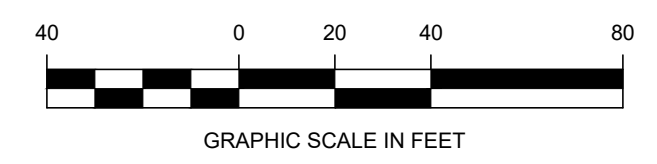


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- LEGEND:**
- APPROXIMATE EXISTING PROPERTY LINES
 - PROOF CIRCLE
 - PROPOSED CENTERLINE
 - R= RADIUS
 - TYP TYPICAL
 - PEOP PROPOSED EDGE OF PAVEMENT
 - SF SQUARE FEET
 - ROW RIGHT OF WAY
 - PROPOSED PAVEMENT
 - PROPOSED DRIVEWAY APRON
 - PROPOSED STONE BOUND
 - PROPOSED IRON ROD



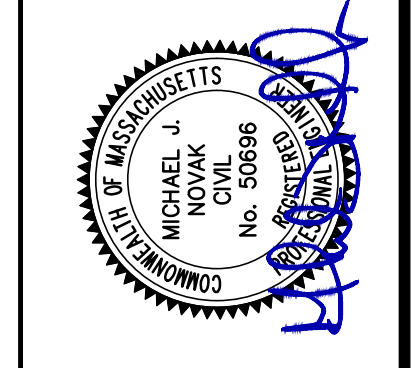
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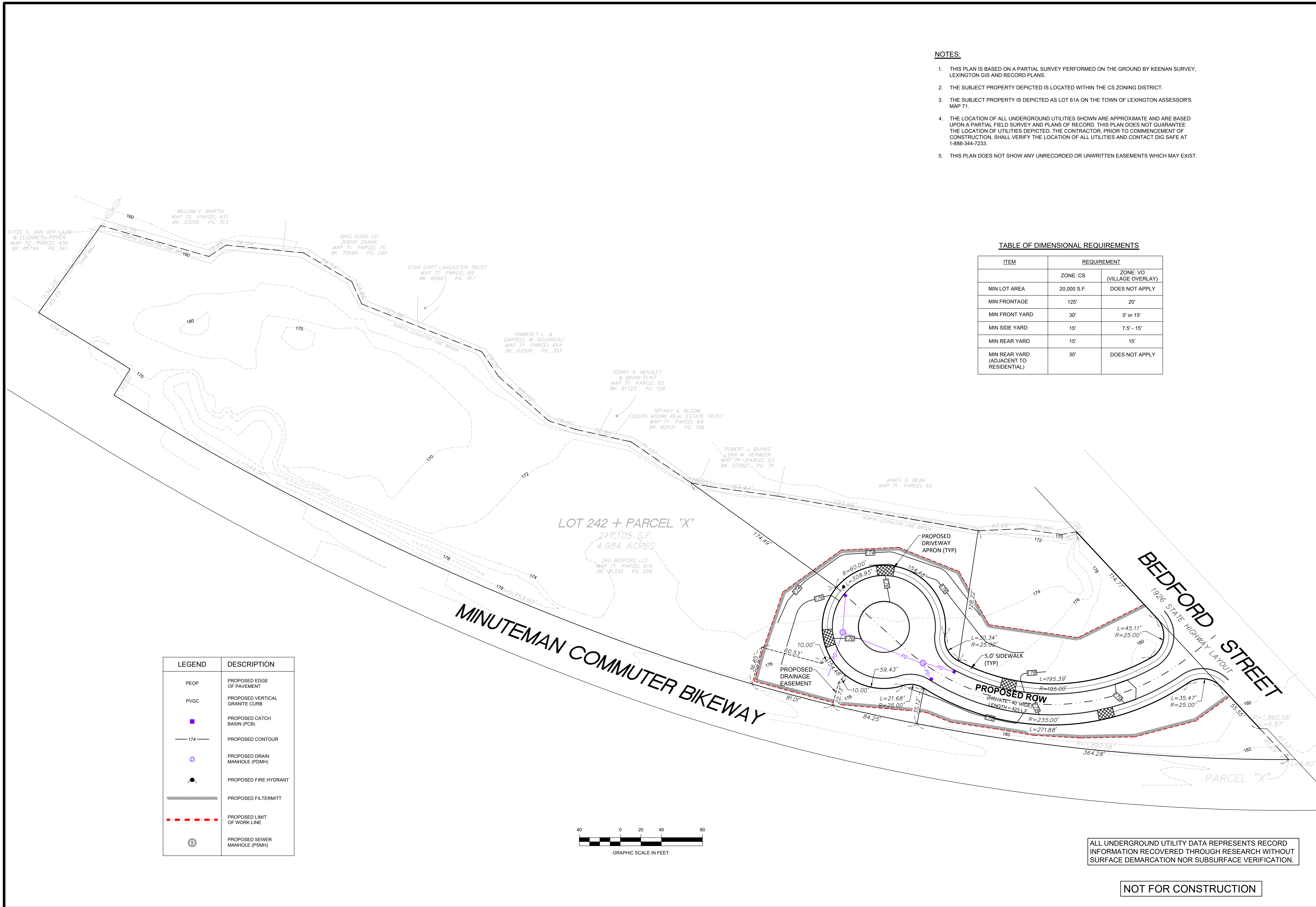


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PRELIMINARY SUBDIVISION PLAN
LOCATED IN
LEXINGTON, MA
(MIDDLESEX COUNTY)
PREPARED FOR
SEAN MALONEY, TRUSTEE

SHEET
C-3

NOT FOR CONSTRUCTION

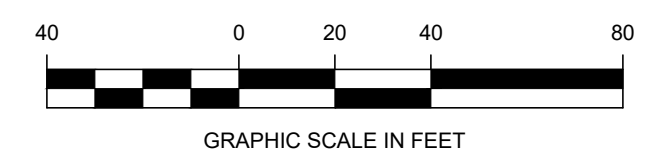


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LEGEND	DESCRIPTION
PEOP	PROPOSED EDGE OF PAVEMENT
PVGC	PROPOSED VERTICAL GRANITE CURB
■	PROPOSED CATCH BASIN (PCB)
—174—	PROPOSED CONTOUR
⊙	PROPOSED DRAIN MANHOLE (PDMH)
●	PROPOSED FIRE HYDRANT
▨	PROPOSED FILTERMITT
- - -	PROPOSED LIMIT OF WORK LINE
⊙	PROPOSED SEWER MANHOLE (PSMH)

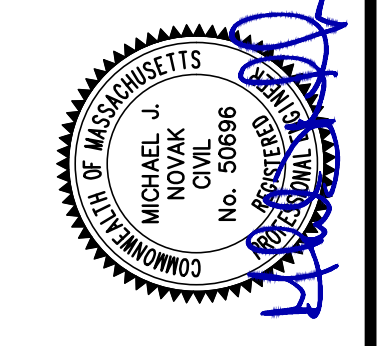


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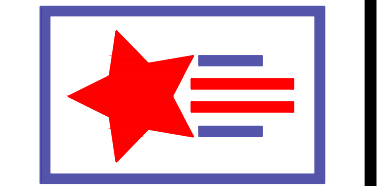
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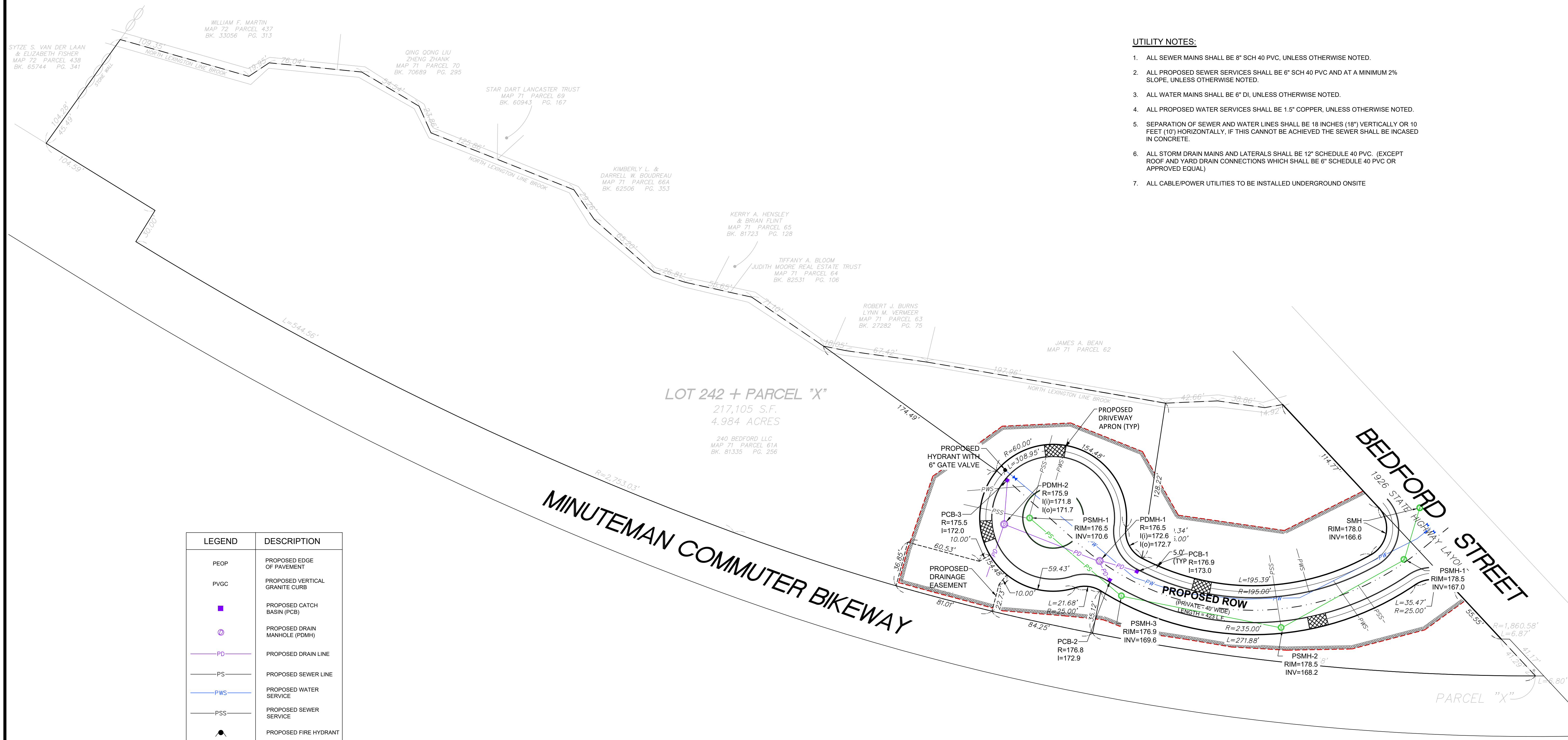


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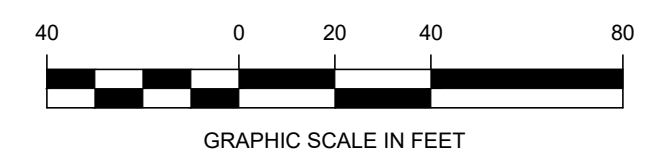


SITE PLAN - GRADING & DRAINAGE
LOCATED IN
LEXINGTON, MA
(MIDDLESEX COUNTY)
PREPARED FOR
SEAN MALONEY, TRUSTEE

SHEET
C - 4



LEGEND	DESCRIPTION
PEOP	PROPOSED EDGE OF PAVEMENT
PVGC	PROPOSED VERTICAL GRANITE CURB
■	PROPOSED CATCH BASIN (PCB)
⊙	PROPOSED DRAIN MANHOLE (PDMH)
— PD —	PROPOSED DRAIN LINE
— PS —	PROPOSED SEWER LINE
— PWS —	PROPOSED WATER SERVICE
— PSS —	PROPOSED SEWER SERVICE
●	PROPOSED FIRE HYDRANT
⊙	PROPOSED SEWER MANHOLE (PSMH)
— PW —	PROPOSED WATER LINE



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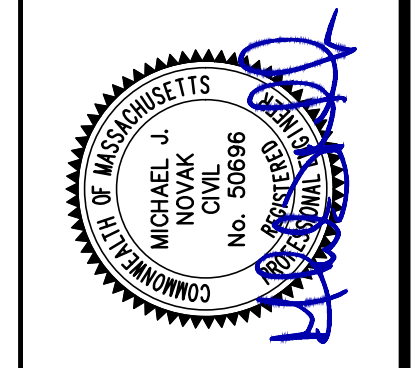
- UTILITY NOTES:**
- ALL SEWER MAINS SHALL BE 8" SCH 40 PVC, UNLESS OTHERWISE NOTED.
 - ALL PROPOSED SEWER SERVICES SHALL BE 6" SCH 40 PVC AND AT A MINIMUM 2% SLOPE, UNLESS OTHERWISE NOTED.
 - ALL WATER MAINS SHALL BE 6" DI, UNLESS OTHERWISE NOTED.
 - ALL PROPOSED WATER SERVICES SHALL BE 1.5" COPPER, UNLESS OTHERWISE NOTED.
 - SEPARATION OF SEWER AND WATER LINES SHALL BE 18 INCHES (18") VERTICALLY OR 10 FEET (10') HORIZONTALLY, IF THIS CANNOT BE ACHIEVED THE SEWER SHALL BE INCASED IN CONCRETE.
 - ALL STORM DRAIN MAINS AND LATERALS SHALL BE 12" SCHEDULE 40 PVC. (EXCEPT ROOF AND YARD DRAIN CONNECTIONS WHICH SHALL BE 6" SCHEDULE 40 PVC OR APPROVED EQUAL)
 - ALL CABLE/POWER UTILITIES TO BE INSTALLED UNDERGROUND ONSITE

ALL UNDERGROUND UTILITY DATA REPRESENTS RECORD INFORMATION RECOVERED THROUGH RESEARCH WITHOUT SURFACE DEMARICATION NOR SUBSURFACE VERIFICATION.

NOT FOR CONSTRUCTION

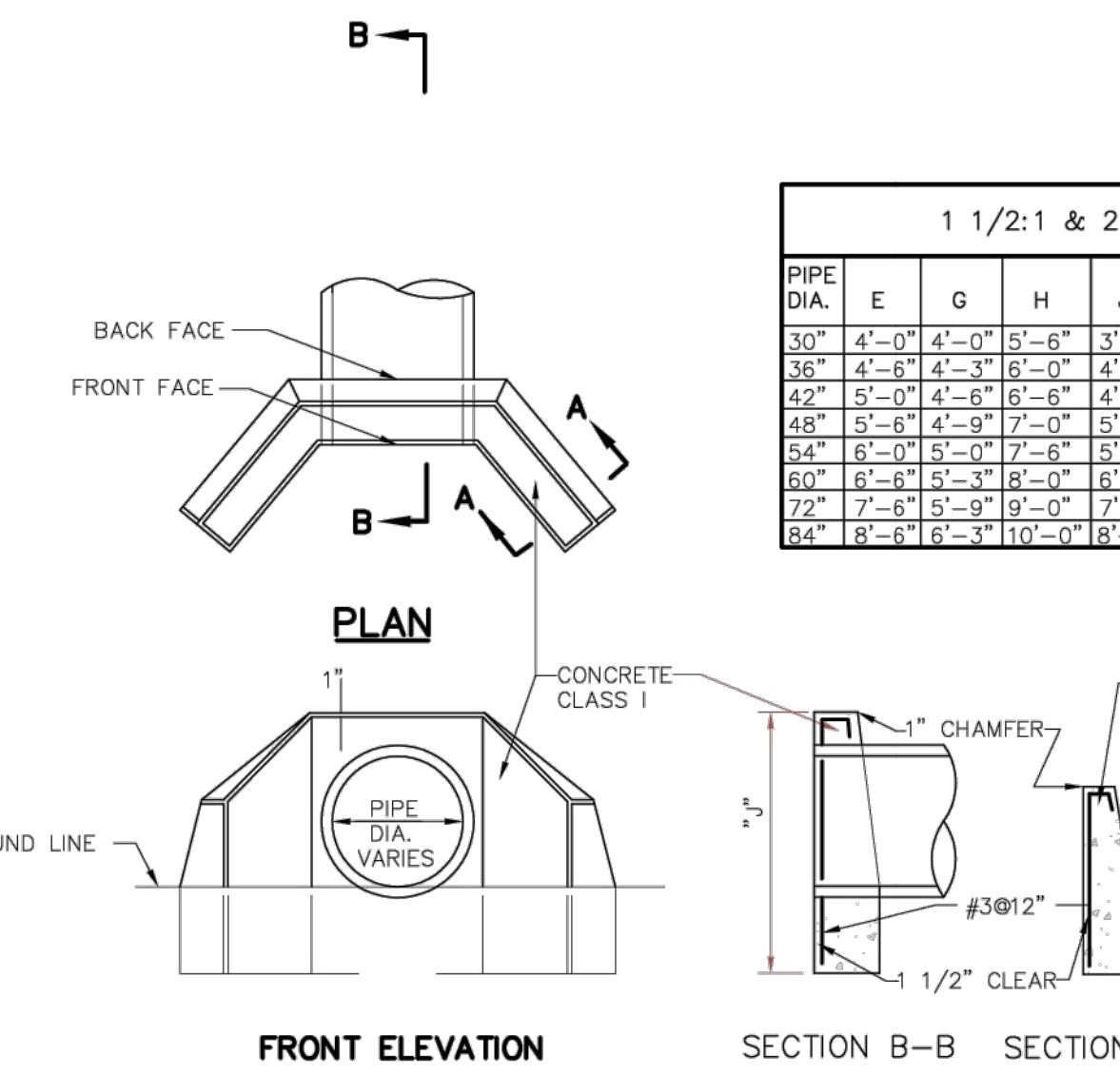
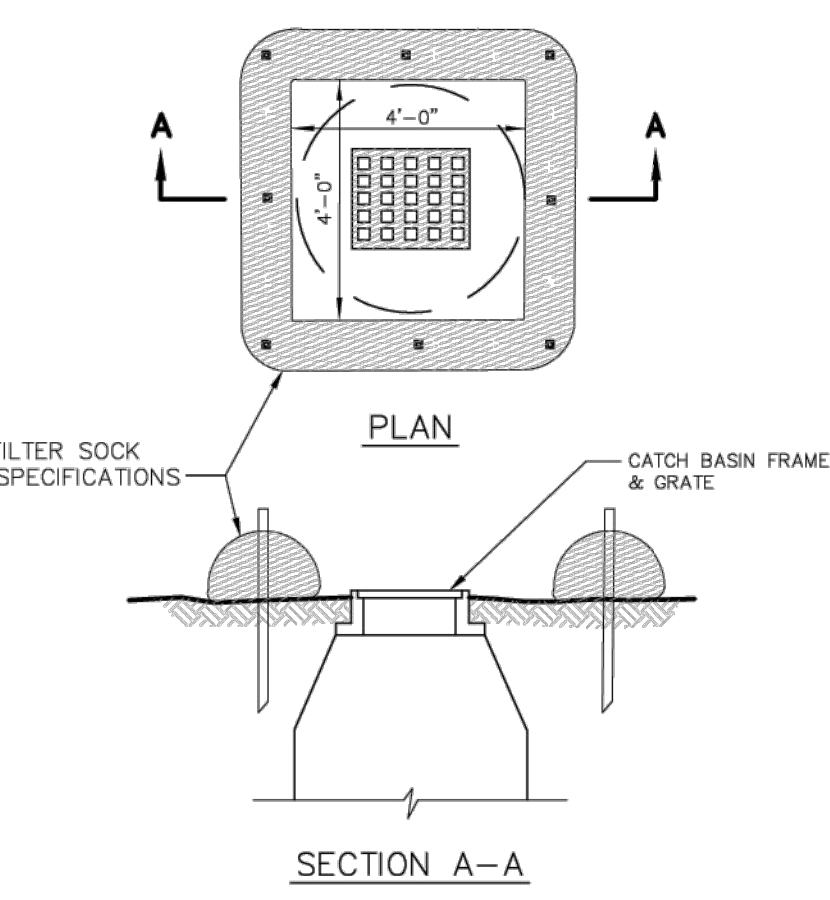
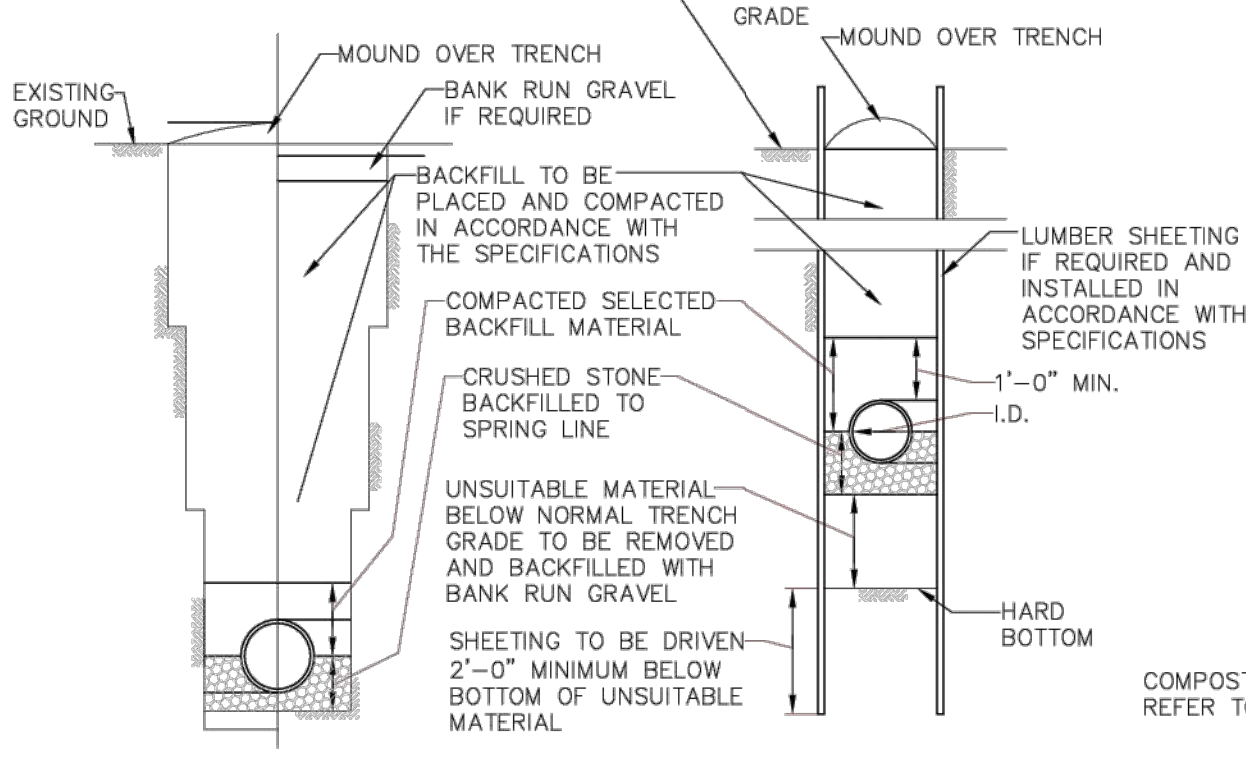
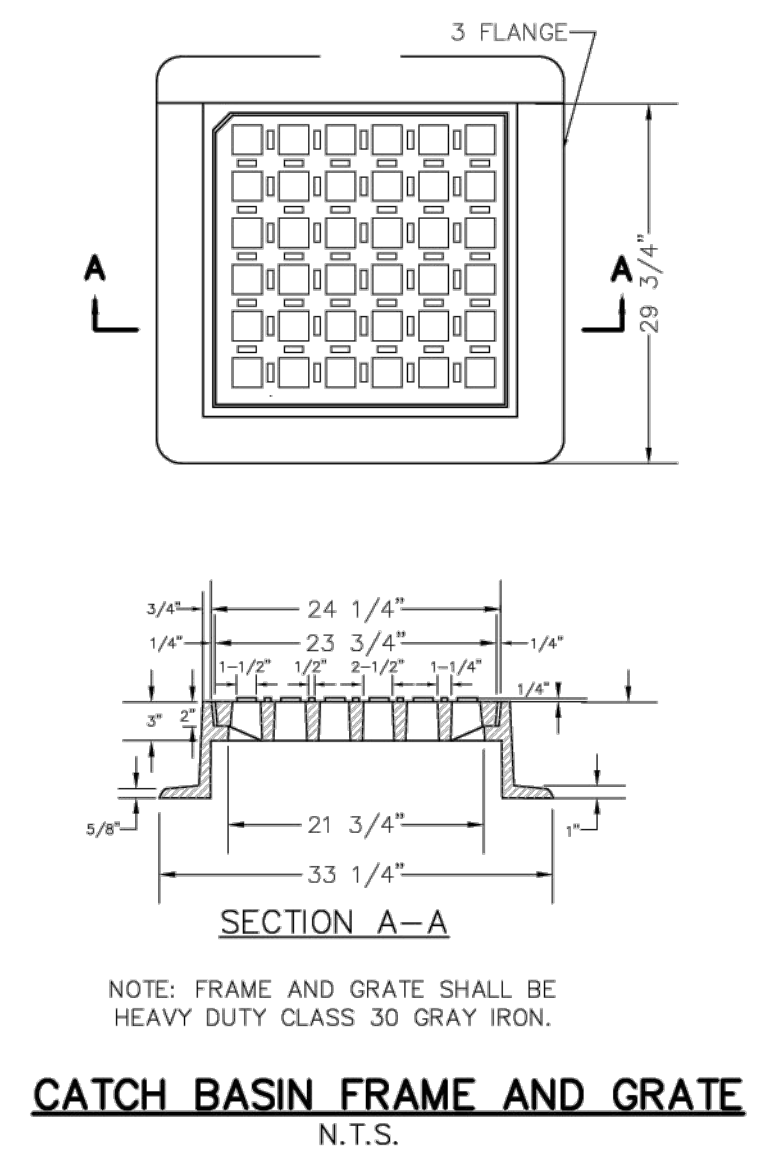
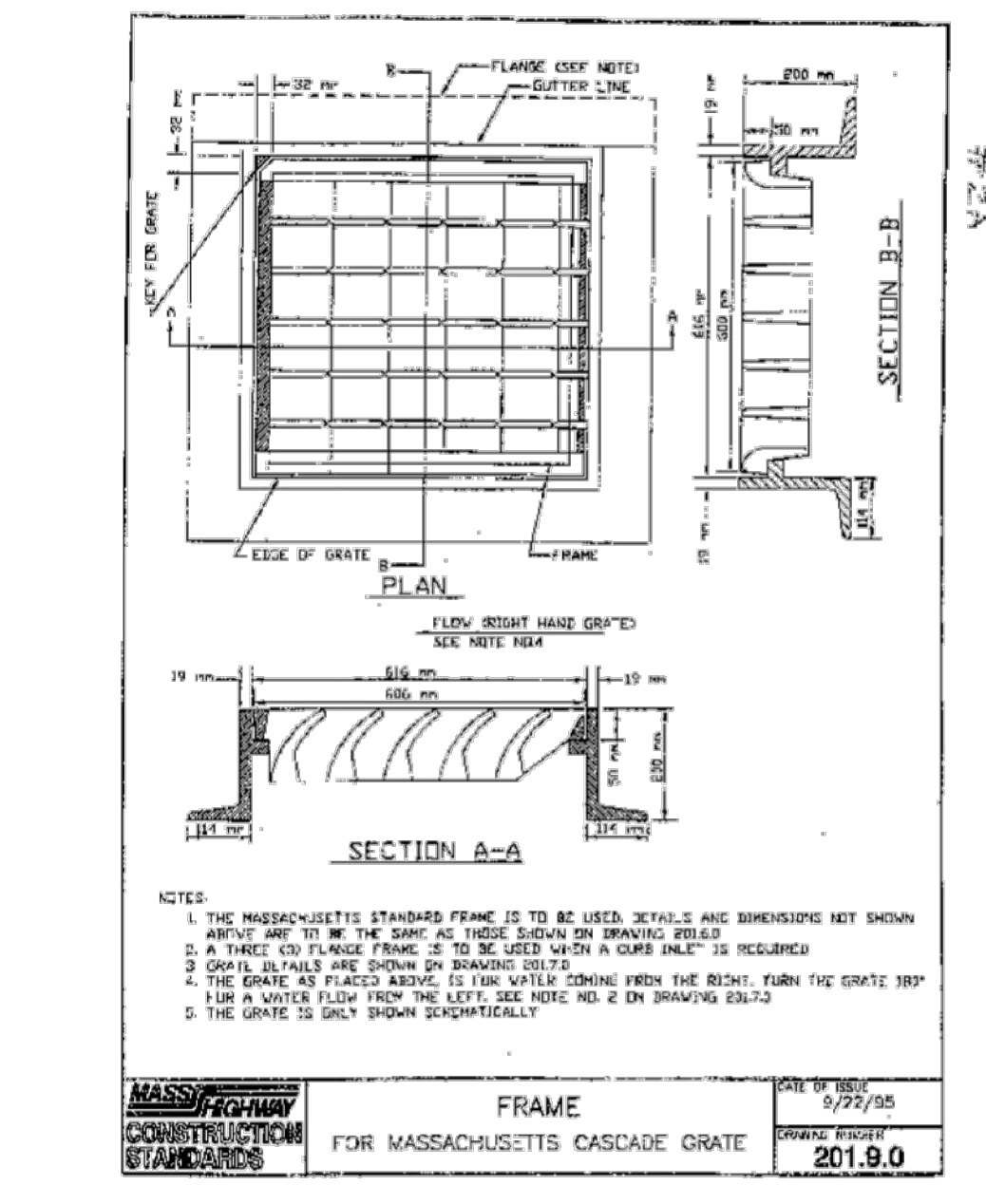
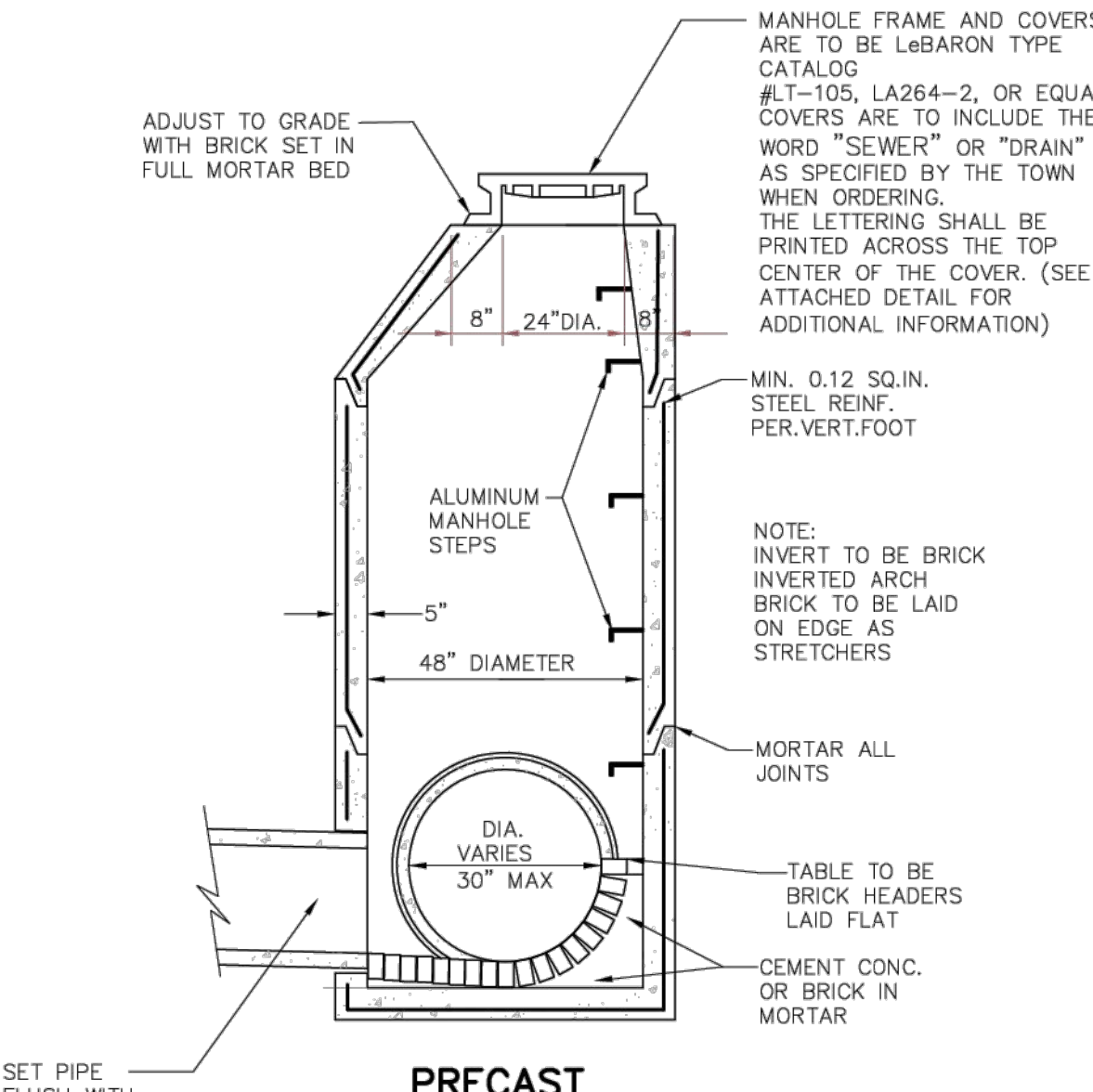
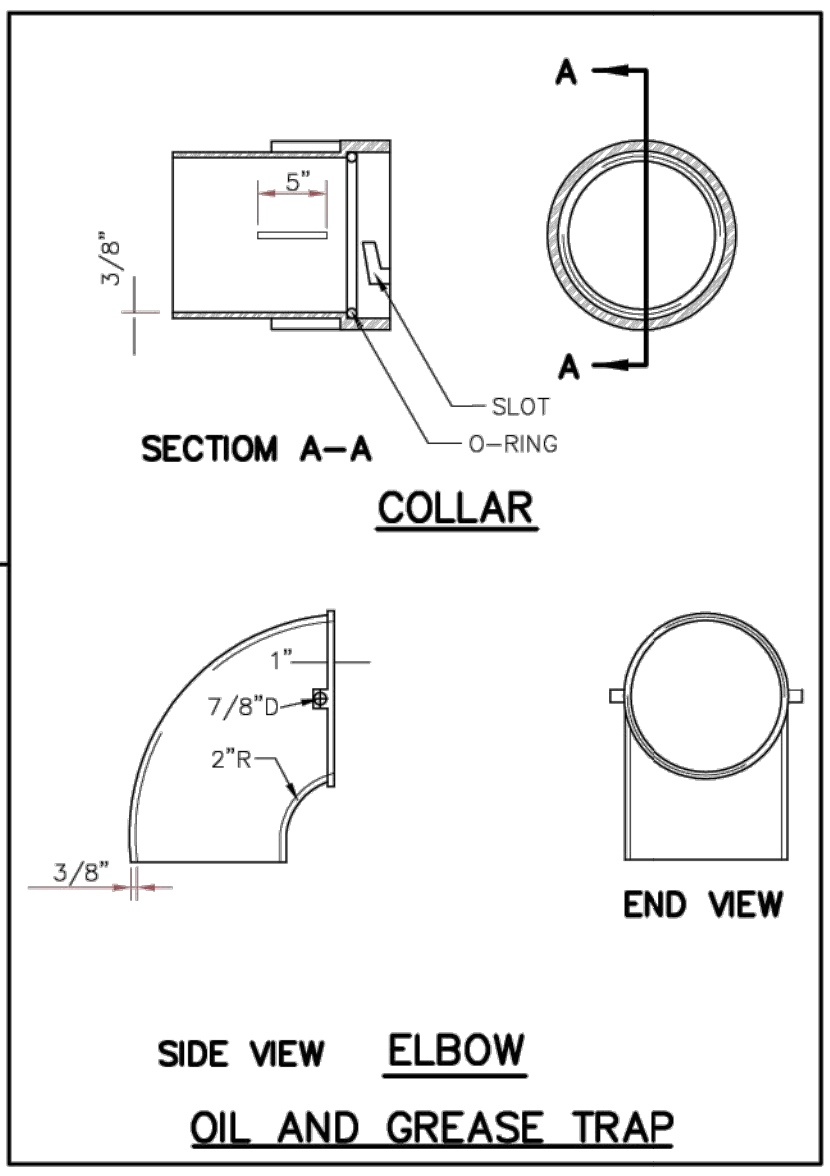
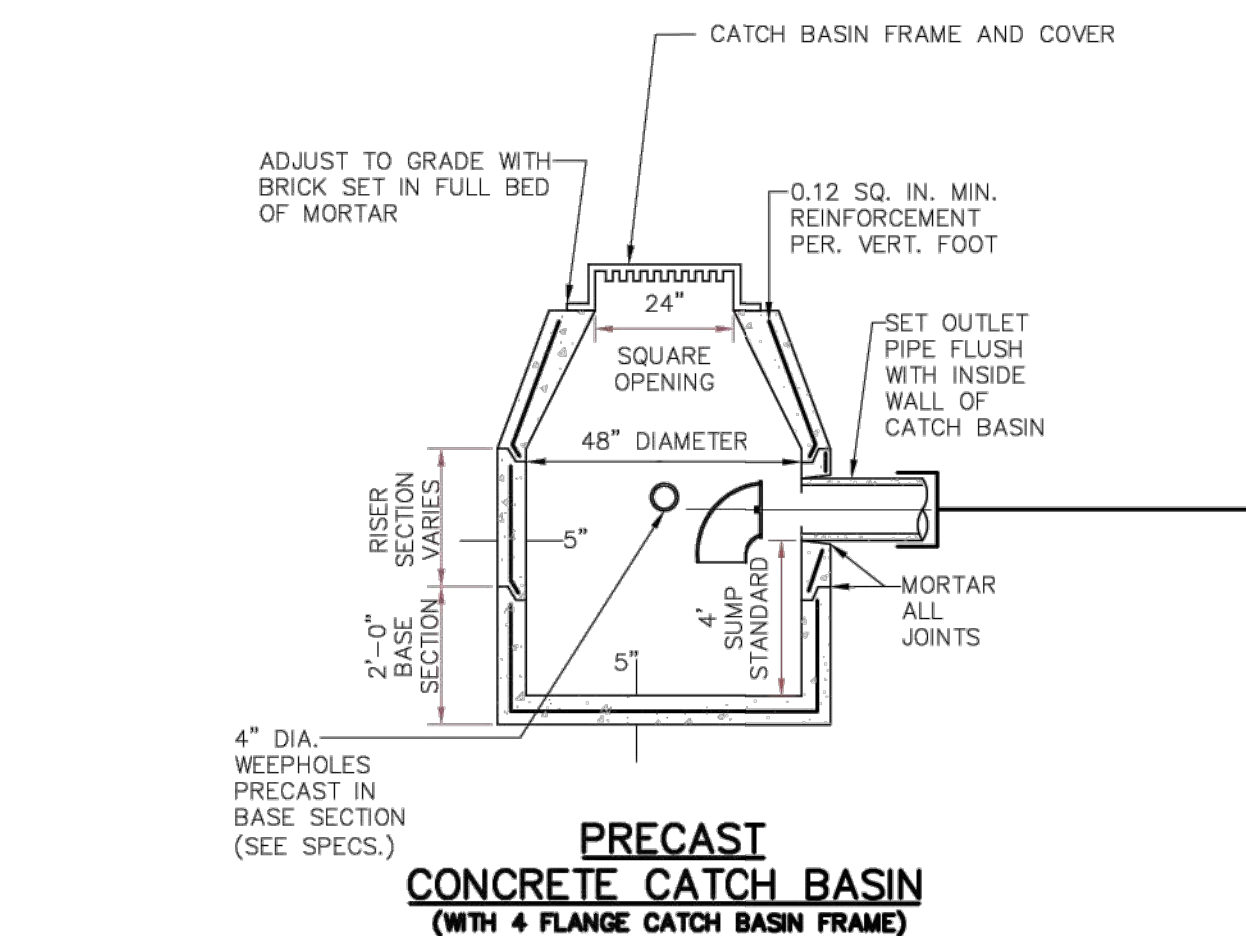
238-244 BEDFORD ST
LEXINGTON, MA
DRAWN BY: MVC
CHECKED BY: MIN
DATE: 2-12-2025

REVISIONS	DATE	BY	DESCRIPTION
	2-19-2025	MVC	REVISIONS PER COMMENTS

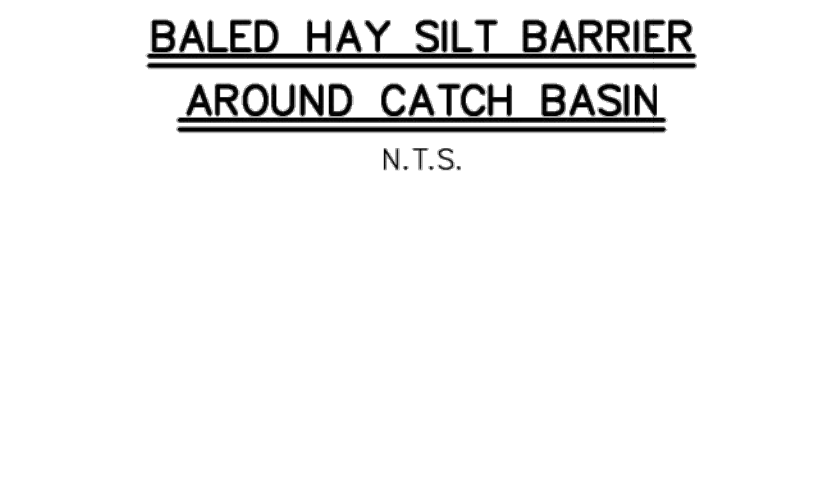
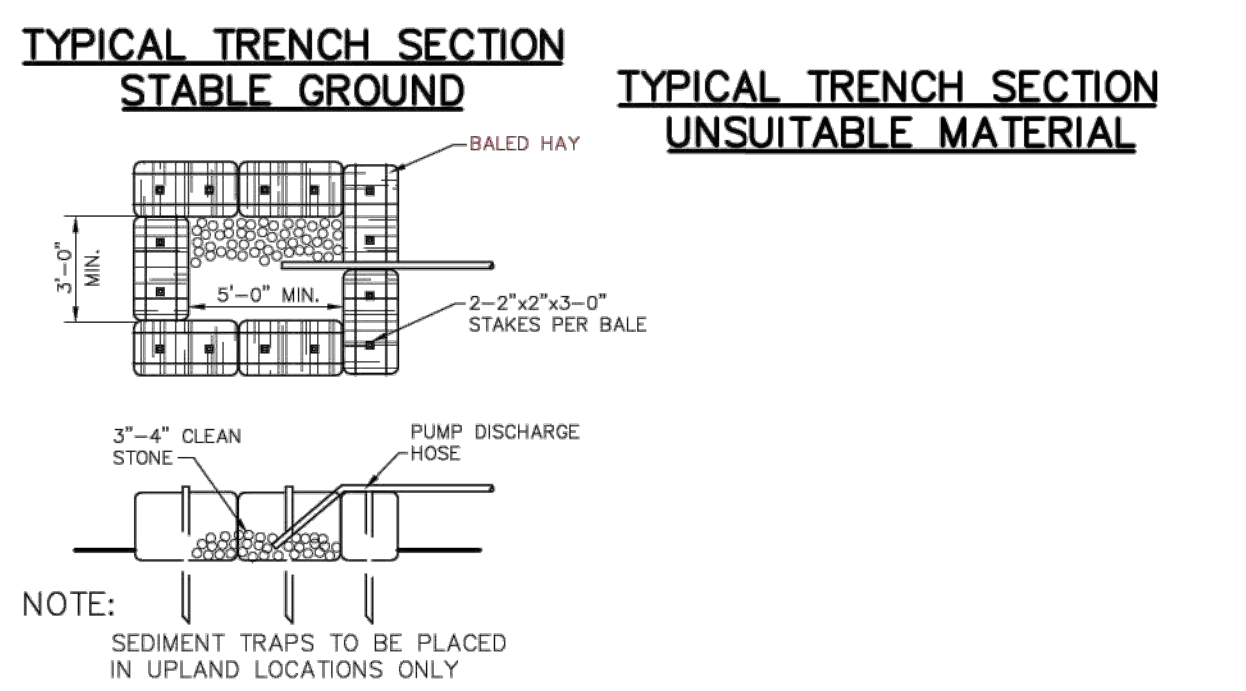
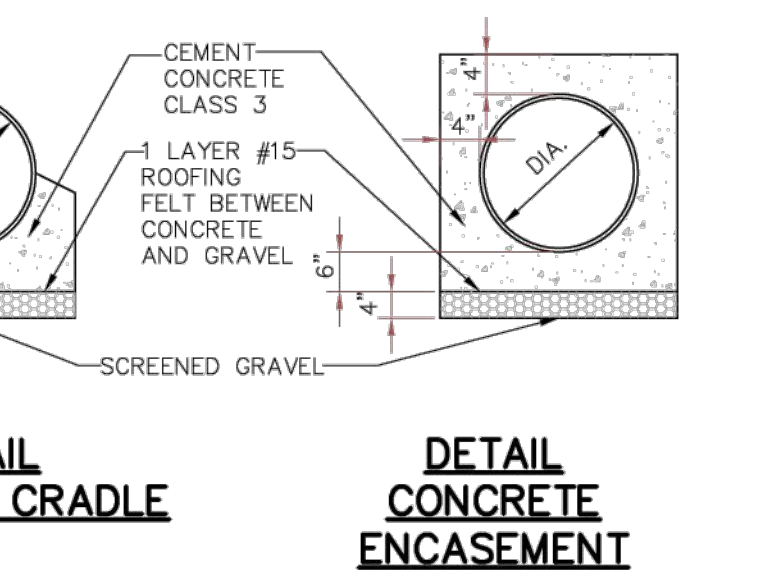


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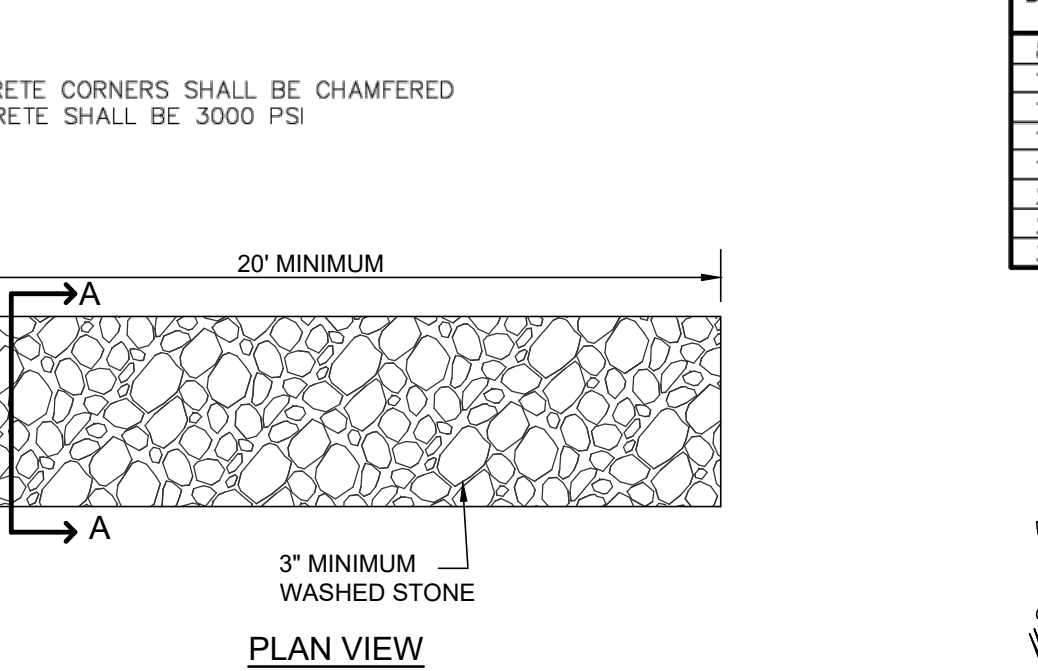
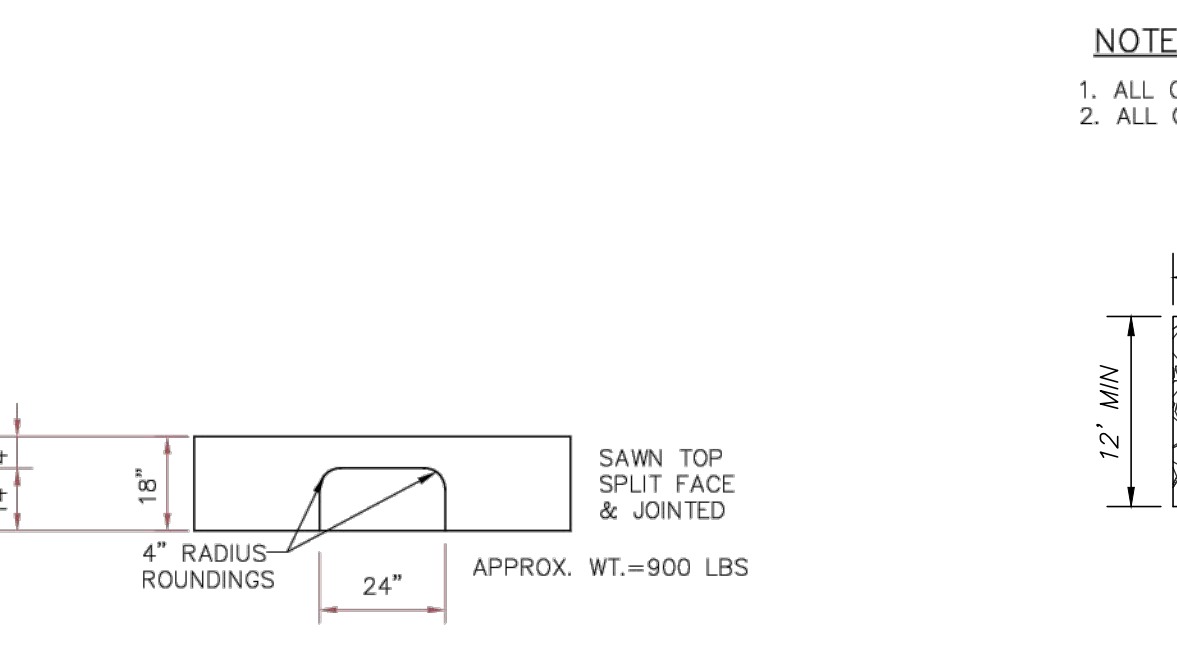
SITE PLAN - UTILITY
 LOCATED IN
 LEXINGTON, MA
 (MIDDLESEX COUNTY)
 PREPARED FOR
 SEAN MALONEY, TRUSTEE



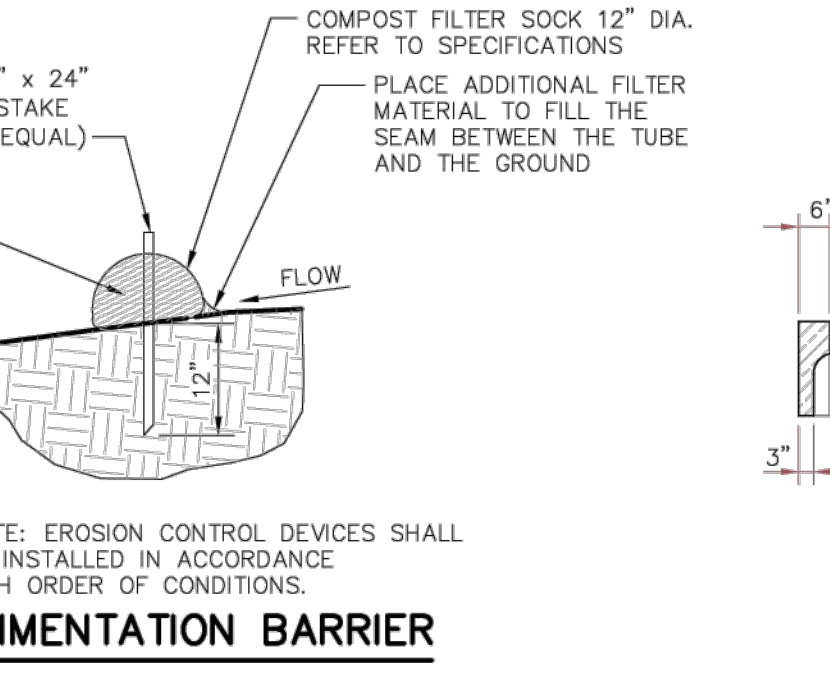
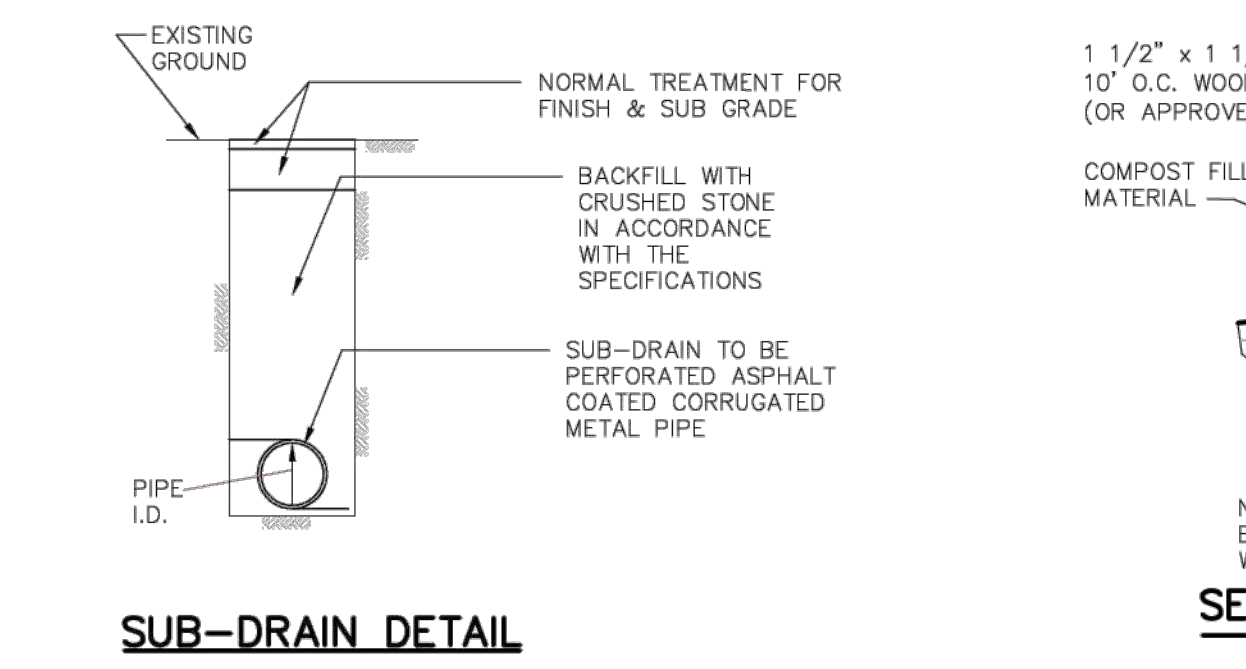
PIPE DIA.	1 1/2:1 & 2:1 SLOPES							1 1/2 SLOPES		2:1 SLOPES		
	E	G	H	J	L	N	P	F	CU. YDS.	F	CU. YDS.	
30"	4'-0"	4'-0"	5'-6"	3'-6"	1'-6"	2'-0"	5'-3"	3'-0"	2.60	45	4'-3"	3.16
36"	4'-6"	4'-6"	6'-0"	4'-0"	1'-8"	2'-3"	5'-11"	3'-6"	3.35	54	5'-0"	4.19
42"	5'-0"	4'-6"	6'-6"	4'-6"	1'-10"	2'-6"	6'-6"	4'-0"	4.20	59	5'-9"	5.25
48"	5'-6"	4'-9"	7'-0"	5'-0"	2'-0"	2'-9"	7'-2"	4'-6"	5.19	65	6'-6"	6.50
54"	6'-0"	5'-0"	7'-6"	5'-6"	2'-2"	3'-0"	7'-10"	5'-0"	6.26	73	7'-3"	7.88
60"	6'-6"	5'-3"	8'-0"	6'-0"	2'-4"	3'-3"	8'-5"	5'-6"	7.43	85	8'-0"	9.37
72"	7'-6"	5'-9"	9'-0"	7'-0"	2'-8"	3'-9"	9'-9"	6'-6"	10.25	98	9'-6"	12.99
84"	8'-6"	6'-3"	10'-0"	8'-0"	3'-0"	4'-3"	11'-0"	7'-6"	13.49	120	11'-0"	17.32



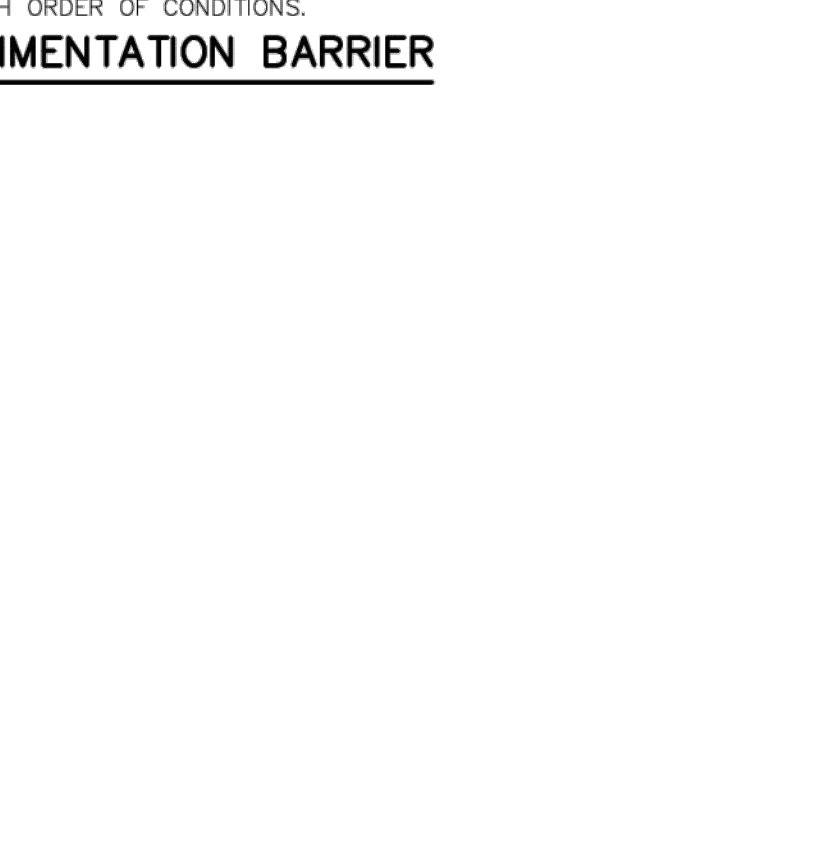
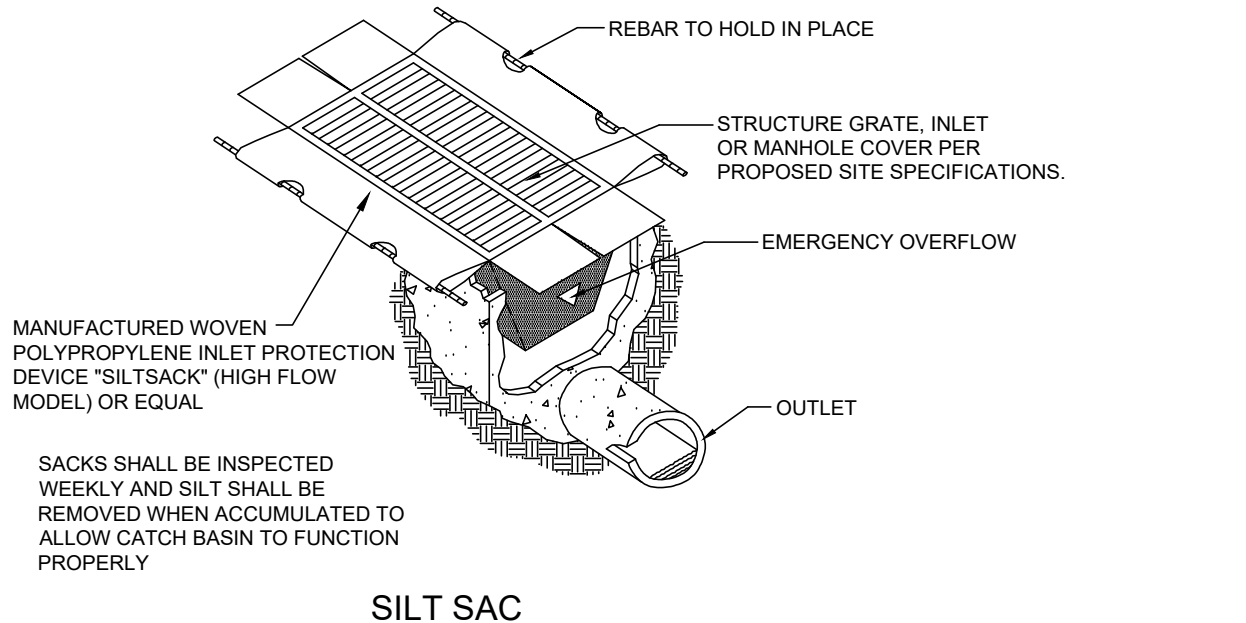
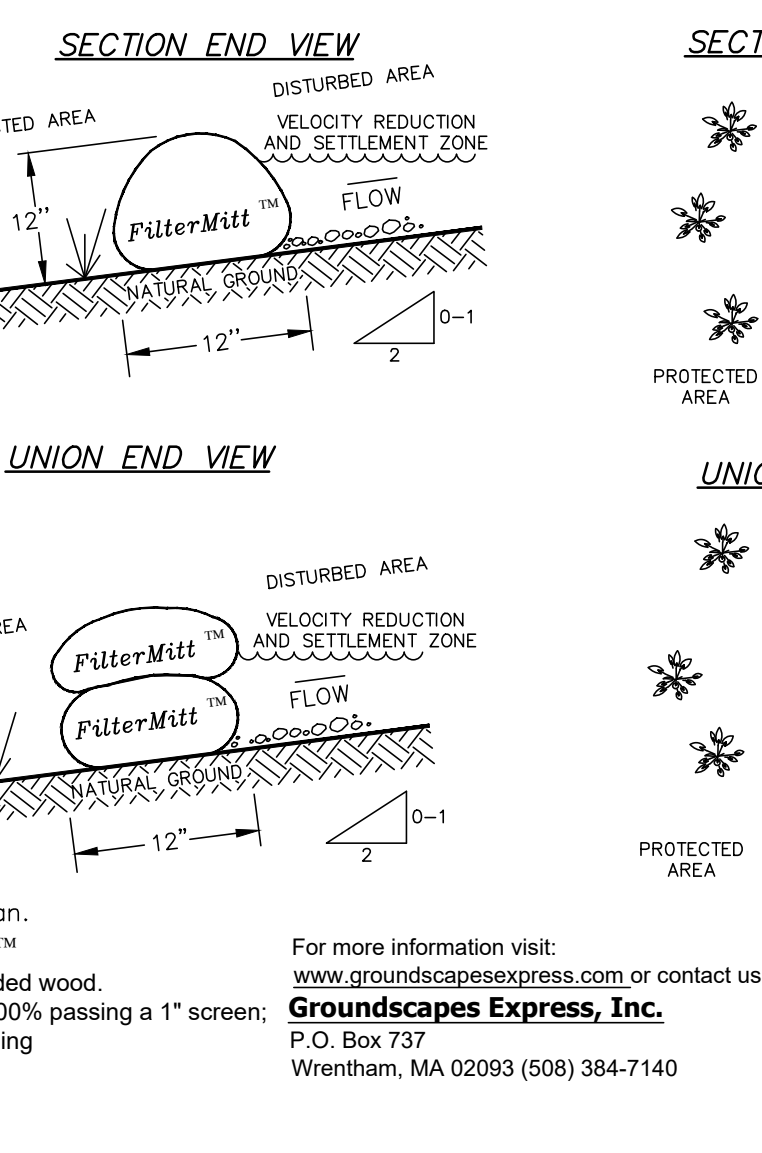
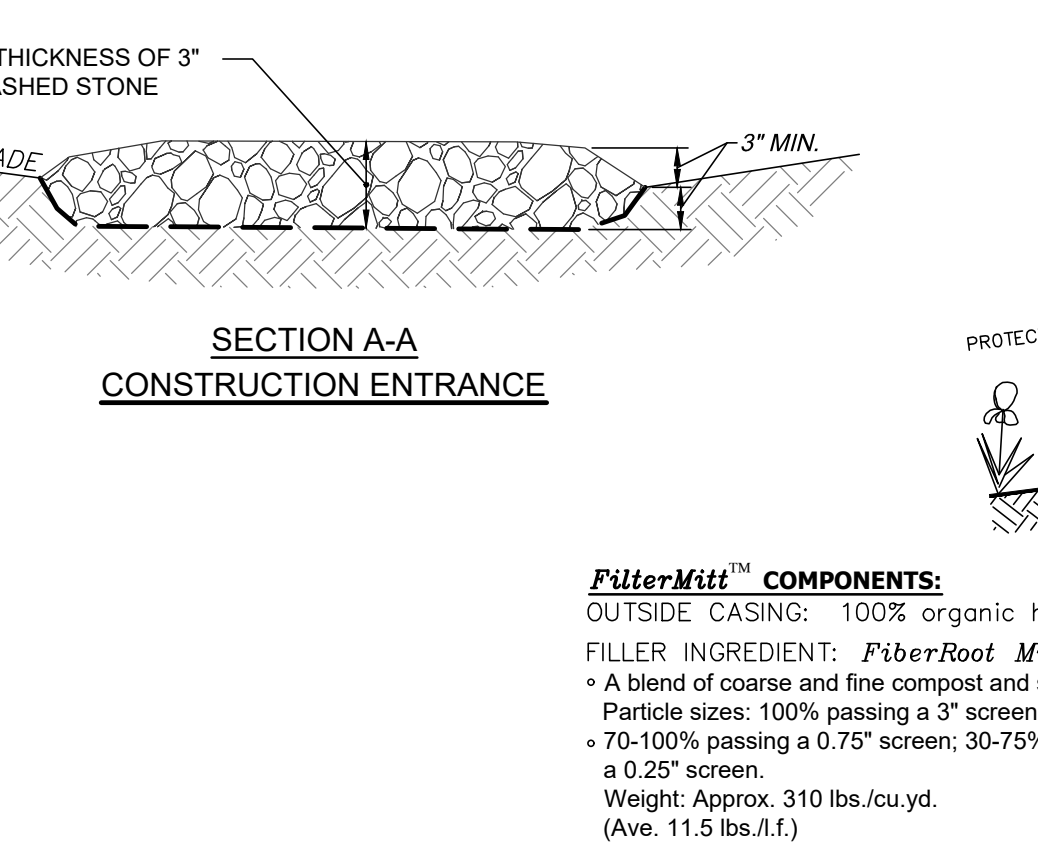
CONCRETE HEADWALL DETAILS FOR 30" TO 84" PIPE CULVERTS



PIPE DIA.	1 1/2:1 SLOPE		2:1 SLOPE	
	L	CU. YDS. LBS.	L	CU. YDS. LBS.
8"	4'-2"	0.77 15	5'-10"	1.08 21
10"	4'-10"	0.92 20	6'-8"	1.28 23
12"	5'-6"	1.08 21	7'-6"	1.49 29
15"	6'-6"	1.34 24	8'-9"	1.82 32
18"	7'-6"	1.61 30	10'-0"	2.18 39
21"	8'-8"	1.95 34	11'-6"	2.62 43
24"	9'-3"	2.16 35	12'-6"	2.97 50
30"	10'-6"	2.63 44	15'-6"	3.86 62



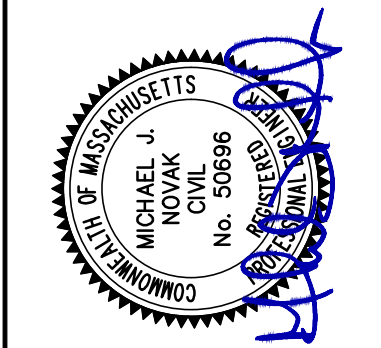
GRANITE CURB INLET DETAILS



ALL DETAILS ARE NOT TO SCALE

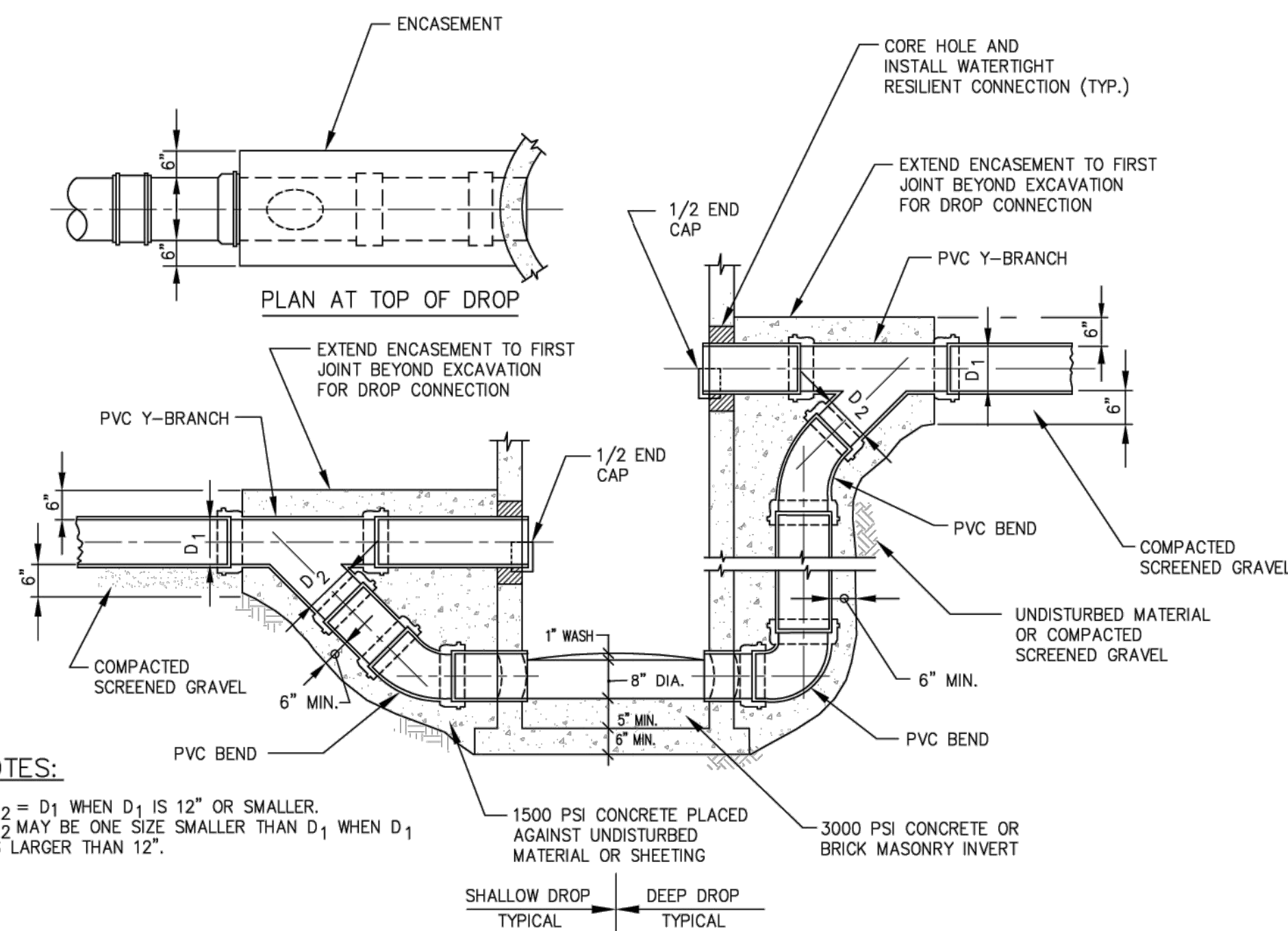
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DATE	



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DETAILS LOCATED IN
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(MIDDLESEX COUNTY)
PREPARED FOR
SEAN MALONEY TRUSTEE

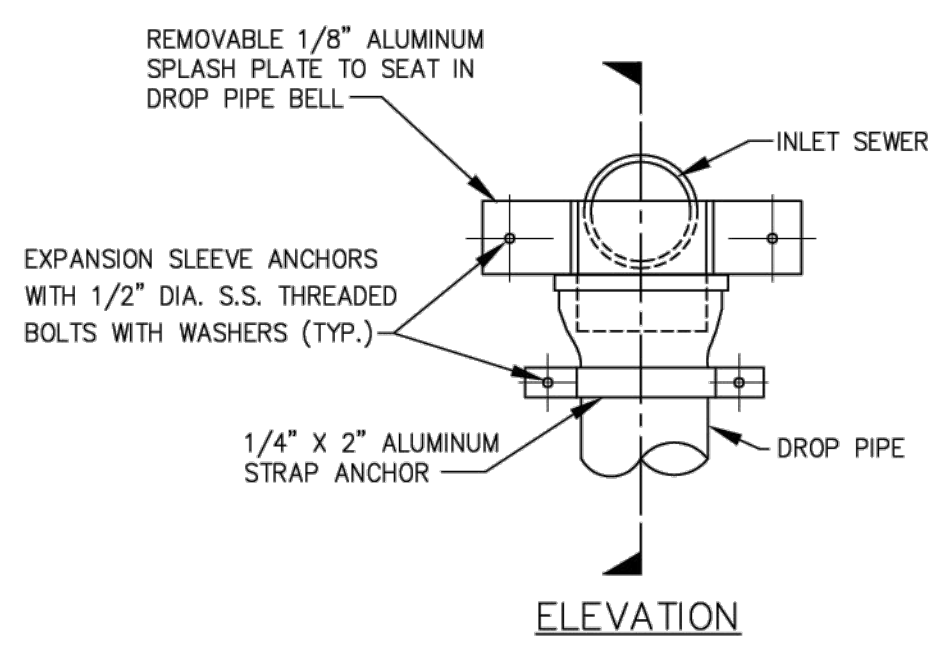


NOTES:

1. $D_2 = D_1$ WHEN D_1 IS 12" OR SMALLER.
2. D_2 MAY BE ONE SIZE SMALLER THAN D_1 WHEN D_1 IS LARGER THAN 12".

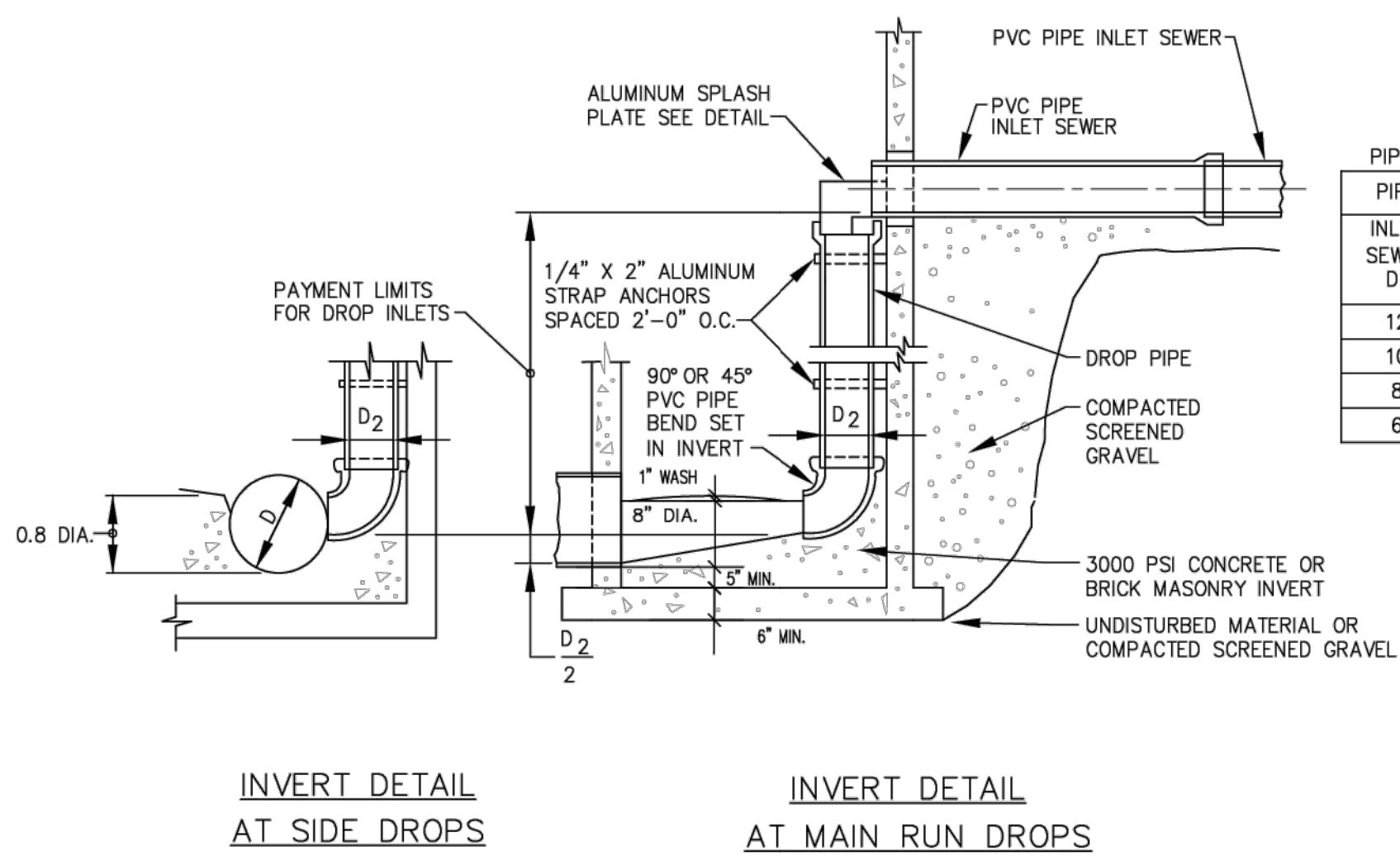
DROP INLETS FOR PVC PIPE SEWERS

NOT TO SCALE
2-1.4.1 (REV. 03-15-95)



ALUMINUM SPLASH PLATE DETAIL

NOT TO SCALE
2-1.4.3 (REV. 03-15-95)

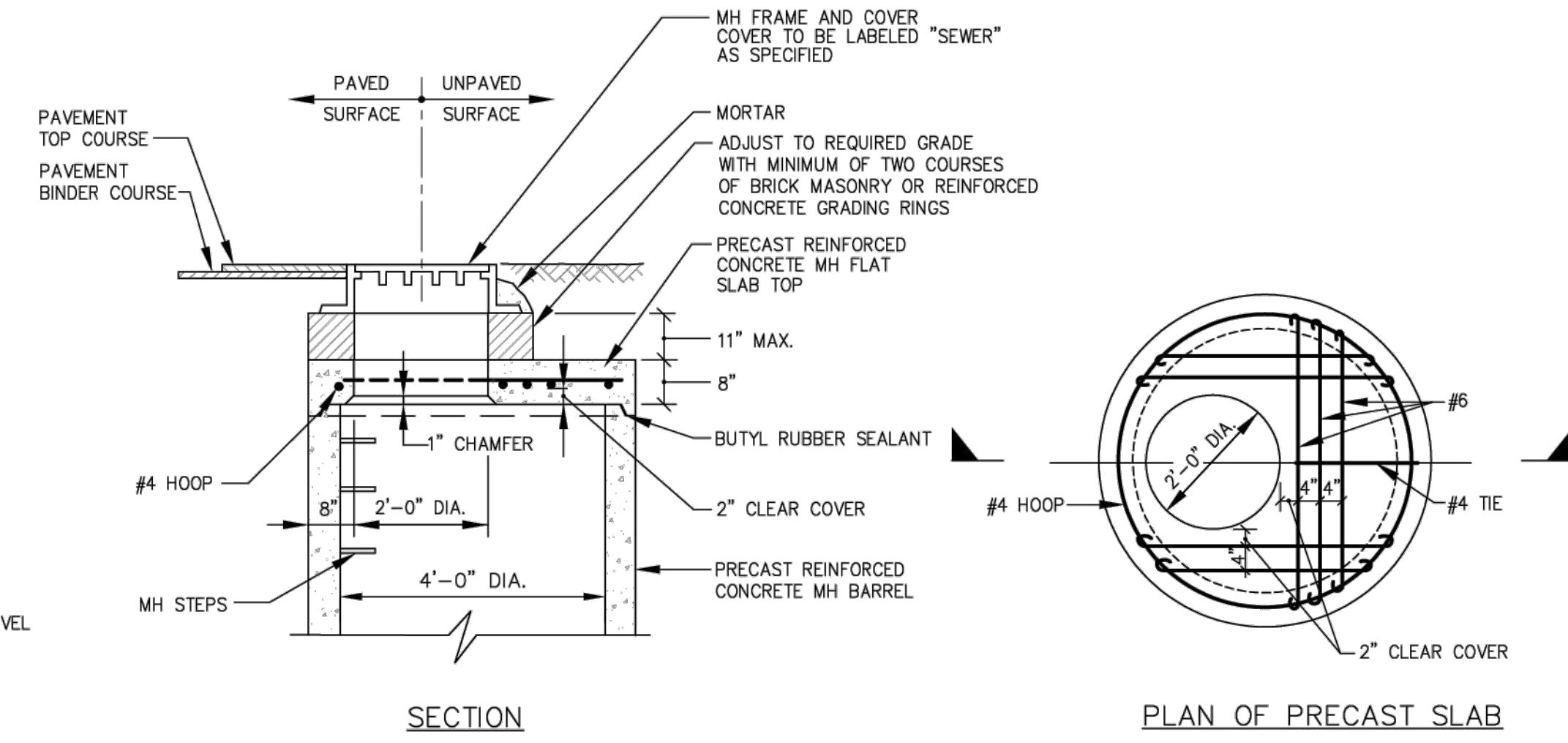


INVERT DETAIL
AT SIDE DROPS

INVERT DETAIL
AT MAIN RUN DROPS

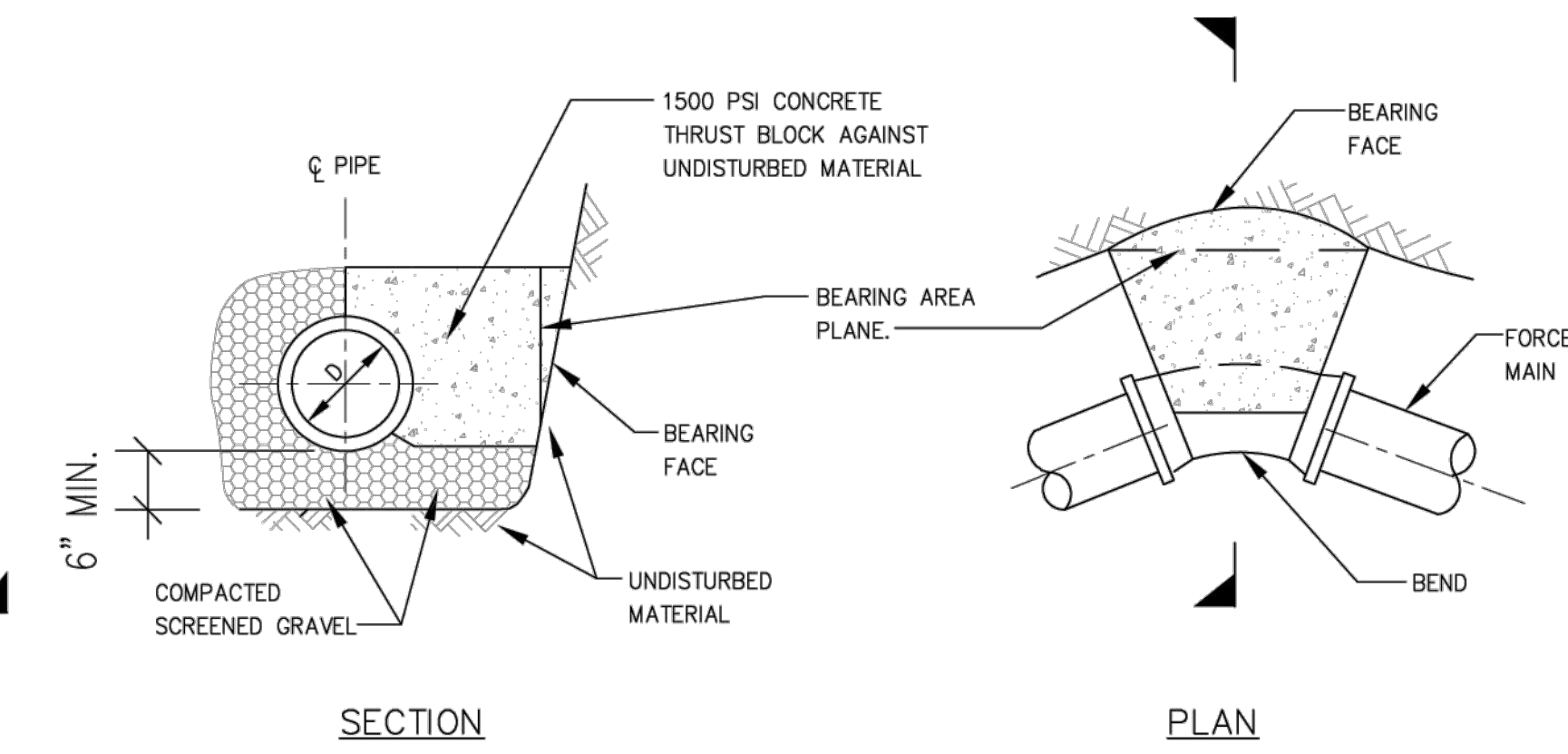
**INSIDE DROP INLETS FOR PVC PIPE SEWERS
12 INCH DIAMETER AND SMALLER**

NOT TO SCALE
2-1.4.3 (REV. 03-15-95)



**PRECAST FLAT SLAB TOP
FOR SHALLOW MANHOLE**

NOT TO SCALE
2-1.5.43 (REV. 03-15-95)

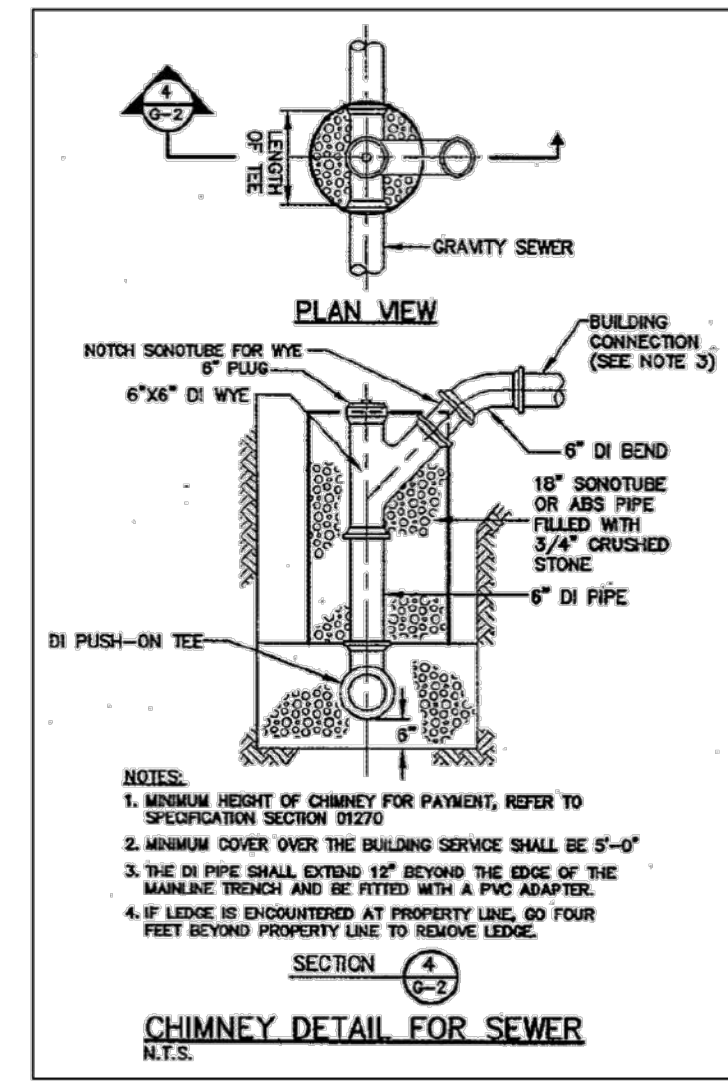


NOTES:

1. WHERE SO INDICATED ON PLANS, THE FORCE MAIN BENDS SHALL BE BACKED UP WITH A CONCRETE THRUST BLOCK BETWEEN THE PIPE AND UNDISTURBED MATERIAL.
2. REQUIRED BEARING AREA TO BE CALCULATED ON VERTICAL PLANE 90 DEG. TO RADIAL PLANE PASSING THROUGH MIDPOINT OF BEND.
3. MINIMUM BEARING AREA: 2.0 SQ.FT.
4. SEE PLANS FOR REQUIRED BEARING AREAS GREATER THAN MINIMUM.

FORCE MAIN THRUST BLOCK

NOT TO SCALE
2-1.6.1 (REV. 03-15-95)



TYPICAL CHIMNEY DETAIL FOR SEWER

NO SCALE

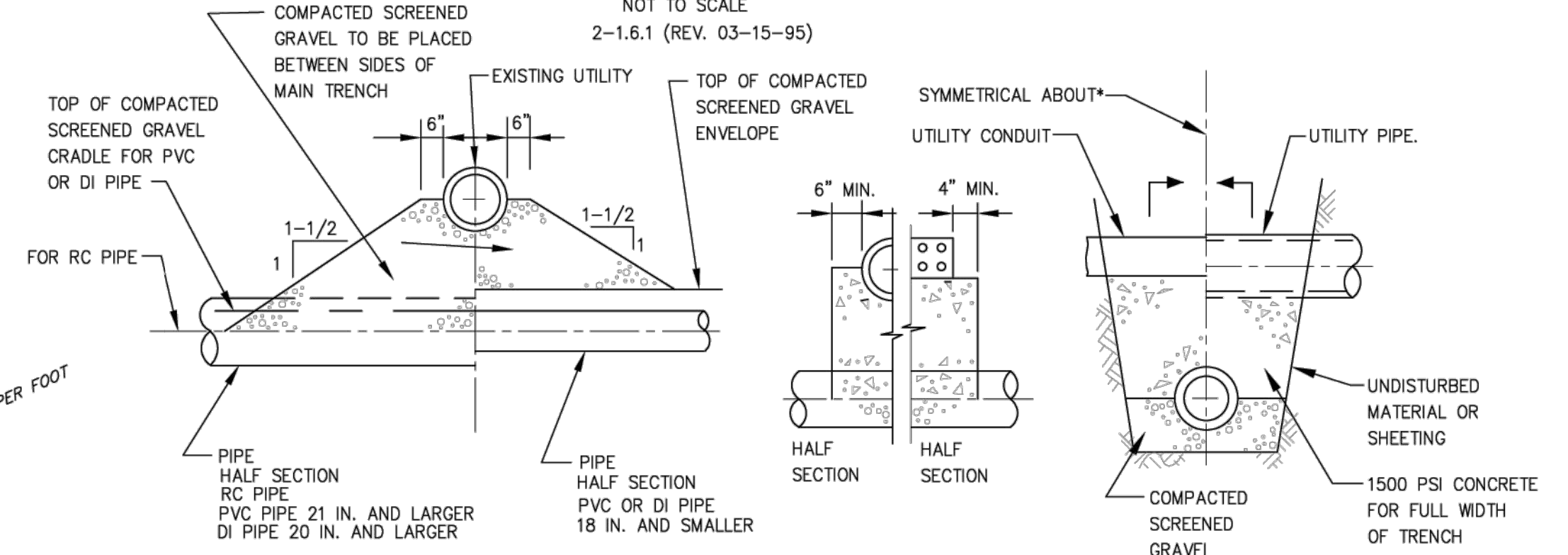
SEWER SERVICE SADDLE CONNECTION

NOTES:

1. FULL PVC OR IRON SADDLE MAY BE USED TO CONNECT TO EXISTING PVC, CLAY, CONCRETE OR IRON PIPE.
2. SADDLES MUST HAVE RUBBER GASKETS AND SHALL BE TIGHTENED WITH STRAPS. SADDLES WILL NOT BE CEMENT ONTO THE PIPE.
3. FULL WYE CONNECTION FITTINGS MAY BE USED.
4. PIPE SHALL BE CUT TO CONFORM TO THE OPENING IN THE SADDLE.
5. CONNECTIONS DIRECTLY INTO THE EXISTING PIPE WITHOUT A SADDLE OR A FULL WYE FITTING ARE NOT ALLOWED.

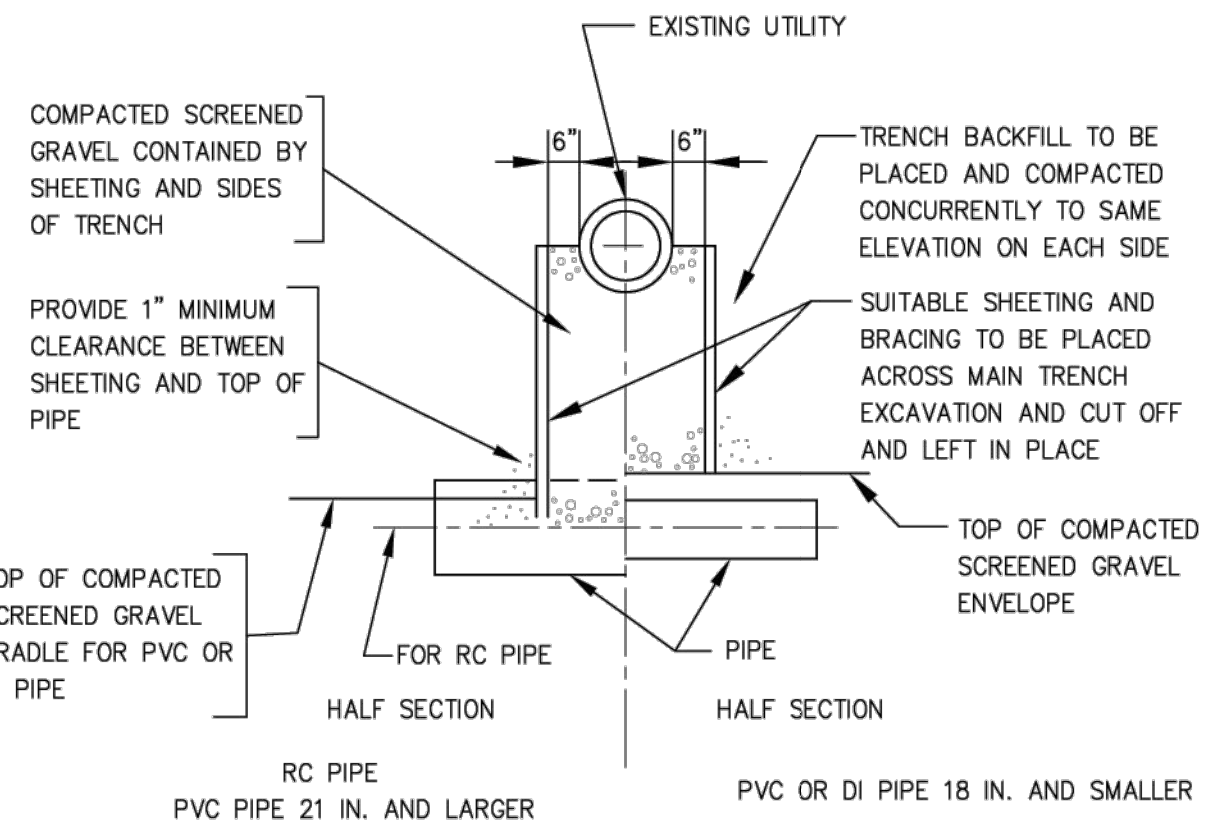
SEWER SERVICE SADDLE CONNECTION

NO SCALE



TYPE A

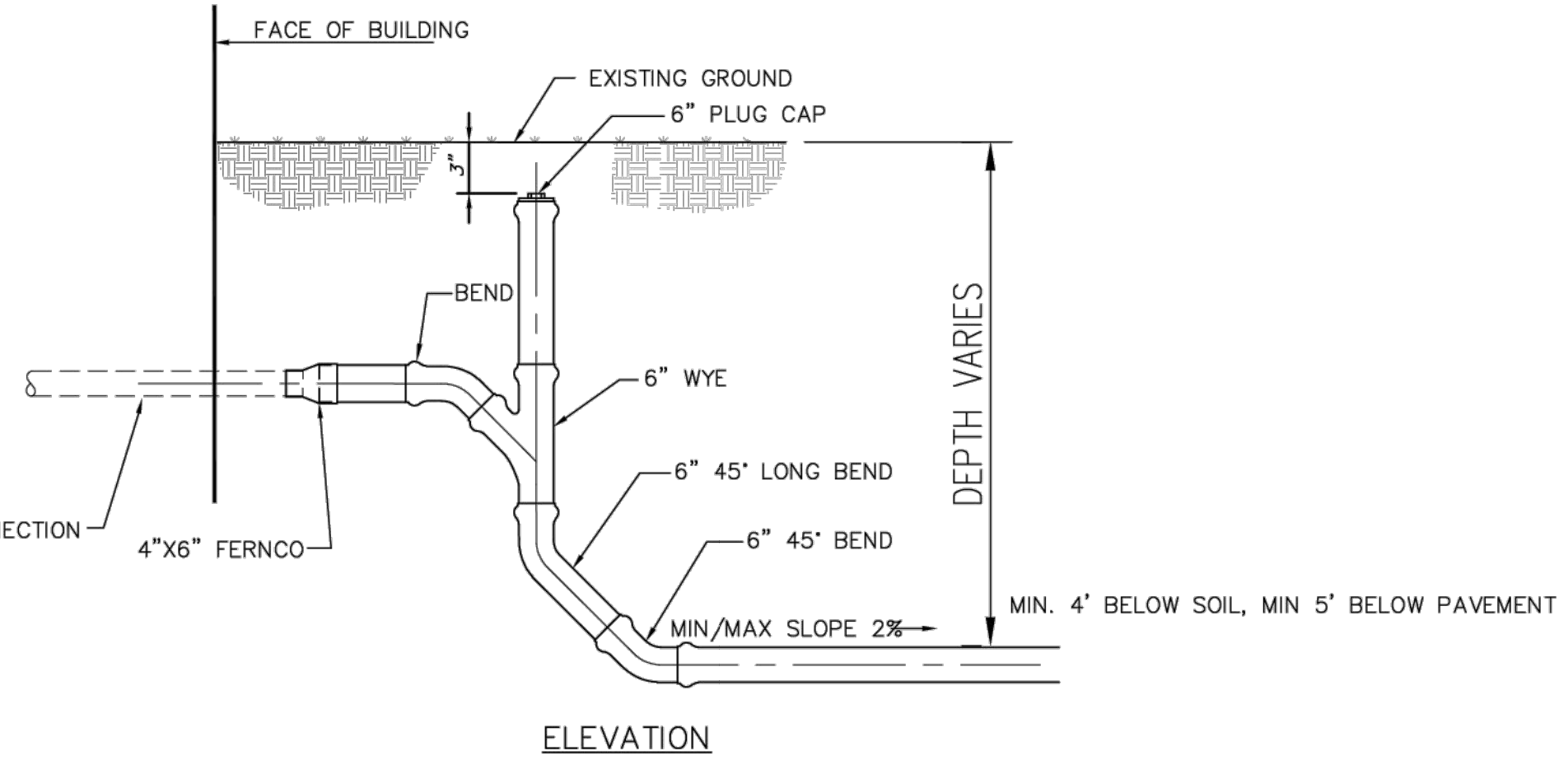
TYPE C



TYPE B

TYPICAL SUPPORTS FOR UTILITIES

NOT TO SCALE
2-1.8 (REV. 03-15-95)



ELEVATION

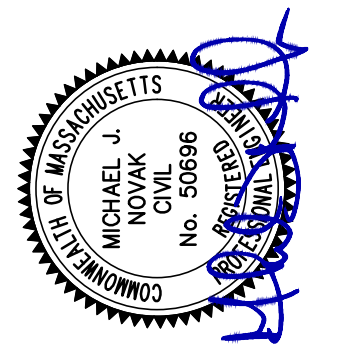
CLEAN OUT RISER FOR SHALLOW BUILDING CONNECTIONS

NO SCALE

ALL DETAILS ARE NOT TO SCALE

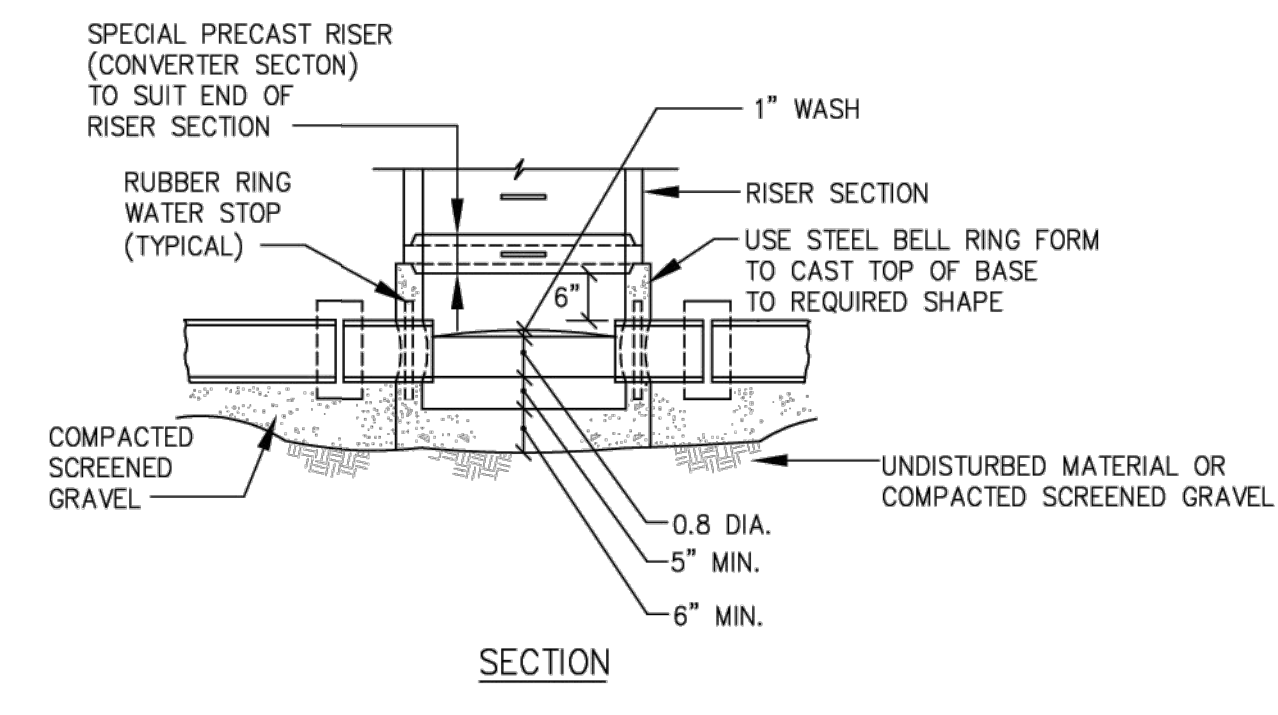
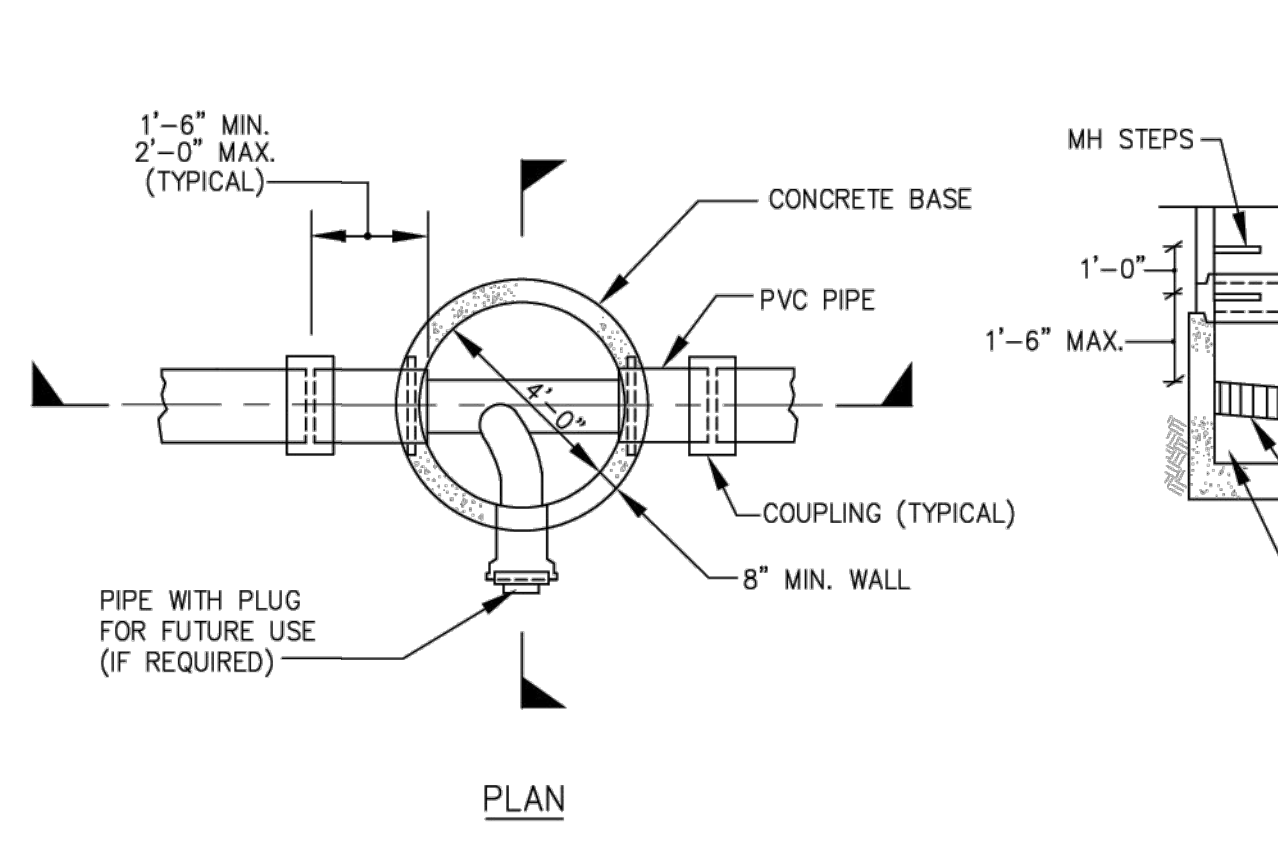
NOT FOR CONSTRUCTION

REVISIONS	DESCRIPTION
BY	
DATE	

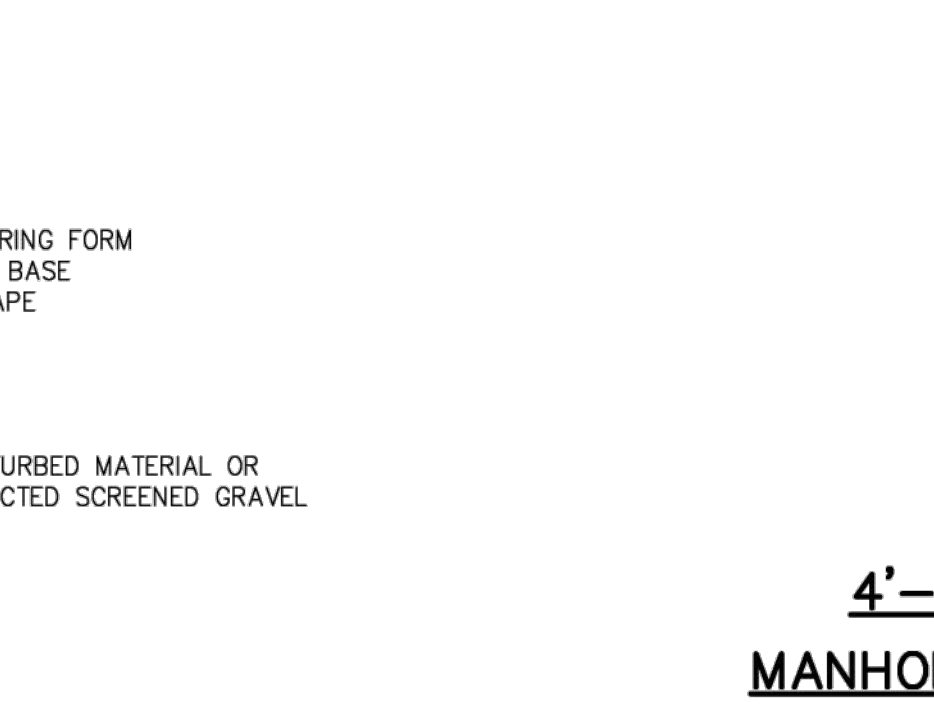
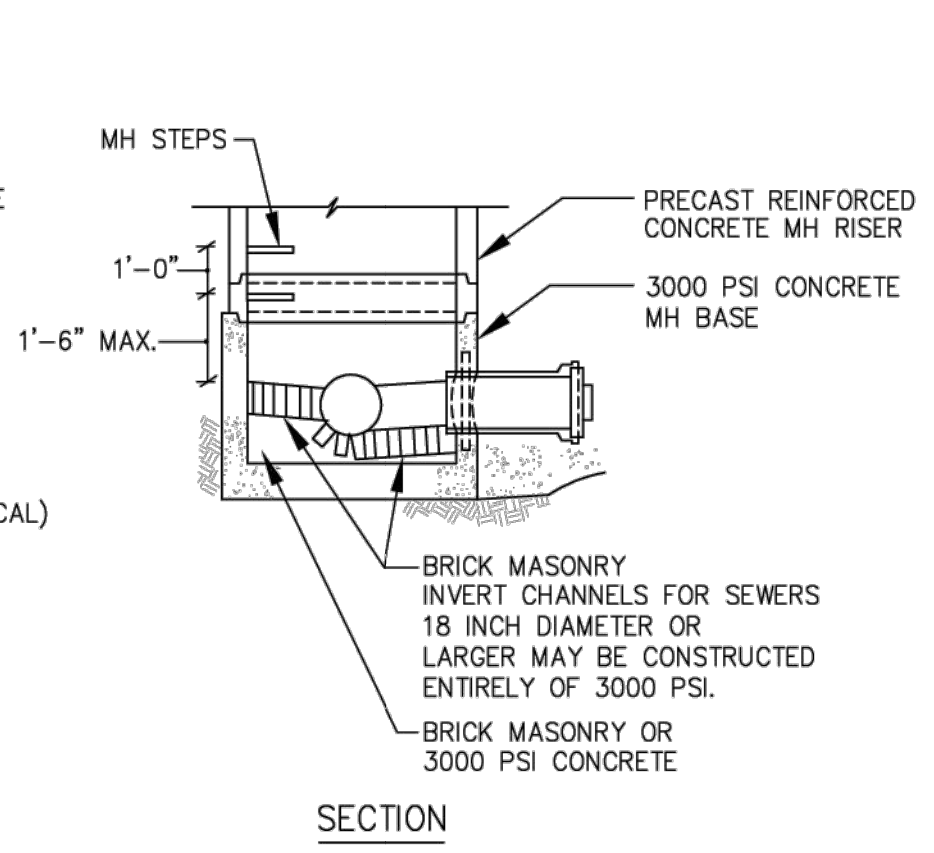


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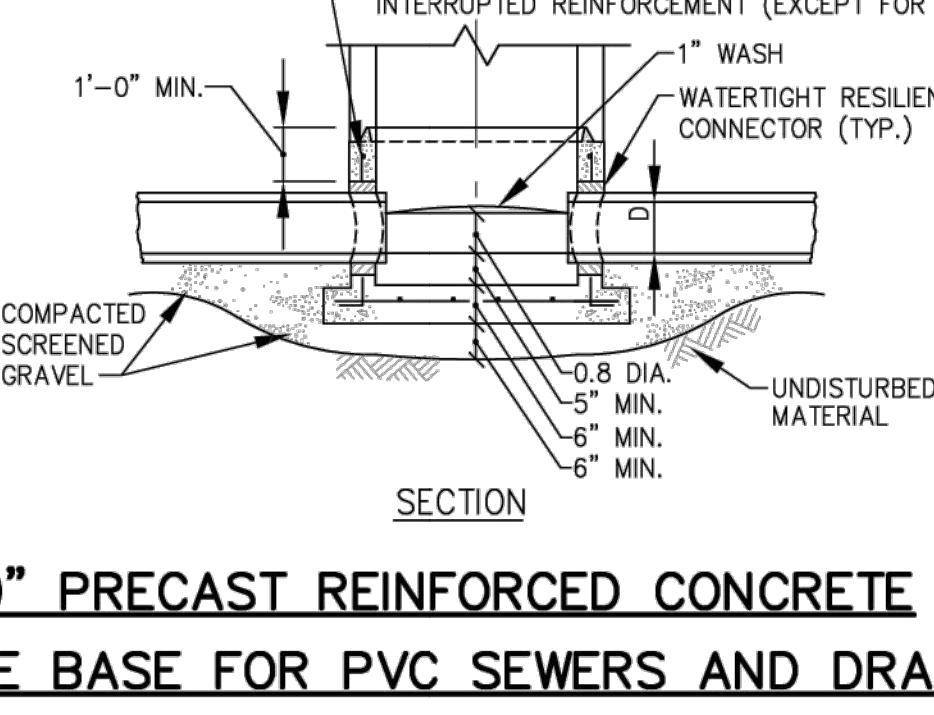
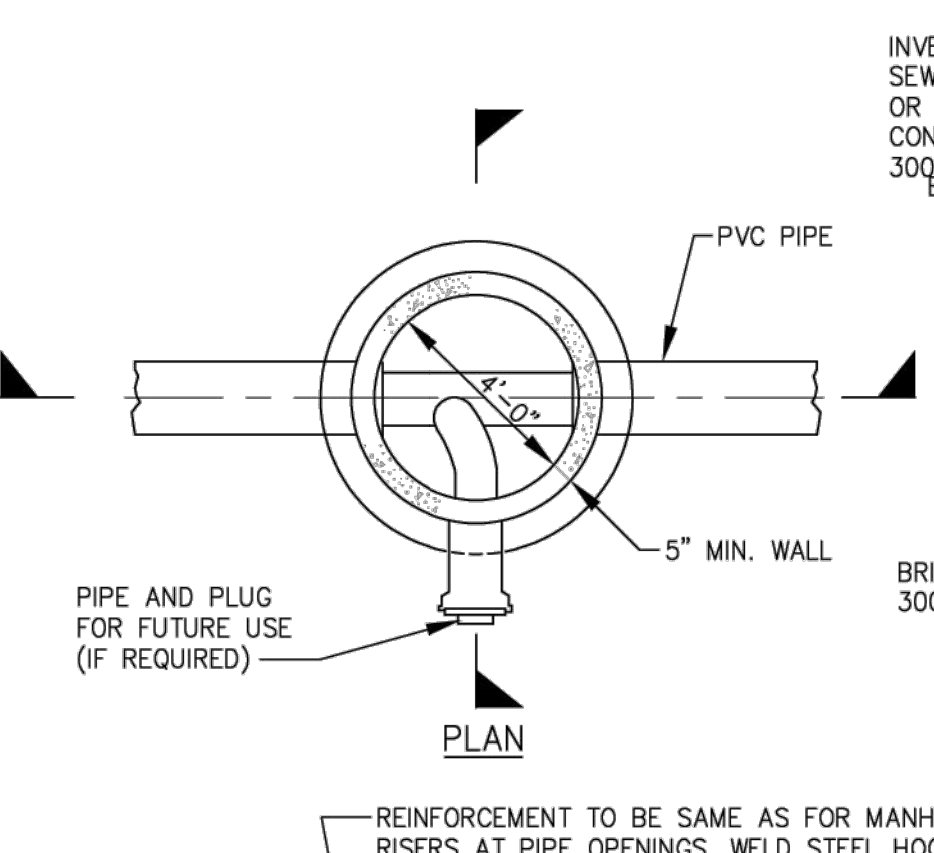
DETAILS LOCATED IN
LEXINGTON, MA
(MIDDLESEX COUNTY)
PREPARED FOR
SEAN MALONEY TRUSTEE



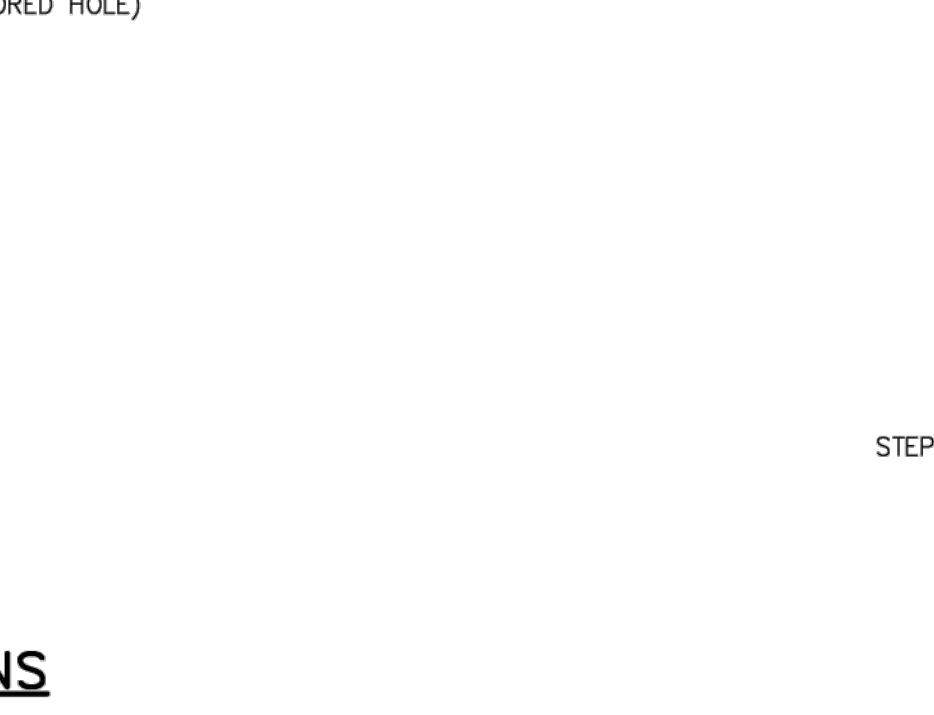
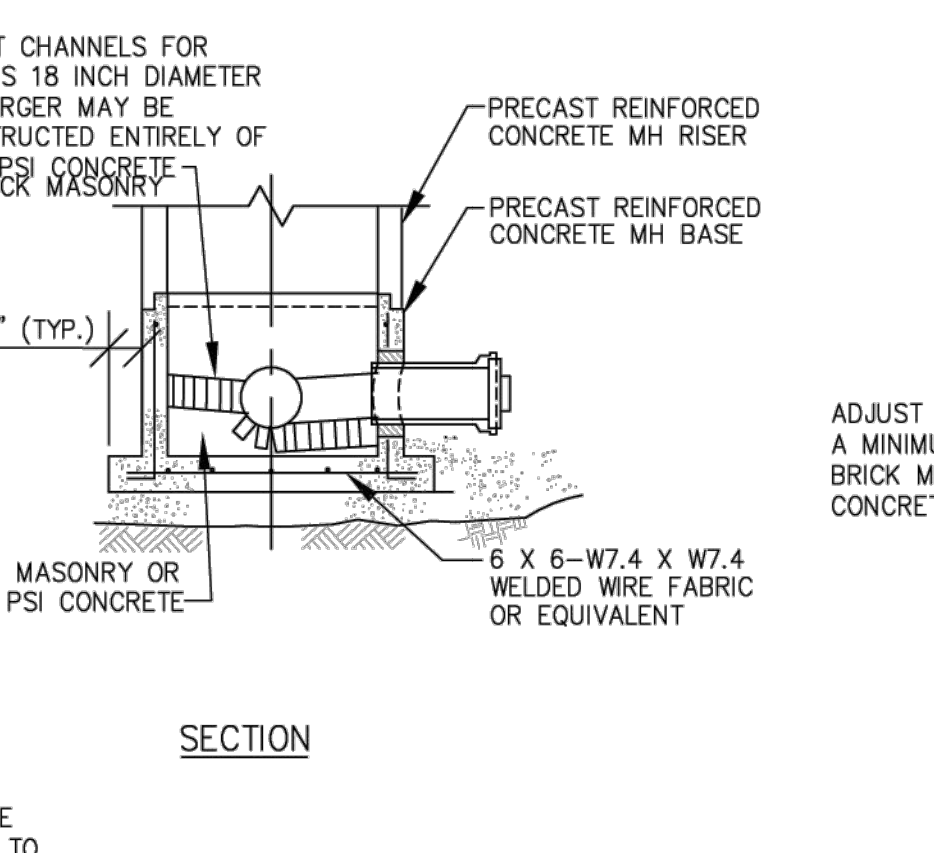
CAST-IN-PLACE CONCRETE BASE FOR PVC SEWERS
 NOT TO SCALE
 2-1.5.4 (REV. 03-15-95)



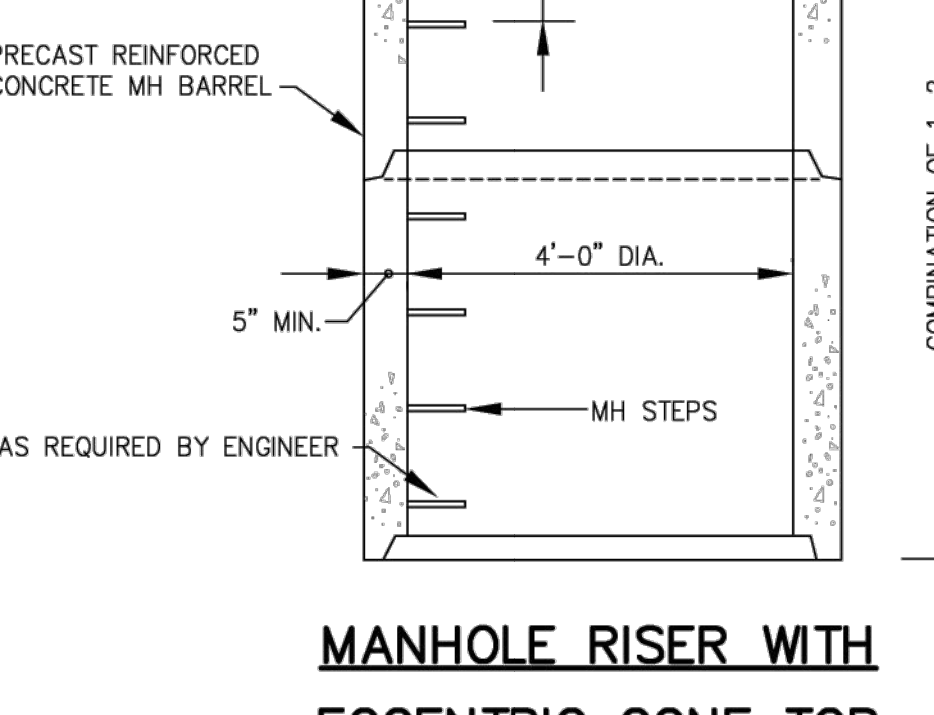
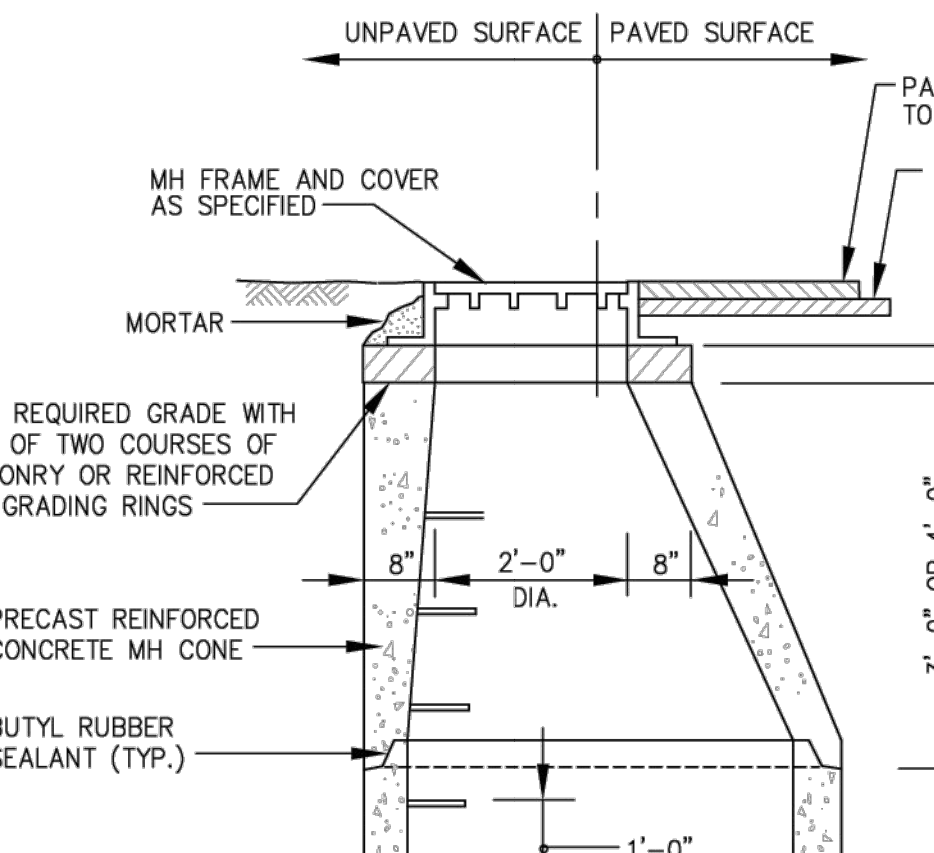
MANHOLE RISER WITH ECCENTRIC CONE TOP
 NOT TO SCALE
 2-1.5.41 (REV. 03-15-95)



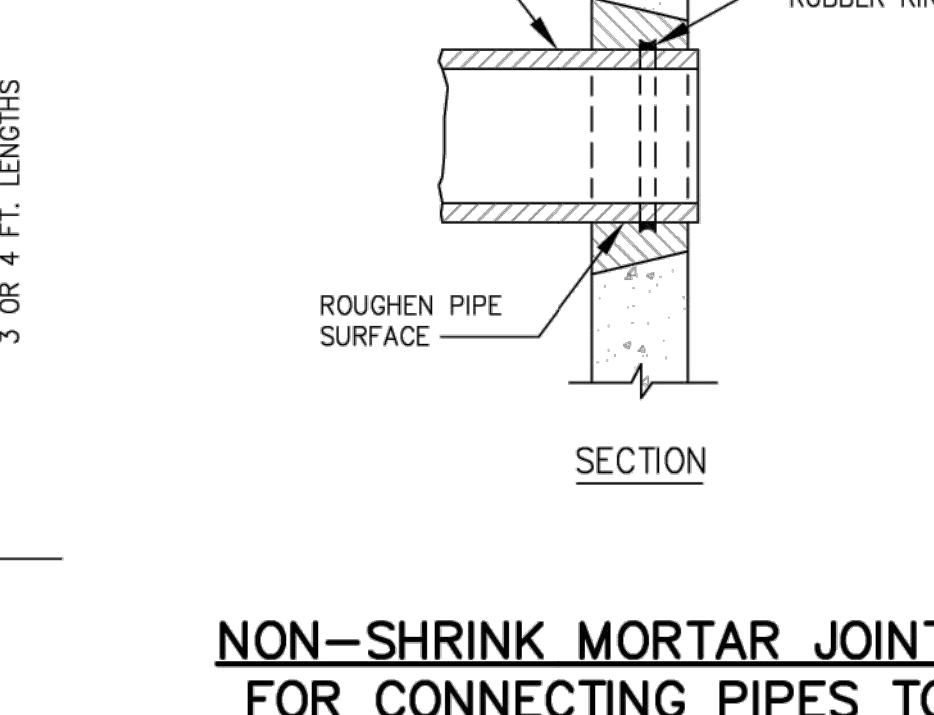
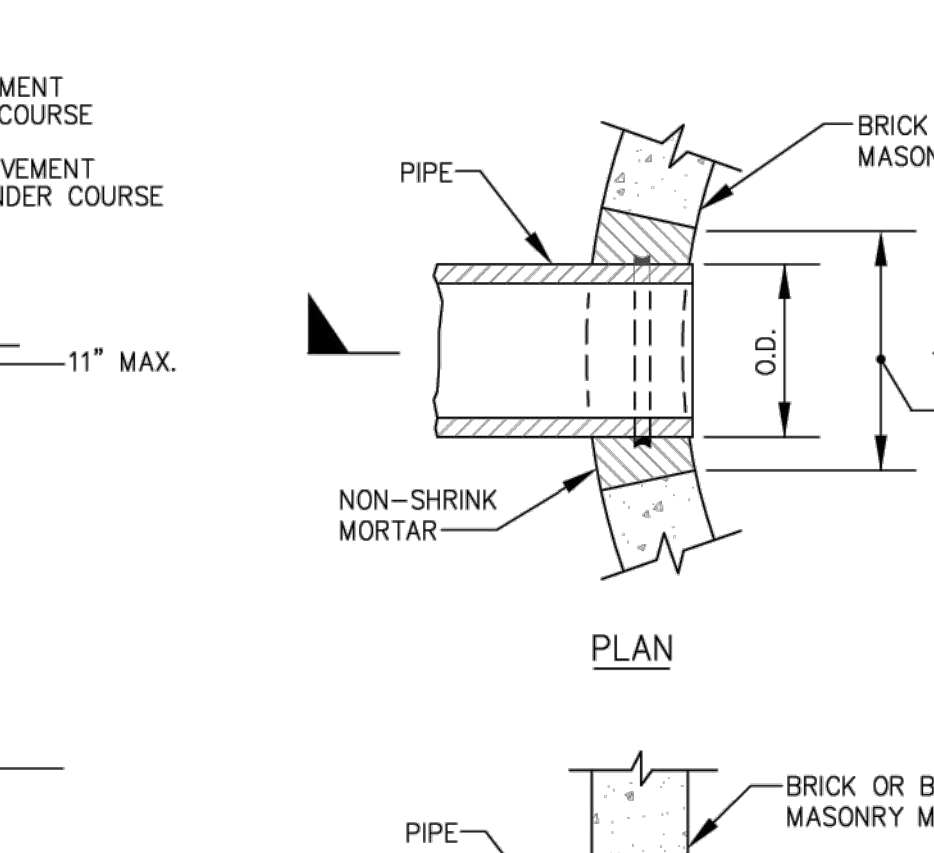
MANHOLE RISER WITH ECCENTRIC CONE TOP
 NOT TO SCALE
 2-1.5.41 (REV. 03-15-95)



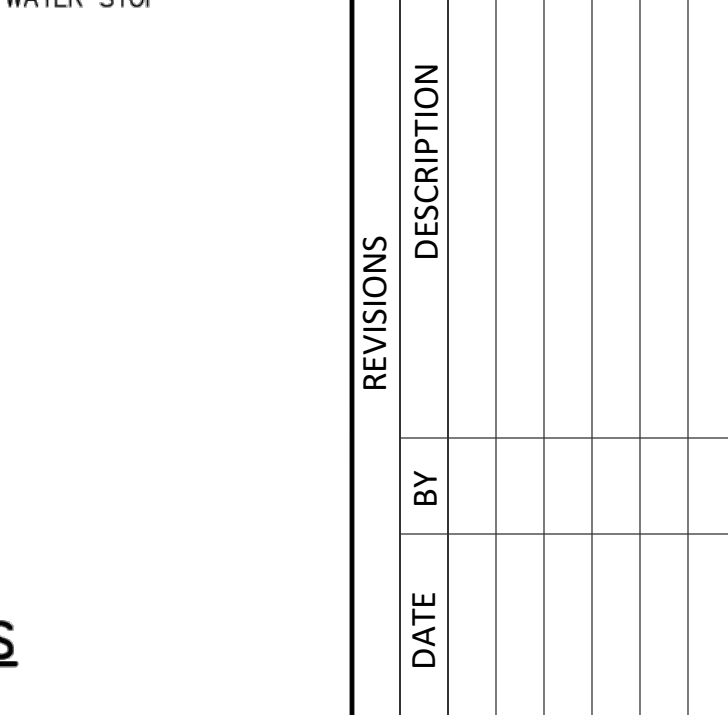
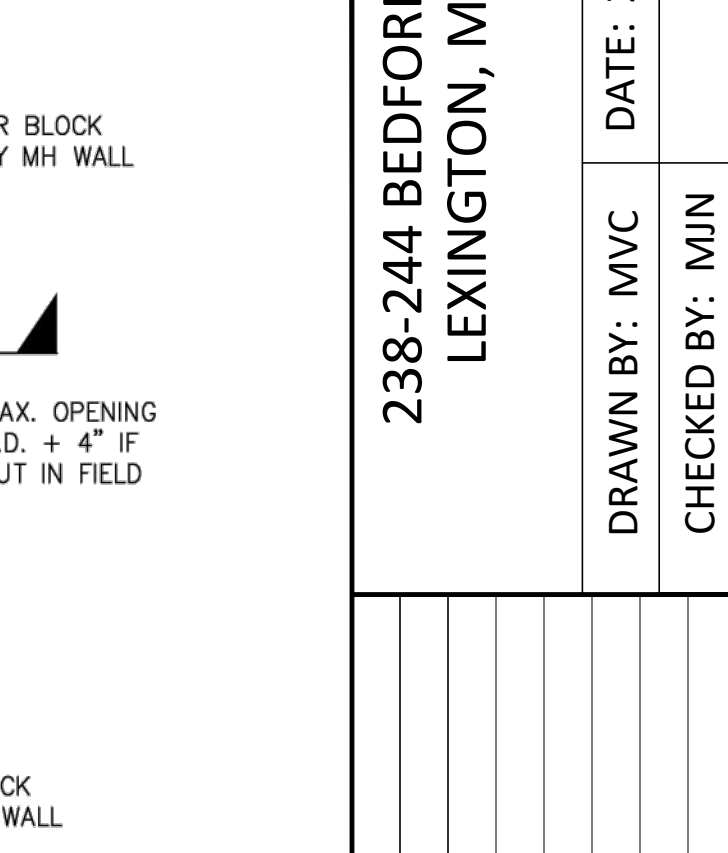
MANHOLE RISER WITH ECCENTRIC CONE TOP
 NOT TO SCALE
 2-1.5.41 (REV. 03-15-95)



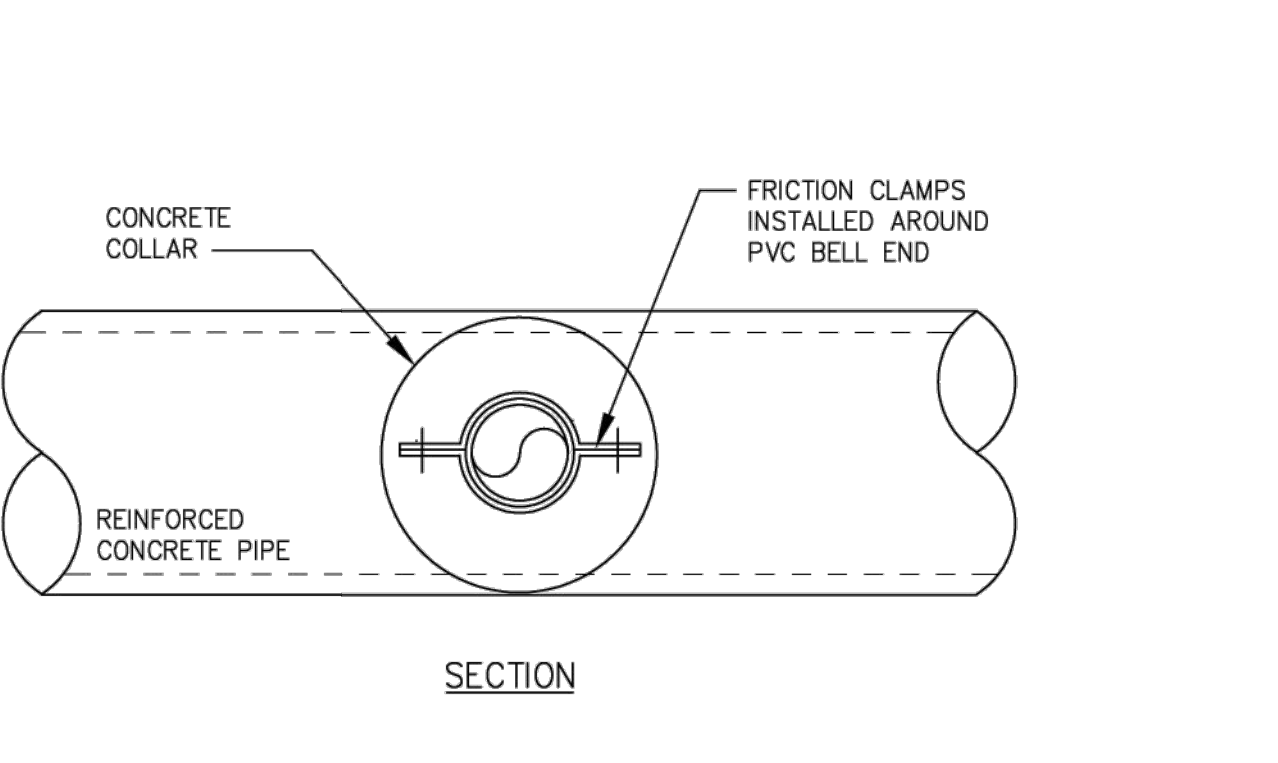
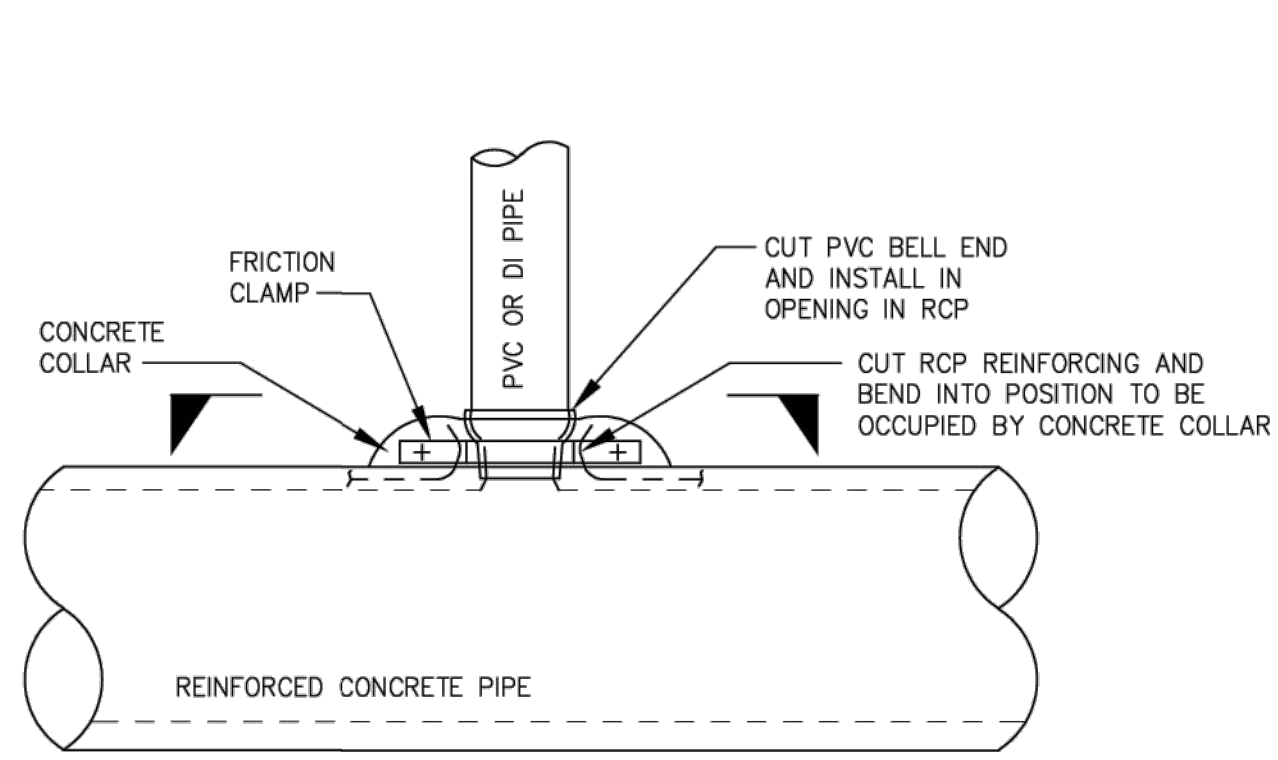
MANHOLE RISER WITH ECCENTRIC CONE TOP
 NOT TO SCALE
 2-1.5.41 (REV. 03-15-95)



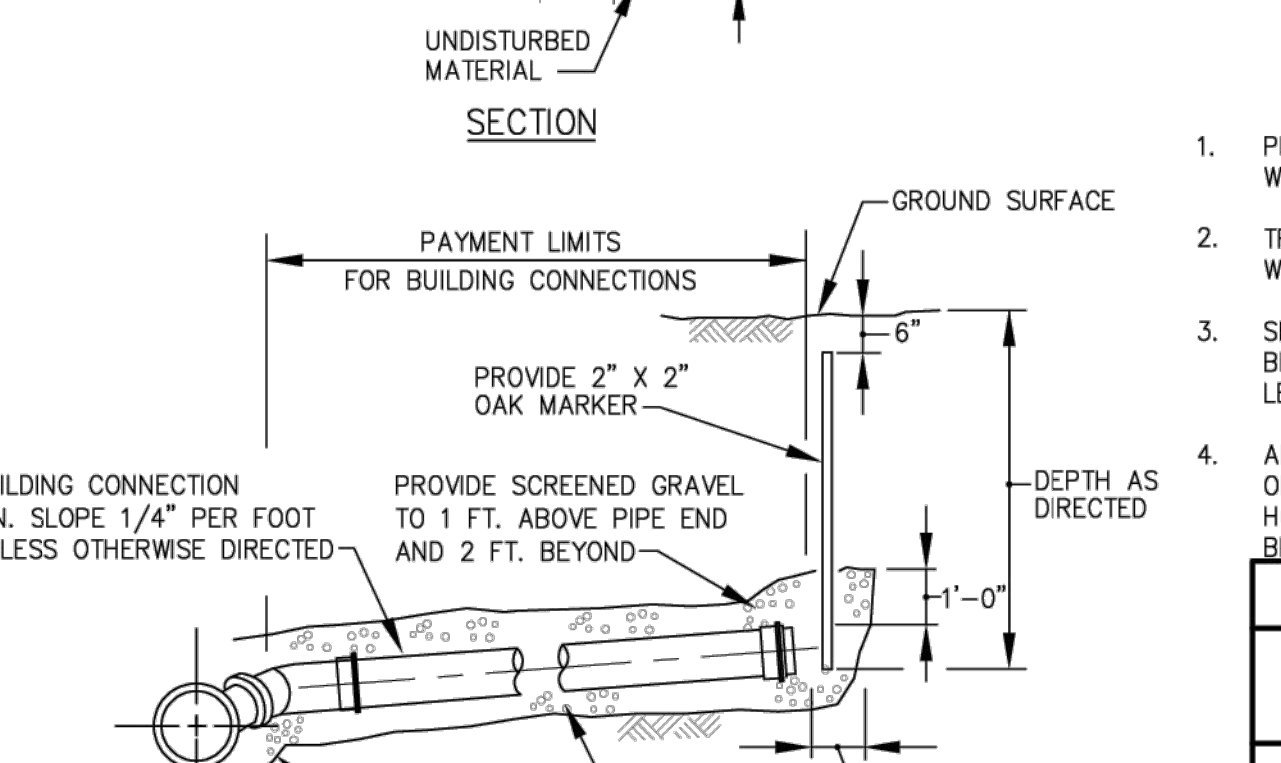
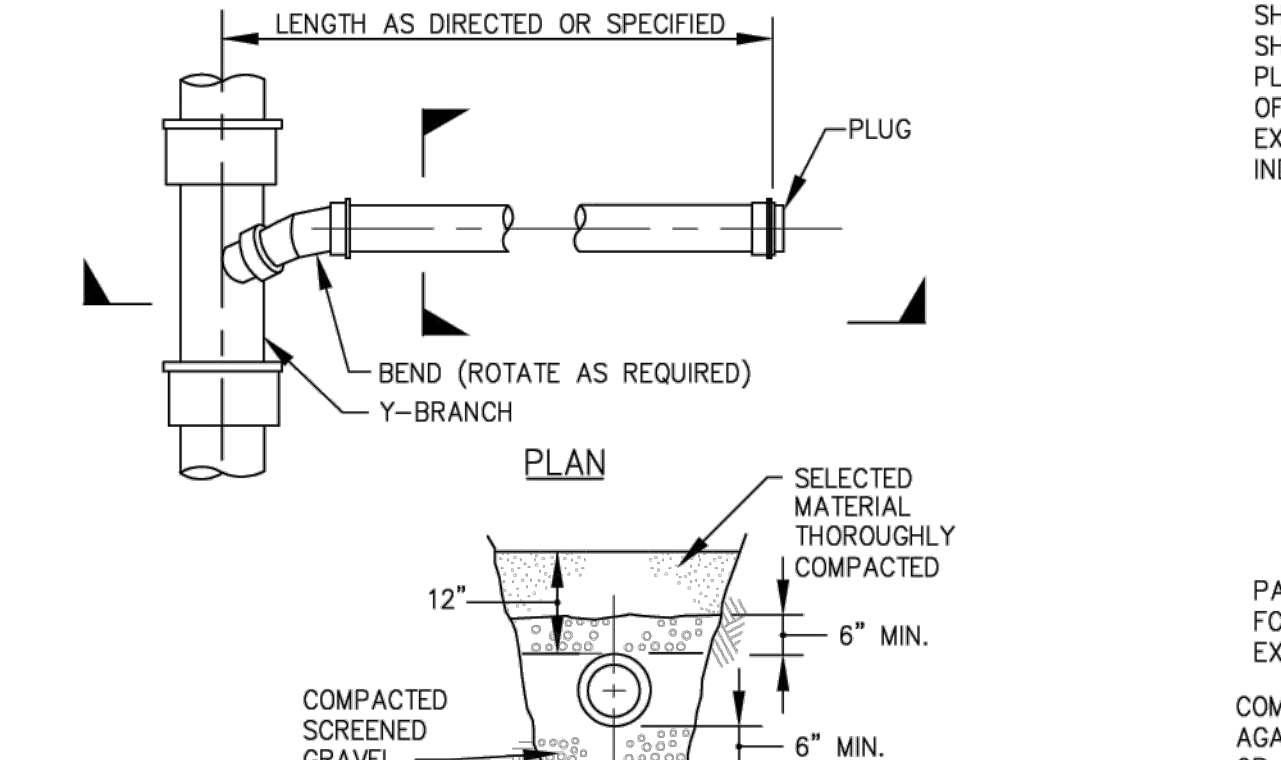
MANHOLE RISER WITH ECCENTRIC CONE TOP
 NOT TO SCALE
 2-1.5.41 (REV. 03-15-95)



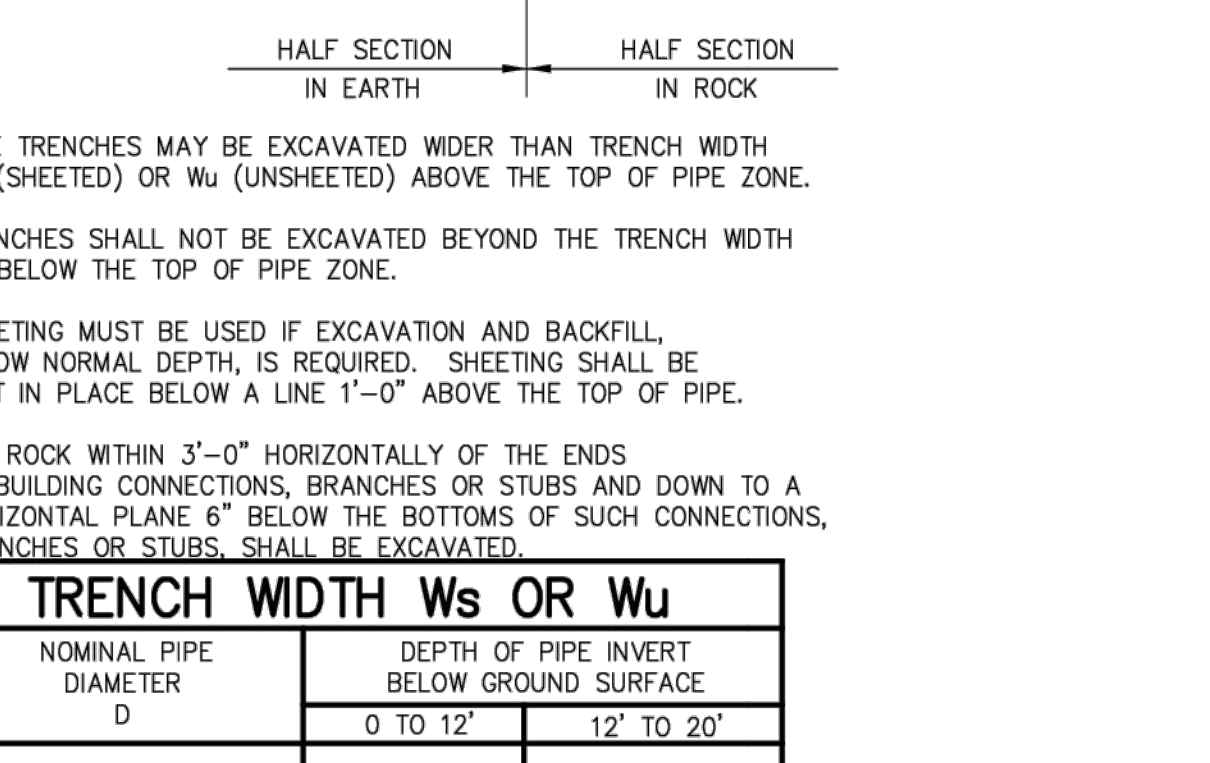
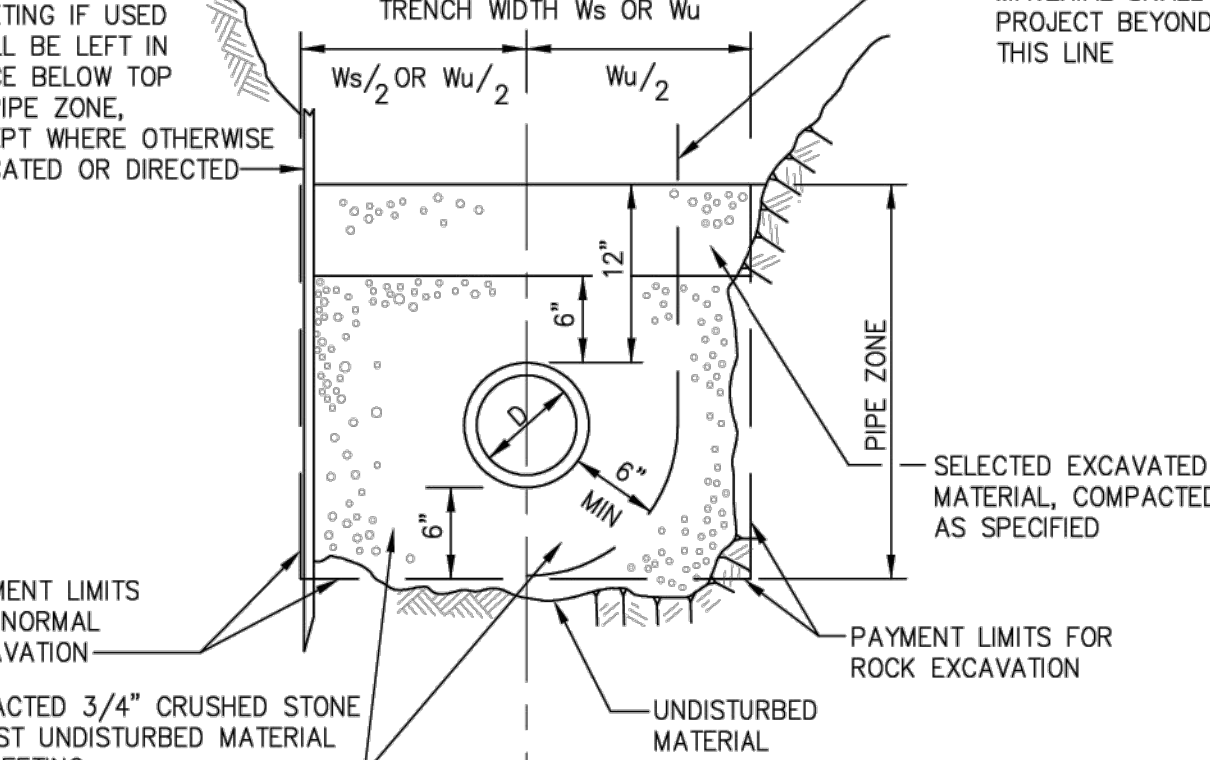
MANHOLE RISER WITH ECCENTRIC CONE TOP
 NOT TO SCALE
 2-1.5.41 (REV. 03-15-95)



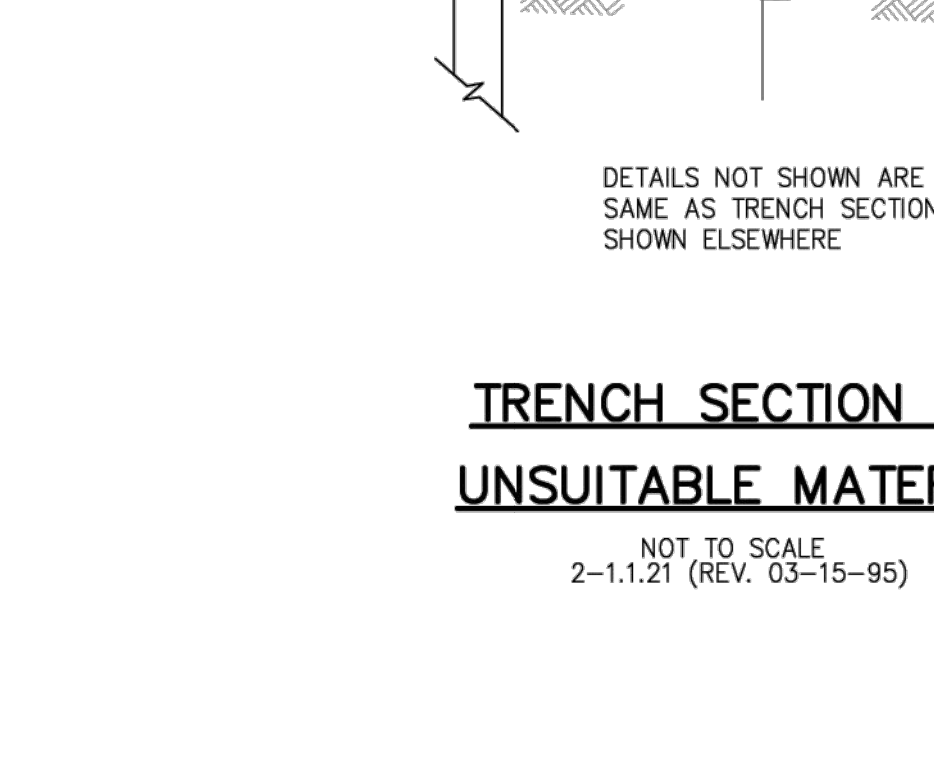
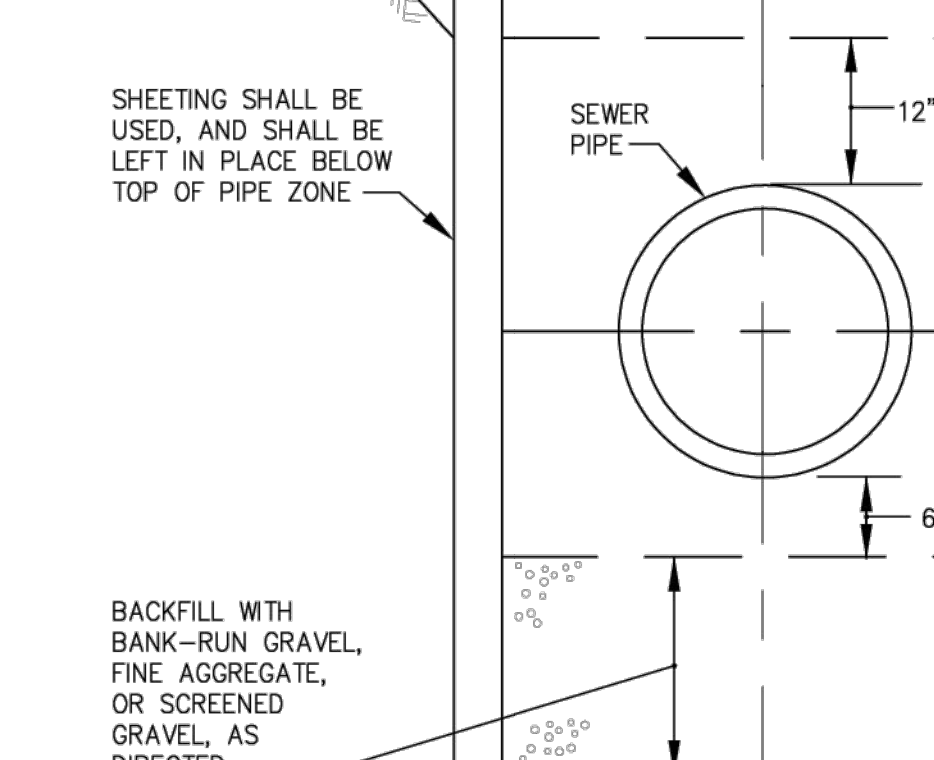
T-BRANCH FOR BUILDING OR CHIMNEY CONNECTION IN RC PIPE (PVC OR DI PIPE BRANCH)
 NTS
 2-1.2.15 (REV. 08-17-95)



BUILDING CONNECTION FOR DI OR PVC PIPE
 NOT TO SCALE
 2-1.2.1 (REV. 03-15-95)



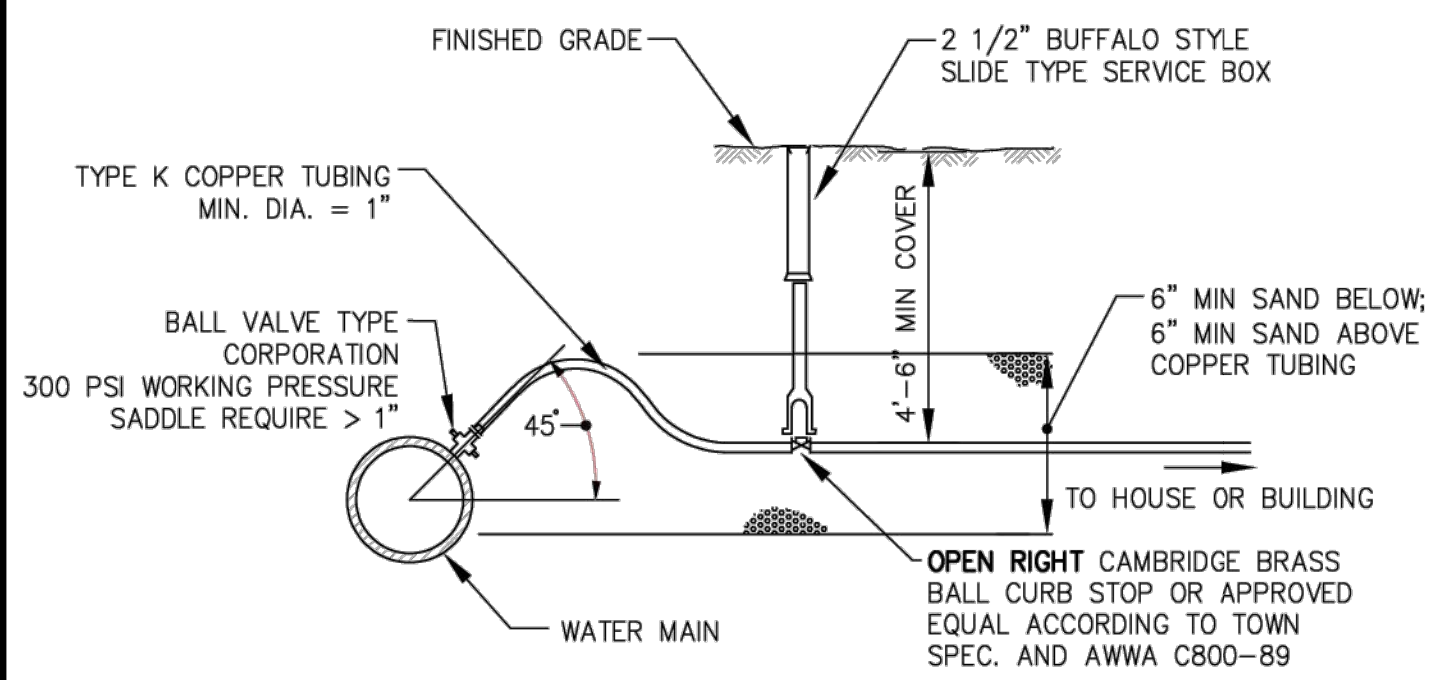
TRENCH SECTION FOR PVC PIPE
 NOT TO SCALE
 2-1.1.21 (REV. 03-15-95)



TRENCH SECTION IN UNSUITABLE MATERIAL
 NOT TO SCALE
 2-1.1.21 (REV. 03-15-95)



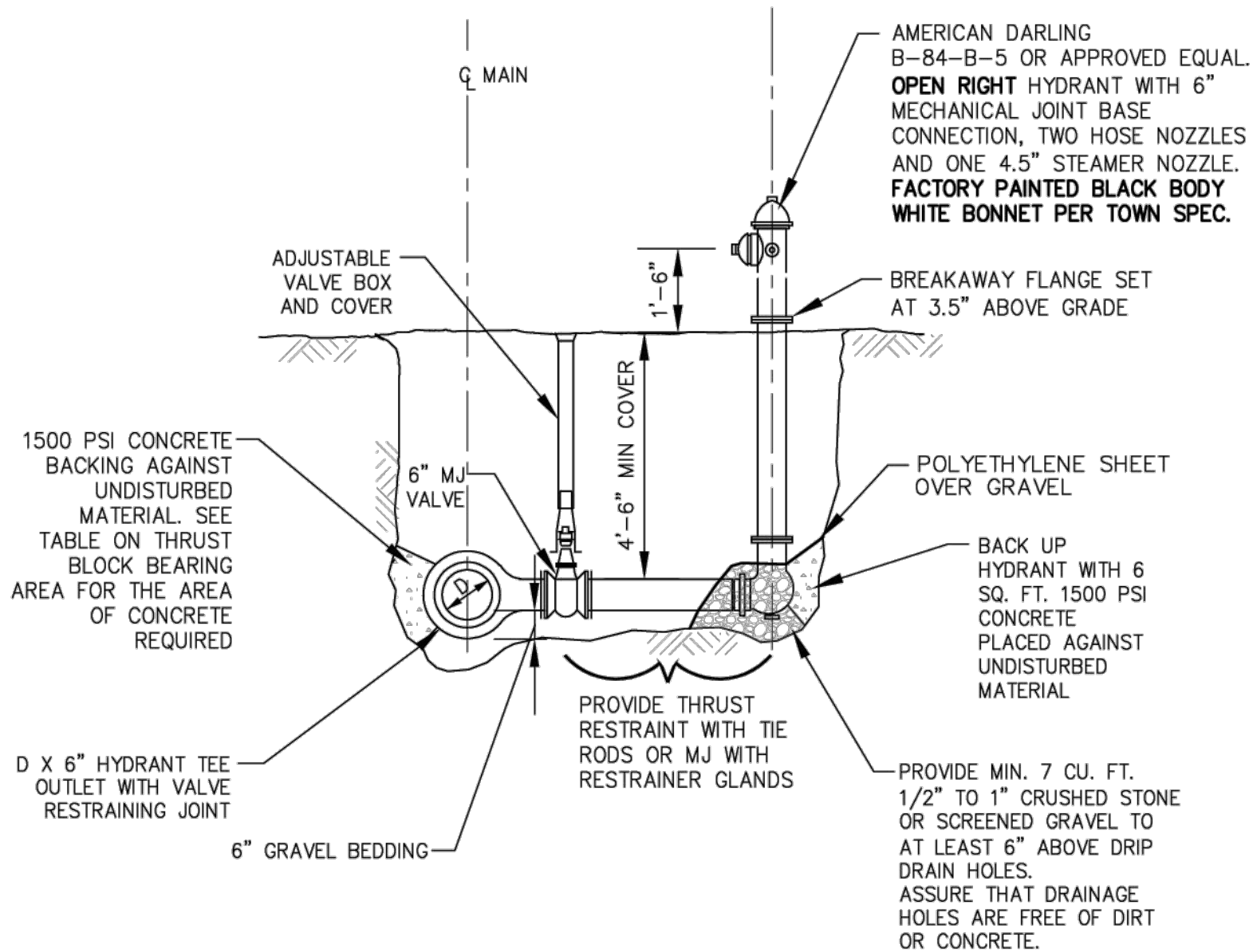
TRENCH SECTION IN UNSUITABLE MATERIAL
 NOT TO SCALE
 2-1.1.21 (REV. 03-15-95)



- NOTES:
1. A 10' HORIZONTAL SEPARATION MUST BE MAINTAINED FROM THE SEWER SERVICE UNLESS OTHERWISE AUTHORIZED BY THE ENGINEERING DIVISION.
 2. FOR SERVICE RENEWALS, TUBING SHALL BE REPLACED TO THE PROPERTY LINE UNLESS OTHERWISE AUTHORIZED BY THE ENGINEERING DIVISION.
 3. WHERE AN EXISTING SERVICE IS BEING REPLACED TO THE MAIN, THE OLD SERVICE SHALL BE CAPPED AT THE CORPORATION.
 4. THE WATER AND SEWER DIVISION MUST BE NOTIFIED IF LEAD OR STEEL SERVICES ARE ENCOUNTERED.
 5. SERVICE TAPS SHALL BE PERFORMED BY CONTRACTOR OR SUBCONTRACTOR AND ARE SUBJECT TO APPROVAL BY THE WATER DIVISION.
 6. SERVICE TAPS GREATER THAN 1" REQUIRE A SADDLE AND ARE SUBJECT TO THE APPROVAL OF THE ENGINEERING DIVISION.
 7. USE QUICK STYLE COMPRESSION CONNECTIONS FOR ALL SERVICE BRASS.
 8. FOR 1" CONNECTIONS TO EXIST. 3/4" CURB STOP CONNECT ADAPTER DIRECTLY TO CURB STOP. MOST EXISTING CURB STOPS REQUIRE 3/4" X 1" FEMALE ADAPTERS FOR NEW ENGLAND STYLE THREADS.
 9. ALL CONNECTIONS TO EXIST. CURB STOPS SHALL REPLACE SERVICE BOXES IF NOT BUFFALO STYLE.
 10. WATER SERVICE SHALL INCLUDE A BALL VALVE WITH COMPRESSION FITTING JUST BEFORE METER.

WATER SERVICE CONNECTION (1" MIN TO 2" MAX)

NTS

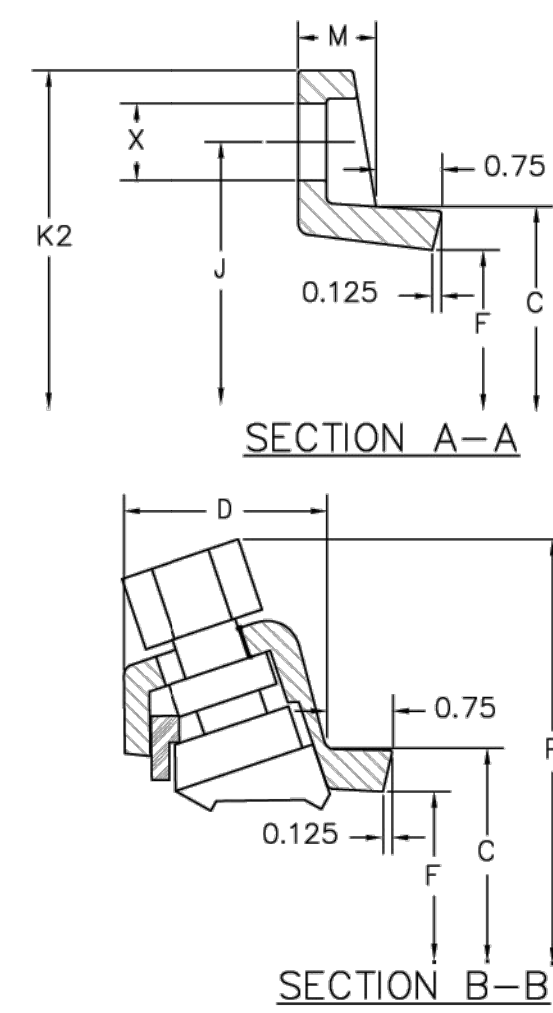
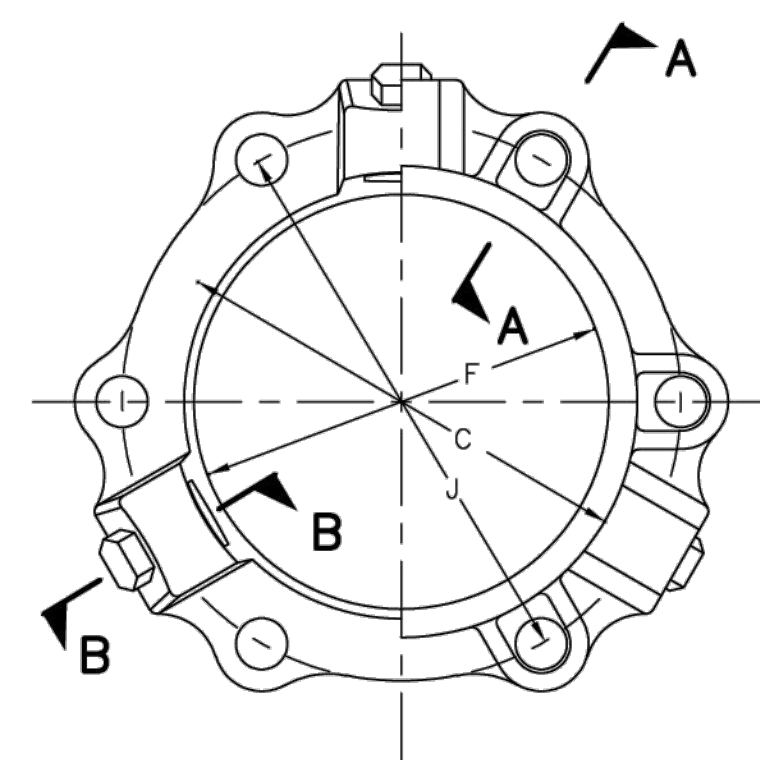


TYPICAL HYDRANT ASSEMBLY WITH DRAIN

NTS

NOTES:

1. SIZES 3" THROUGH 24" ARE LISTED BY UNDERWRITER'S LABORATORIES, INC. CATEGORY HJKF FOR USE ON DUCTILE IRON PIPE. THE LISTING FILE NUMBER IS EX2836.
2. SIZES 3" THROUGH 12" ARE FACTORY MUTUAL APPROVED.
3. GLAND AND COLLAR BOLTS ARE MADE OF DUCTILE IRON CONFORMING TO ASTM A536-80. WEDGES ARE MADE OF DUCTILE IRON HEAT TREATED TO A MINIMUM BRINELL HARDNESS OF 370.
4. GLAND CONFORMS TO THE APPLICABLE REQUIREMENTS OF ANSI/AWWA A21.11/C111 AND ANSI/AWWA C153/A21.53 OF THE LATEST REVISION.
5. FOR TEST PRESSURES ABOVE THE RATED PRESSURES SHOWN, CONSULT THE ENGINEERING DEPARTMENT OF EBAA IRON INC. FOR RECOMMENDATIONS. EBAA-SEAL GASKETS ARE PROVIDED WITH THE 30" THROUGH 48" MEGALUGS. ALSO PROVIDED WITH THE 42" AND 48" SIZES ARE EXTRA LENGTH T-BOLTS. THE GASKETS AND BOLTS ARE PROVIDED TO FACILITATE EASIER ASSEMBLY OF THE MECHANICAL JOINT AND ARE REQUIRED ON THE ABOVE REFERENCED SIZES TO OBTAIN THE LISTED PRESSURE RATINGS WITH A 2:1 SAFETY FACTOR.



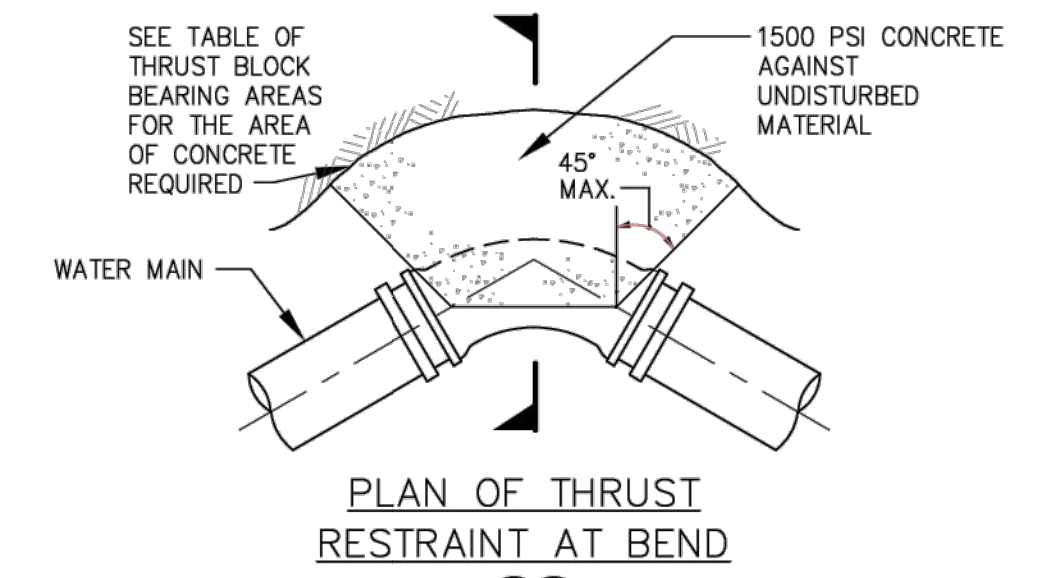
SERIES	PRESSURE RATING	C	D	F	J	M	X	NO. OF WEDGES	NO. OF BOLTS	P	P (W/ NUTS TWISTED OFF)	K2
1103	350	4.84	2.27	4.06	6.19	0.62	3/4	2	4	9.36	9.06	7.69
1104	350	5.92	2.27	4.90	7.50	0.75	7/8	2	4	10.20	9.90	9.12
1106	350	8.02	2.27	7.00	9.50	0.88	7/8	3	6	12.30	12.00	11.12
1108	350	10.17	2.31	9.15	11.75	1.00	7/8	4	6	14.45	14.15	13.37
1110	350	12.22	2.37	11.20	14.00	1.00	7/8	6	8	16.50	16.20	15.62
1112	350	14.32	2.37	13.30	16.25	1.25	7/8	8	8	18.60	18.30	17.88
1114	350	16.40	2.69	15.44	18.75	1.50	7/8	10	10	20.64	20.94	20.25
1116	350	18.50	2.69	17.54	21.00	1.56	7/8	12	12	22.60	22.90	22.50
1118	250	20.60	2.69	19.64	23.25	1.63	7/8	12	12	24.70	25.00	24.75
1120	250	22.70	2.69	21.74	25.50	1.69	7/8	14	14	26.80	27.10	27.00
1124	250	26.90	3.20	25.94	30.00	1.81	7/8	16	16	32.94	32.64	31.50
1130	250	33.29	3.20	32.17	36.88	2.25	1 1/8	20	20	39.17	38.87	39.12
1136	250	39.59	3.20	38.47	43.75	2.25	1 1/8	24	24	45.47	45.17	46.00
1142	250	45.79	4.56	44.67	50.62	3.88	1 3/8	28	28	55.87	55.57	53.48
1148	250	52.09	4.56	50.97	57.50	3.88	1 3/8	32	32	62.17	61.87	60.36

MEGALUG DETAIL

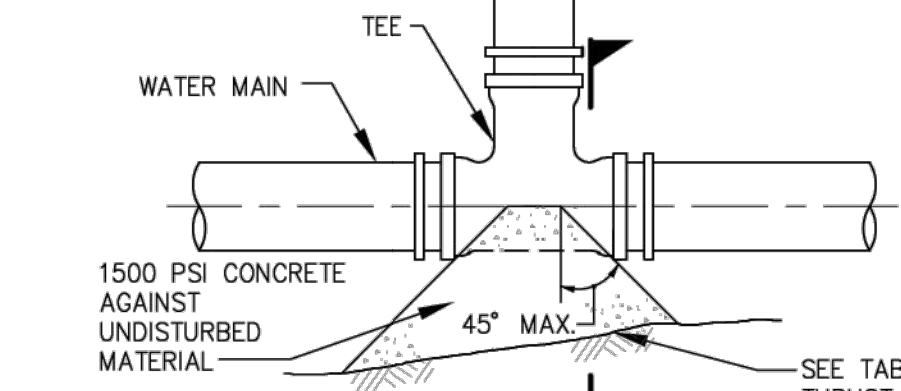
N.T.S.

FITTING	BEARING AREA FOR VARIOUS DIAMETERS					
	4"	6"	8"	10"	12"	16"
1/32 BEND (11 1/4')	2 S.F.	2 S.F.	2 S.F.	2 S.F.	3 S.F.	5 S.F.
1/16 BEND (22 1/2')	2 S.F.	2 S.F.	3 S.F.	3 S.F.	4 S.F.	5 S.F.
1/8 BEND (45')	2 S.F.	2 S.F.	3 S.F.	5 S.F.	7 S.F.	12 S.F.
1/4 BEND (90')	3 S.F.	3 S.F.	6 S.F.	9 S.F.	12 S.F.	21 S.F.
TEE/PLUG	2 S.F.	3 S.F.	4 S.F.	6 S.F.	9 S.F.	16 S.F.

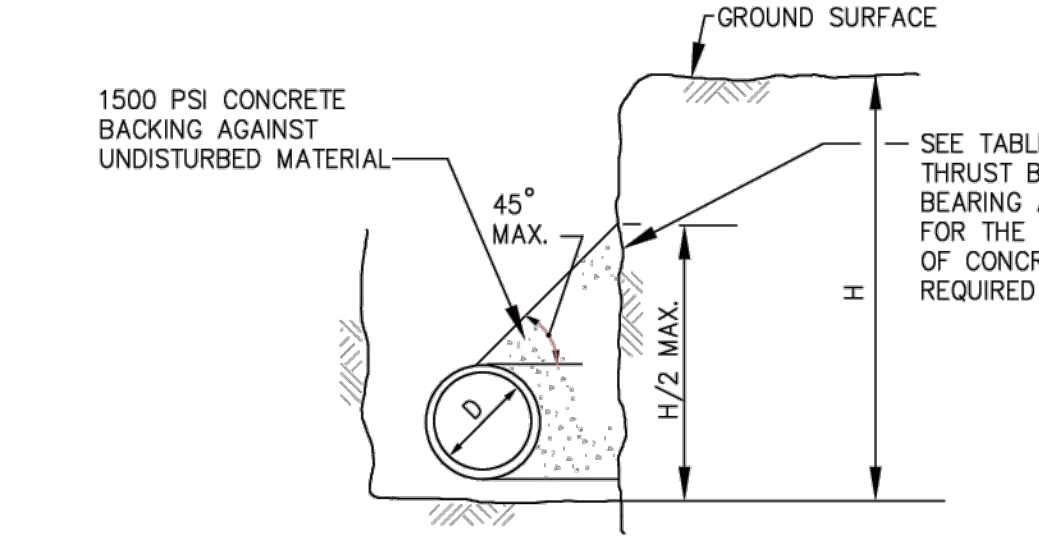
- NOTES:
1. ALL ELBOWS, BENDS, AND CAPS SHALL BE BRACED WITH CONCRETE THRUST BLOCKS. JOINTS SHALL NOT BE ENCASED IN CONCRETE.
 2. BEARING AREA IS AREA OF CONCRETE IN CONTACT WITH WALL OF TRENCH (H X L).
 3. HEIGHT AND LENGTH AS REQUIRED TO OBTAIN BEARING AREA SHOWN IN THE TABLE W/ H APPROX. 1/2 L.
 4. THRUST BLOCK SIZING BASED ON 150 PSI WATER PRESSURE AND 2000 PSI SOIL BEARING CAPACITY.



PLAN OF THRUST RESTRAINT AT BEND



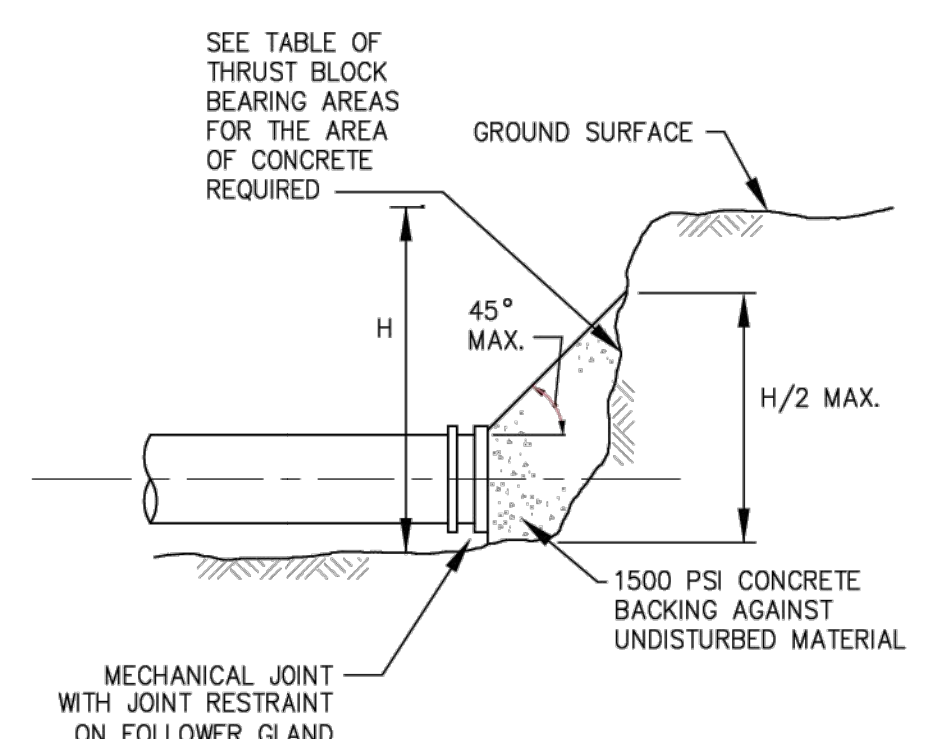
PLAN OF THRUST RESTRAINT AT TEE



THRUST BLOCK SECTION

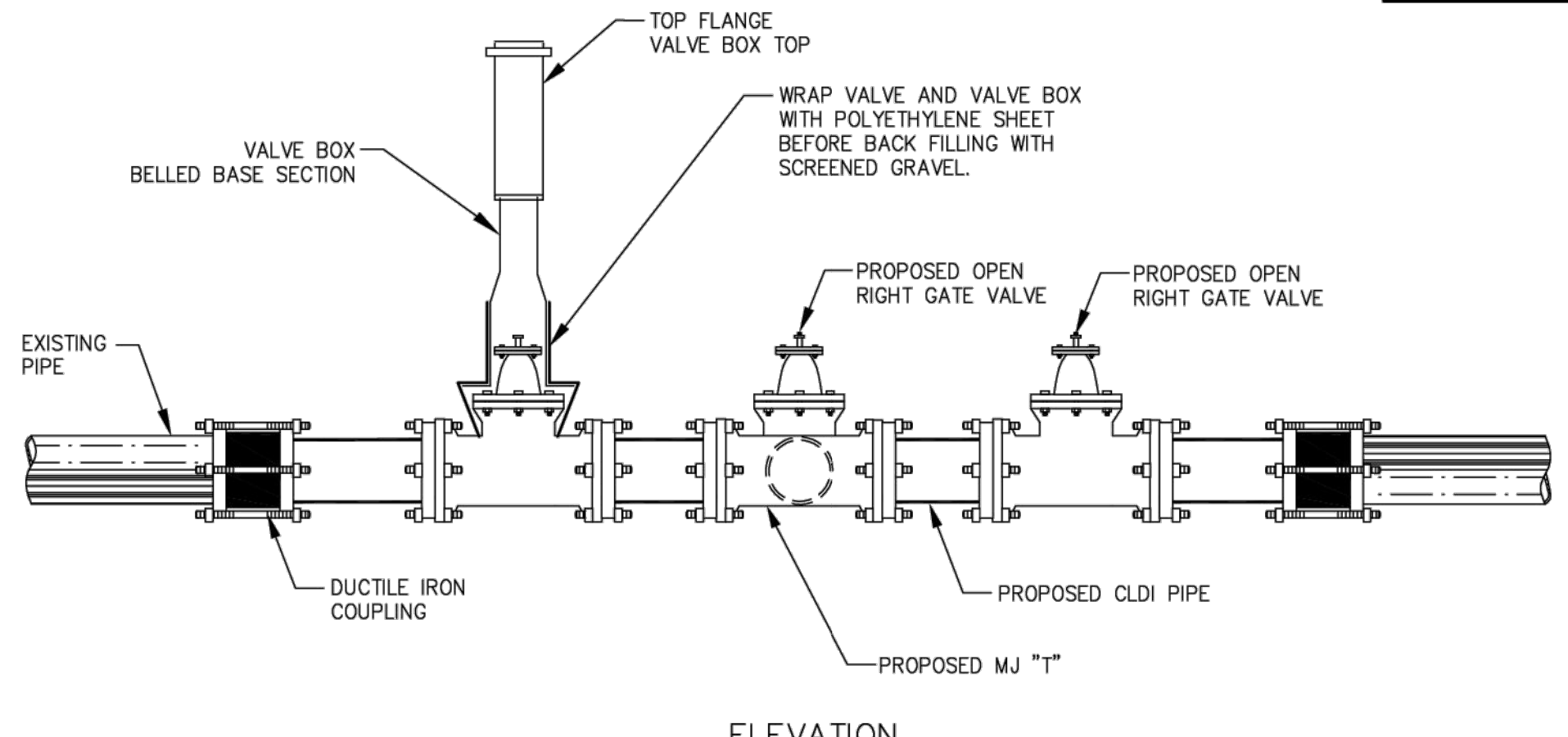
THRUST RESTRAINT AT FITTINGS

NTS

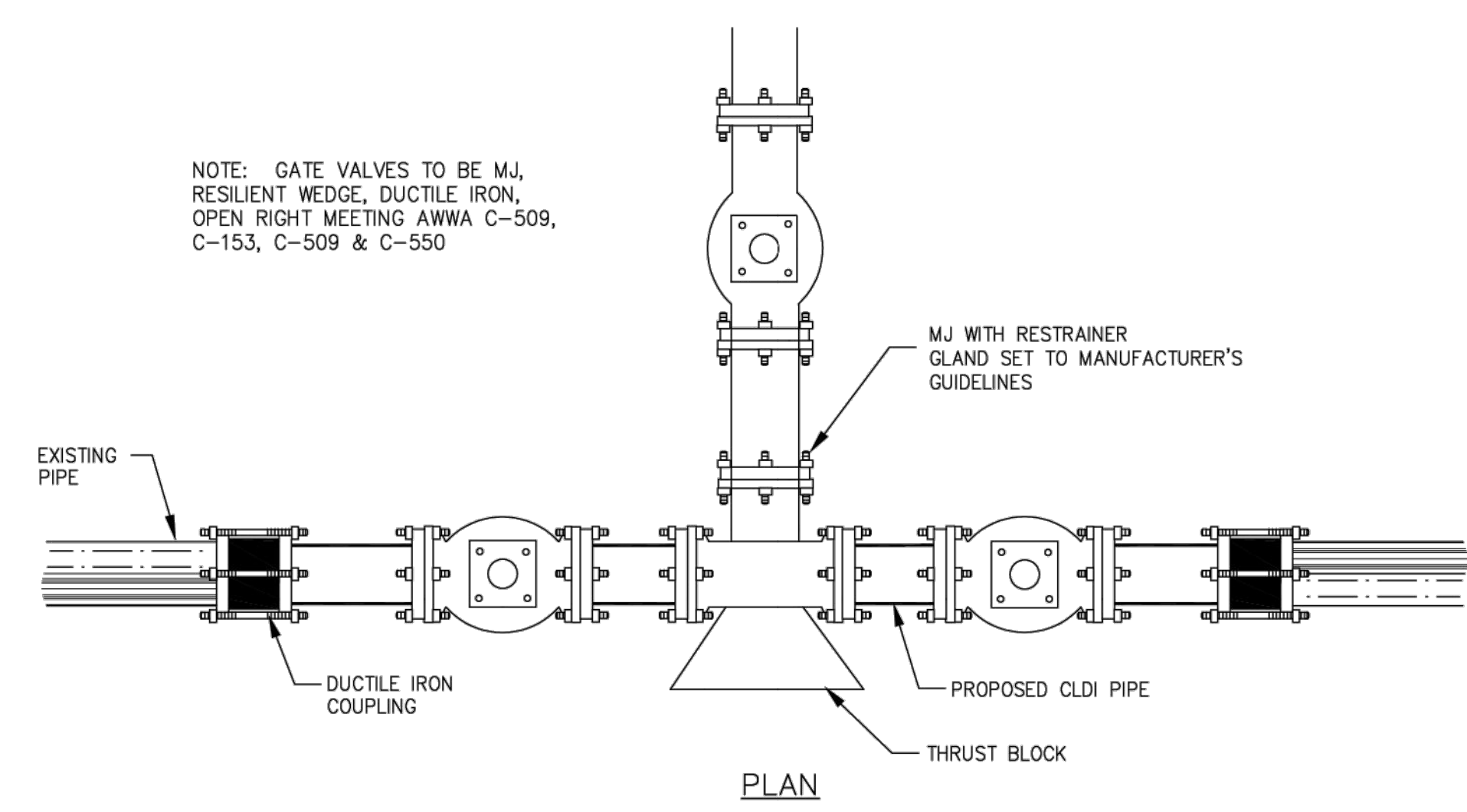


THRUST RESTRAINT AT PLUG

NTS



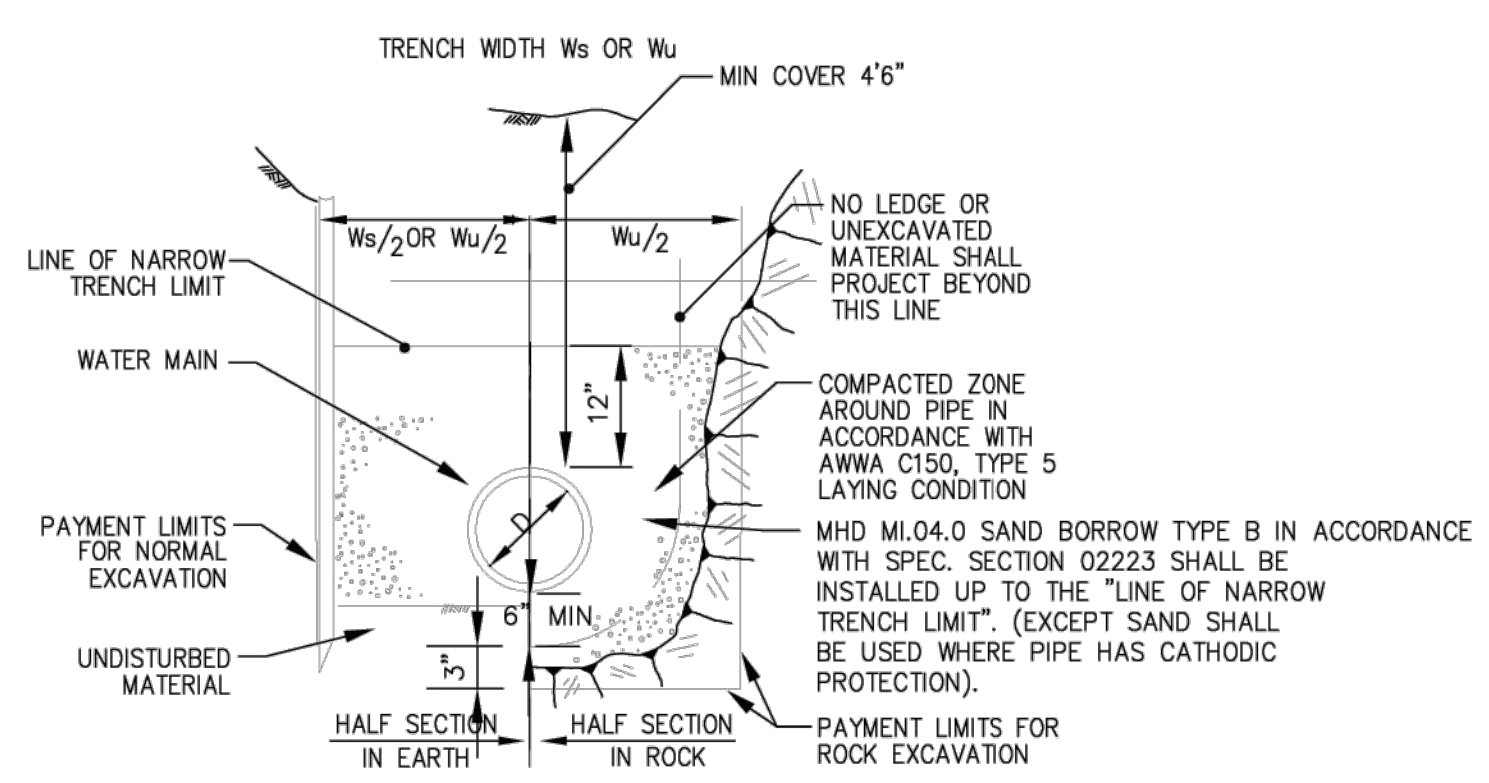
ELEVATION



PLAN

TRIPLE GATE CUT IN WATER MAIN CONNECTION

NTS



- NOTES:
1. TRENCHES MAY BE EXCAVATED WIDER THAN TRENCH WIDTH Ws ABOVE THE "LINE OF NARROW TRENCH LIMIT".
 2. BELOW THE "LINE OF NARROW TRENCH LIMIT" THE TRENCH SHALL NOT BE EXCAVATED BEYOND THE TRENCH WIDTH Ws.
 3. SHEETING, IF USED, IN ALL CASES SHALL BE LEFT IN PLACE BELOW A LINE 1'-0" ABOVE THE TOP OF THE PIPE, UNLESS OTHERWISE INDICATED OR DIRECTED.
 4. "COVER" AT ANY POINT SHALL BE DEFINED AS THE VERTICAL DISTANCE FROM THE UPPERMOST POINT OF THE PIPE TO A LINE WHICH CONNECTS THE SURFACE OF UNDISTURBED GROUND AT EITHER SIDE OF THE TRENCH AND IS AT RIGHT ANGLES TO THE DIRECTION OF THE PIPE.
 5. WHERE FUTURE EXTENSION OF A PLUGGED PIPE OR A PLUGGED BRANCH WILL ENTAIL ROCK EXCAVATION, TRENCH EXCAVATION IN ROCK SHALL BE EXTENDED FOR A DISTANCE OF 3'-0" BEYOND THE PLUG.
 6. BANK RUN GRAVEL OR EXCAVATED MATERIAL THAT MEETS SPEC. SECTION 02224 SHALL BE INSTALLED ABOVE THE LINE OF NARROW TRENCH LIMIT.
 7. WHERE SPECIFIED, CONTROLLED DENSITY FILL WILL BE USED FROM TOP OF SCREENED GRAVEL TO BOTTOM OF BITUMINOUS PAVEMENT.

WATER MAIN TRENCH SECTION

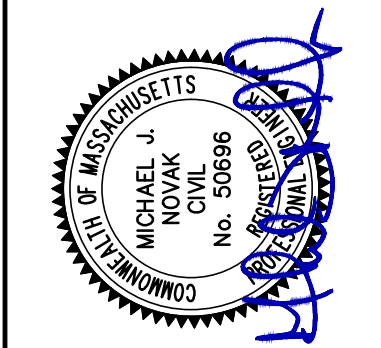
NTS

ALL DETAILS ARE NOT TO SCALE

NOT FOR CONSTRUCTION

238-244 BEDFORD ST
LEXINGTON, MA
DATE: 2-12-2025
DRAWN BY: MVC
CHECKED BY: MJN

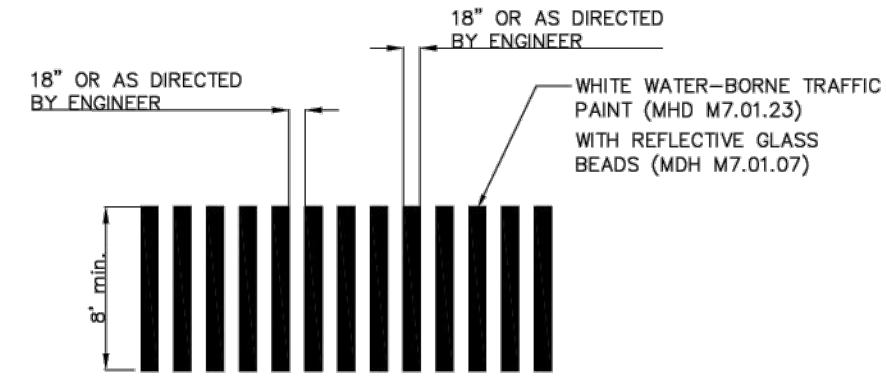
REVISIONS	DESCRIPTION	DATE	BY



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P.O. BOX 362
LEXINGTON, MASSACHUSETTS 02420
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DETAILS LOCATED IN
LEXINGTON, MA
(MIDDLESEX COUNTY)
PREPARED FOR
SEAN MALONEY TRUSTEE

SHEET
C-6.4

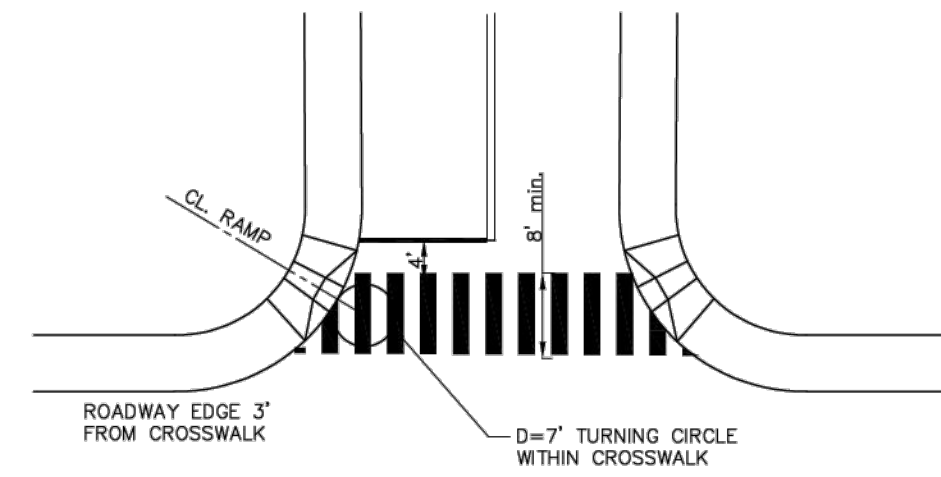


CROSSWALK ALL LOCATIONS

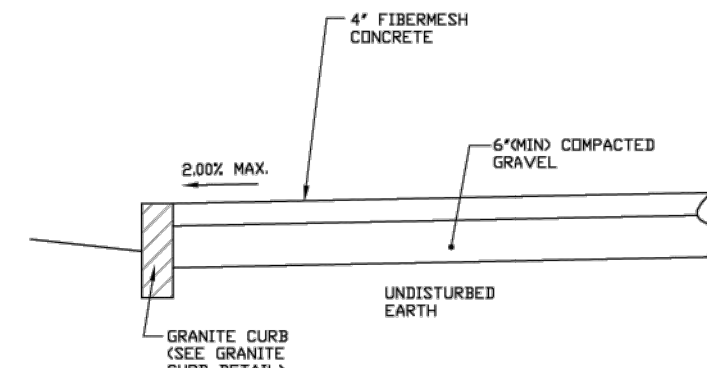
NOTES:

- WHERE PROVIDED, STOP LINES SHOULD BE PLACED NO LESS THAN 4 FEET BEHIND AN ADJACENT CROSSWALK LINE.
- MID-BLOCK CROSSWALKS SHALL NOT BE INSTALLED IN AREAS WITH THE SIGHT DISTANCE LESS THAN THAT SHOWN IN THE TABLE BELOW.

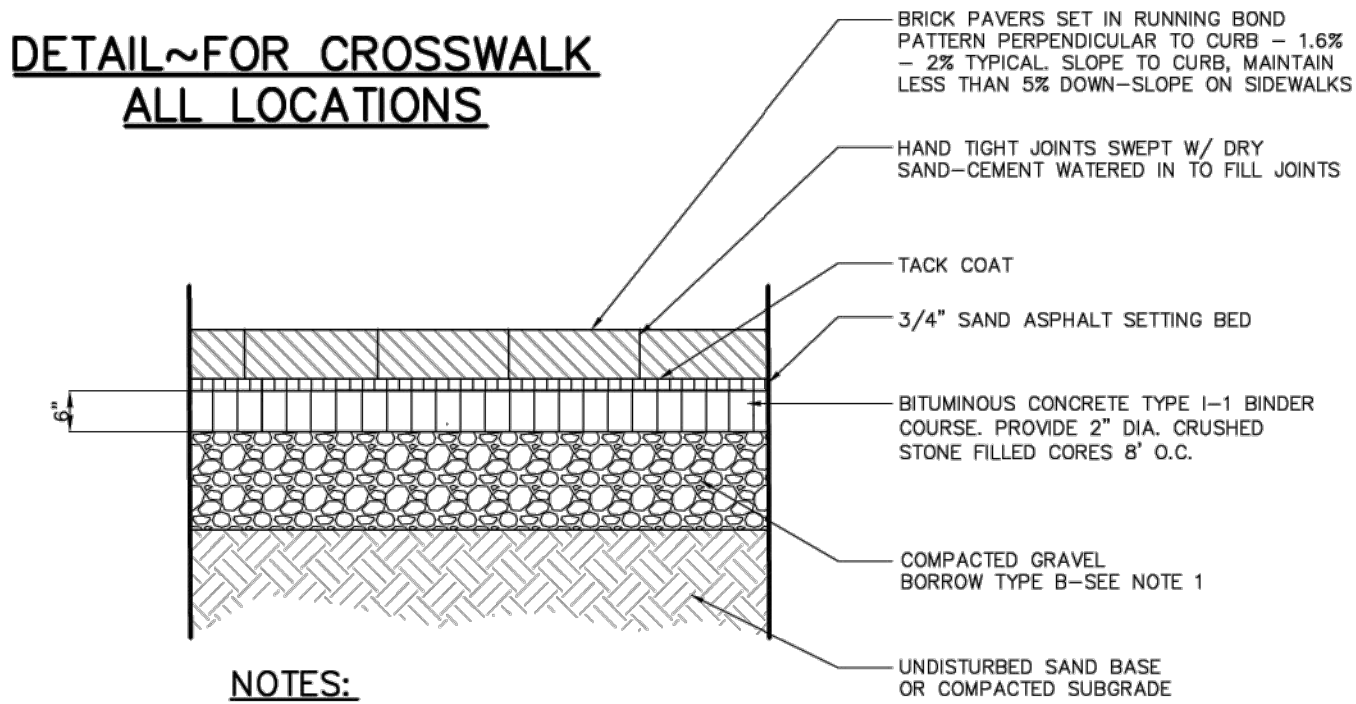
DESIGN SPEED	SIGHT DISTANCE
30	200
40	275
50	375
60	525
70	625



DETAIL~FOR CROSSWALK ALL LOCATIONS



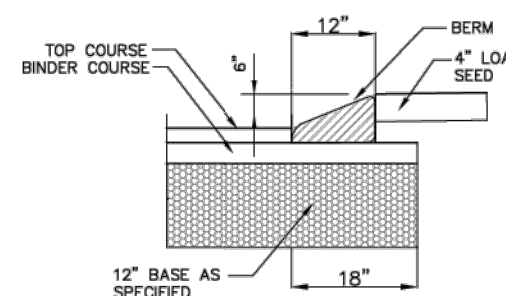
CONCRETE SIDEWALK



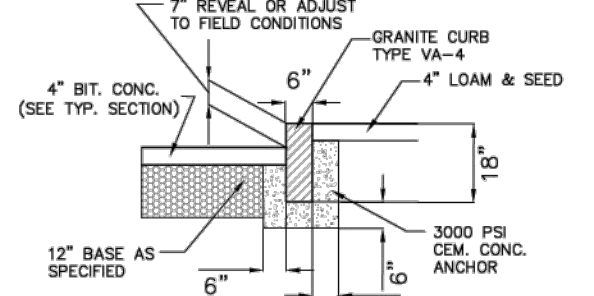
NOTES:

- DETAIL AS SHOWN SHALL BE USED ON TYPICAL BRICK SIDEWALKS. WHERE SHOWN ON PLANS AT LOCATIONS FOR "TREEWAY", GRAVEL BORROW SHALL BE SUBSTITUTED WITH COMPACTED DENSE GRADED CRUSHED STONE AND 2" DEPTH OF SAND BASED.

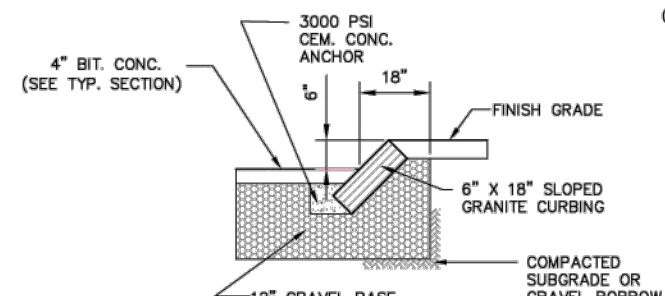
BRICK SIDEWALK PAVING



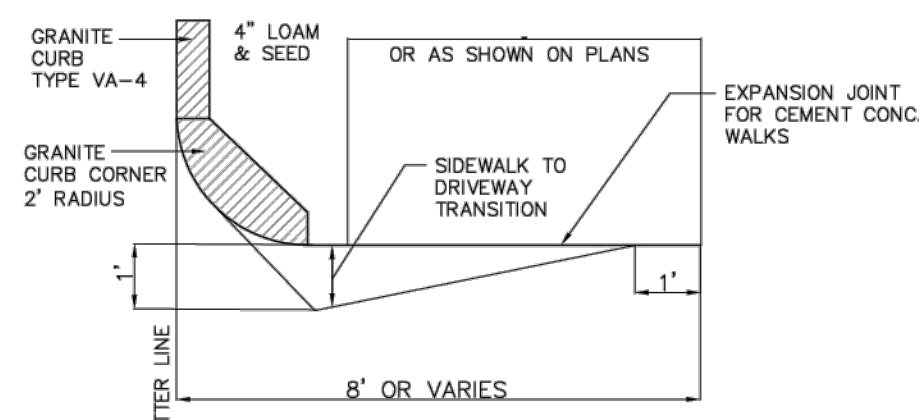
BIT. CONC. BERM



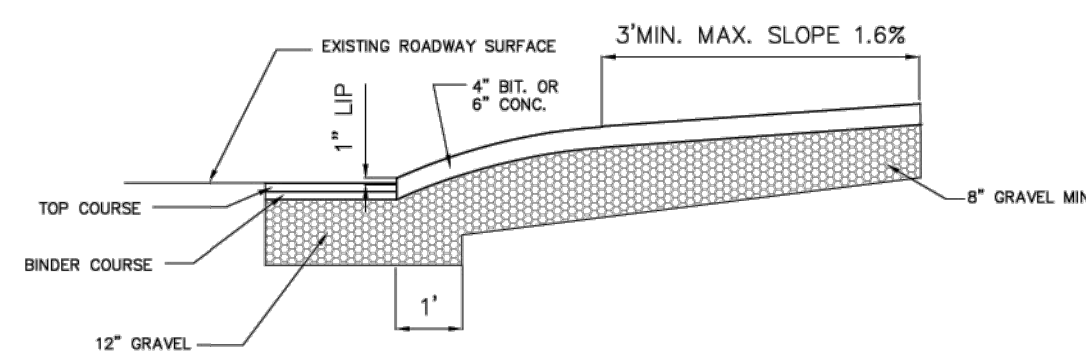
GRANITE CURB TYPE VA-4



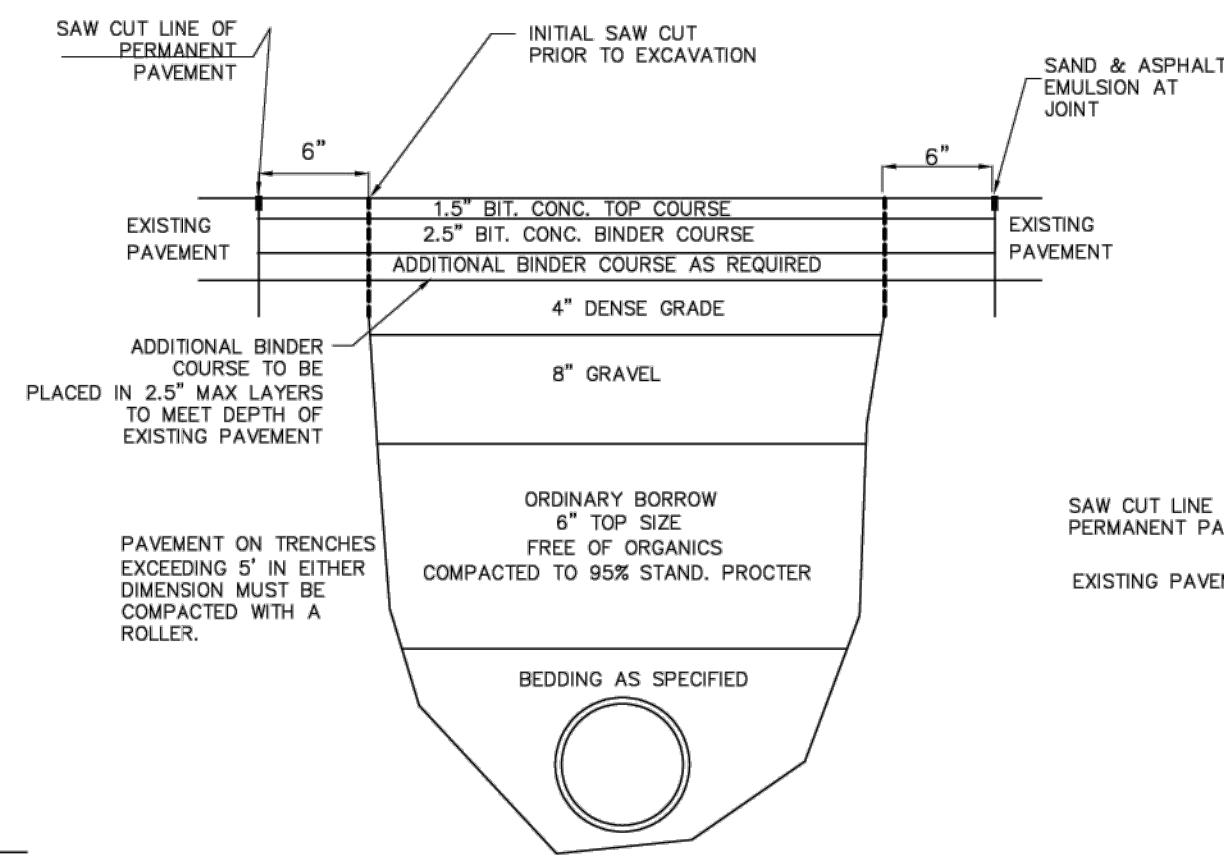
SLOPED GRANITE CURB DETAIL



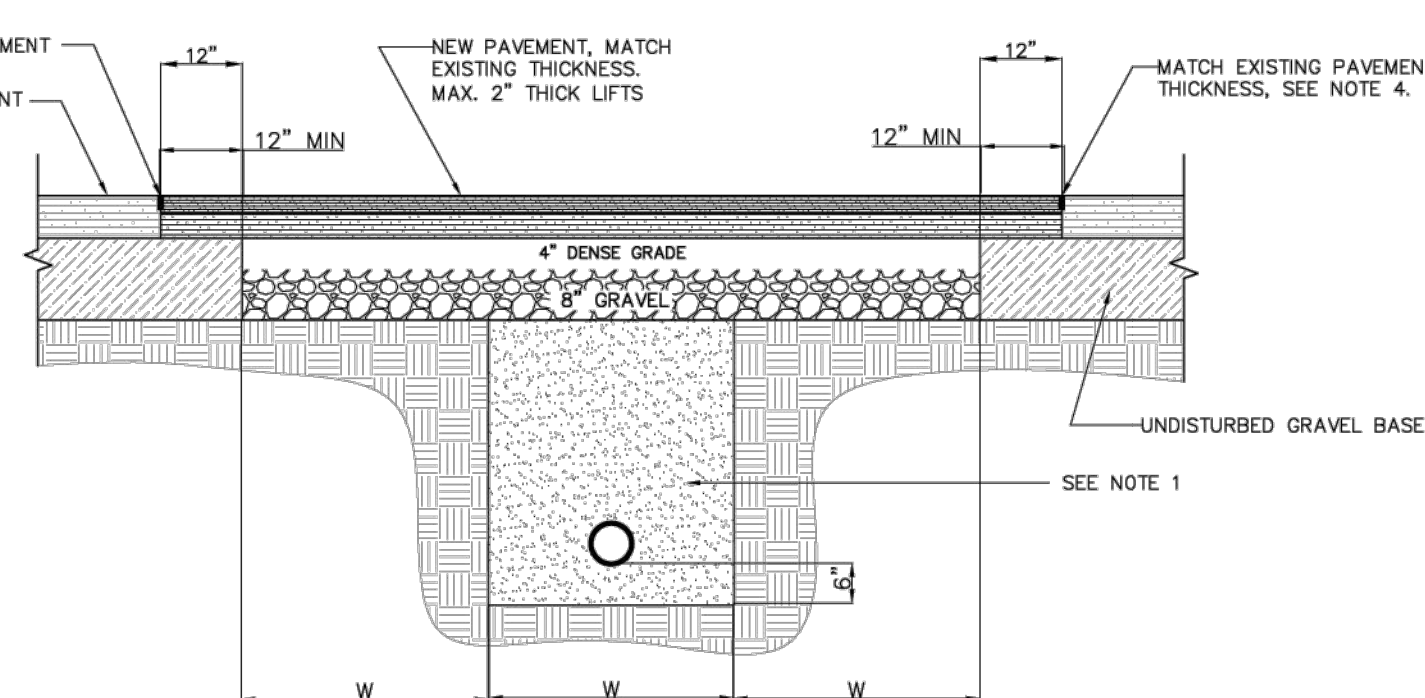
PLAN VIEW TYPICAL CURB RETURN DETAIL



DRIVEWAY SECTION



TRENCH RESTORATION

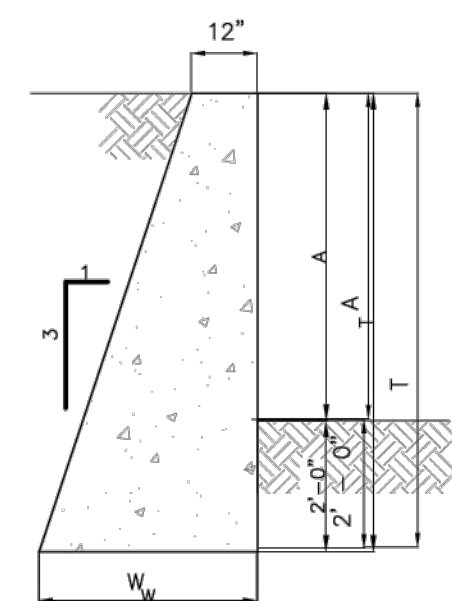


TYPICAL DETAIL TRENCH RESTORATION FOR MORATORIUM STREETS

NOTES:

- CLASS I CEMENT CONC. TO BE USED
- EXPANSION JOINTS TO BE PLACED 90' O.C. MAX. WITH INTERMEDIATE CONSTRUCTION JOINTS 30' O.C.
- ALL CONC. DIMENSIONS SHOWN ARE MINIMUM

HEIGHT A	T	WIDTH W	AREA SQ. FT.	CU. YDS. PER. LING. FT.
2'-0"	4'-0"	2'-4"	6.667	0.247
2'-6"	4'-6"	2'-6"	7.875	0.292
3'-0"	5'-0"	2'-8"	9.165	0.339
3'-6"	5'-6"	2'-10"	10.541	0.390
4'-0"	6'-0"	3'-0"	12.000	0.444
4'-6"	6'-6"	3'-2"	13.541	0.502
5'-0"	7'-0"	3'-4"	15.162	0.562



LOW RETAINING WALL

ZONING OFFSETS

ZONING DISTRICT	DISTANCE FROM STREET INTERSECTION	DISTANCE FROM LOT LINE	WALL OF PRINCIPAL BUILDING
RS,R,RT	25	5	5
RD,RM	25	5	5
CR,O,CLO,CM	50	10	5
CRS,CS,CB,CN	10	NO REQUIREMENT	5

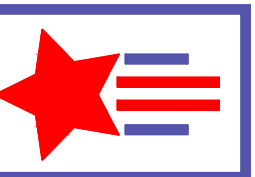
DRIVEWAY PLAN-RESIDENTIAL

- NOTE:**
NUMBER OF DRIVEWAYS PER LOT LINE IS LIMITED TO TWO.
ZONING BY LAW SECTION 5.1.10.2

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DETAILS LOCATED IN
LEXINGTON, MA
(MIDDLESEX COUNTY)
PREPARED FOR

SEAN MALONEY TRUSTEE

SHEET
C-6.5

REVISIONS

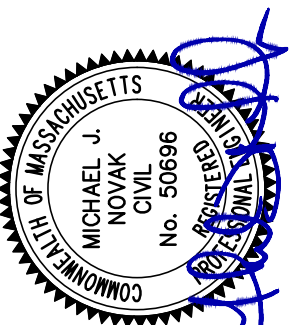
DESCRIPTION

BY

DATE

238-244 BEDFORD ST
LEXINGTON, MA

DRAWN BY: MVC
CHECKED BY: MJN
DATE: 2-12-2025



AGENDA ITEM SUMMARY

LEXINGTON PLANNING BOARD

AGENDA ITEM TITLE:

251, 267, 275, & 301 Massachusetts Avenue - Preliminary Subdivision

PRESENTER:

Applicant: Sean Maloney

ITEM NUMBER:

SUMMARY:

The Planning Board will hold a virtual public meeting on the application of Sean Maloney for approval of a preliminary subdivision under §175-5.0 of the Planning Board's Subdivision Regulations. Application proposes subdividing the properties into 5 lots on a cul-de-sac.

The properties are located at 251-253, 267, 275, and 301 Massachusetts Avenue and Fottler Avenue, Lexington, MA also known as Map 13, Lots 371, 370, 369, 368, and 367 in the CRS (Retail Shopping) and VO (Village Overlay) zoning districts.

Application materials may be viewed online at <https://lexingtonma.portal.opengov.com/records/101432>

Staff recommends approval with suggested conditions for items to be incorporated into the Definitive Subdivision submission.

SUGGESTED MOTION:

Move to approve the preliminary subdivision application for 251, 267, 275, & 301 Massachusetts Avenue with the conditions in the draft decision as recommendations to be included in the Definitive Subdivision application.

FOLLOW-UP:

DATE AND APPROXIMATE TIME ON AGENDA:

3/27/2025

ATTACHMENTS:

Description	Type
 275 Mass Ave Preliminary Subdivision Plan Set	Cover Memo

251-253, 267, 275, AND 301 MASSACHUSETTS AVENUE ASSESSORS MAP 13 LOTS 367, 368, 369, 370, AND 371 PRELIMINARY SUBDIVISION PLAN LOCATED IN LEXINGTON, MA FEBRUARY 11, 2025 REVISED FEBRUARY 12, 2025 AND FEBRUARY 20, 2025

NOTES:

1. THE INFORMATION DEPICTED ON THIS PLAN HAS BEEN COMPILED FROM THE TOWN OF LEXINGTON GIS SYSTEM
2. LAND USE WITHIN 300 FEET OF THE SUBJECT PROPERTY CONSISTS OF A MIX OF SINGLE FAMILY DWELLINGS, AN APARTMENT COMPLEX AND COMMERCIAL USE

PREPARED BY:



PATRIOT Engineering
PO BOX 362
LEXINGTON, MASSACHUSETTS 02420
T: (978) 726-2654
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SHEET INDEX

	COVER SHEET
C-1	EXISTING CONDITIONS PLAN
C-2	CONSTRUCTION MANAGEMENT PLAN
C-3	PRELIMINARY SUBDIVISION PLAN
C-4	SITE PLAN -GRADING AND DRAINAGE
C-5	SITE PLAN-UTILITY
C-6.1- C-6.5	DETAILS

RECORD OWNER:

THE TRI-S LEXINGTON REALTY TRUST,
TRI-S302 REALTY TRUST, AND
OXBOW REALTY TRUST VI
PO BOX 515
LEXINGTON, MA 02420

LOCUS CONTEXT MAP

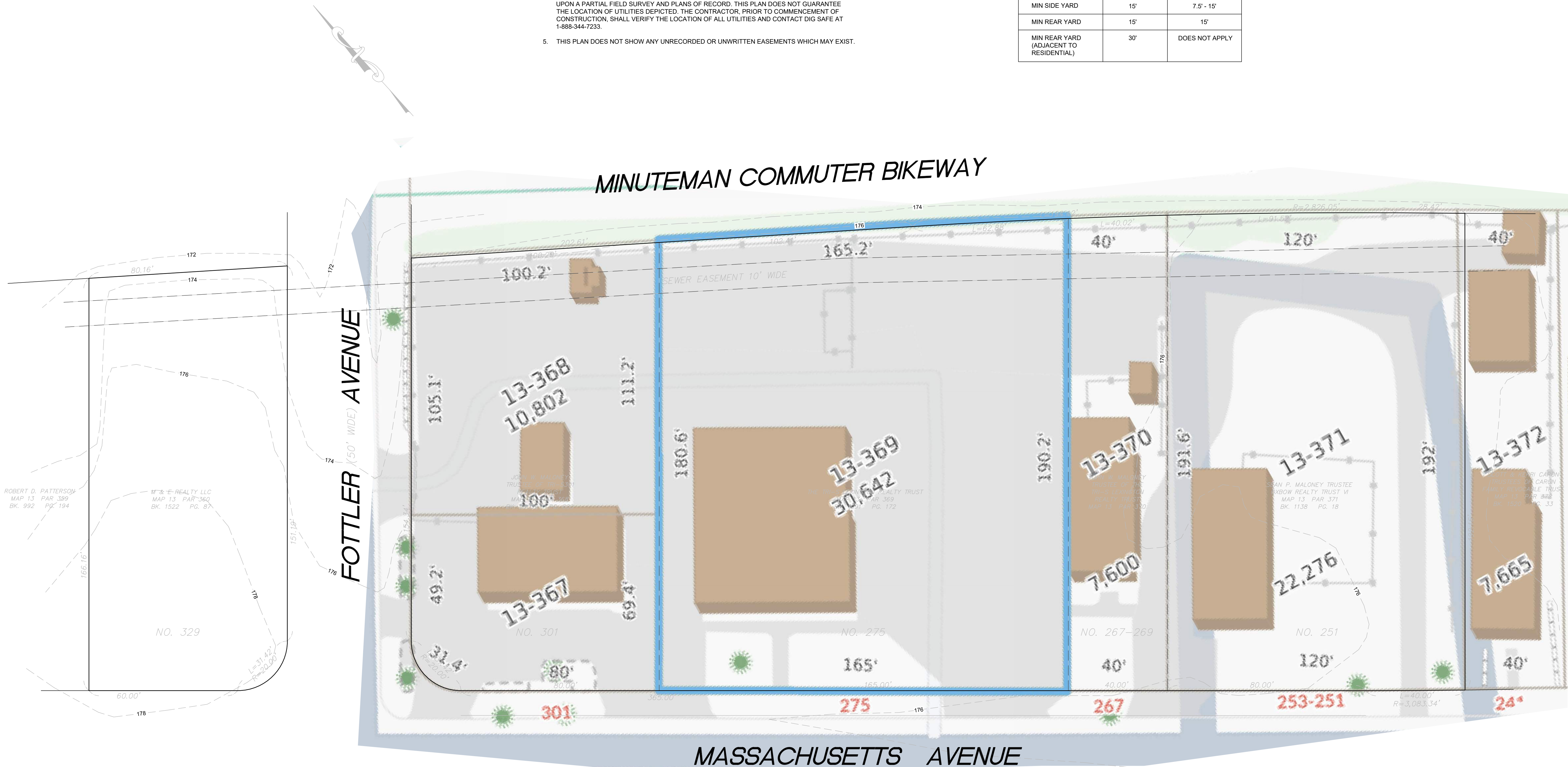
(SCALE 1"=100')

NOTES:

1. THIS PLAN IS BASED ON A PARTIAL SURVEY PERFORMED ON THE GROUND BY KEENAN SURVEY, LEXINGTON GIS AND RECORD PLANS.
2. THE SUBJECT PROPERTY DEPICTED IS LOCATED WITHIN THE CRS ZONING DISTRICT.
3. THE SUBJECT PROPERTY IS DEPICTED AS LOTS 360, 368, 369 AND 370 ON THE TOWN OF LEXINGTON ASSESSOR'S MAP 13.
4. THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND ARE BASED UPON A PARTIAL FIELD SURVEY AND PLANS OF RECORD. THIS PLAN DOES NOT GUARANTEE THE LOCATION OF UTILITIES DEPICTED. THE CONTRACTOR, PRIOR TO COMMENCEMENT OF CONSTRUCTION, SHALL VERIFY THE LOCATION OF ALL UTILITIES AND CONTACT DIG SAFE AT 1-888-344-7233.
5. THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST.

TABLE OF DIMENSIONAL REQUIREMENTS

ITEM	REQUIREMENT	
	ZONE: CRS	ZONE: VO (VILLAGE OVERLAY)
MIN LOT AREA	15,500 S.F.	DOES NOT APPLY
MIN FRONTAGE	125'	20'
MIN FRONT YARD	30'	0' or 15'
MIN SIDE YARD	15'	7.5' - 15'
MIN REAR YARD	15'	15'
MIN REAR YARD (ADJACENT TO RESIDENTIAL)	30'	DOES NOT APPLY

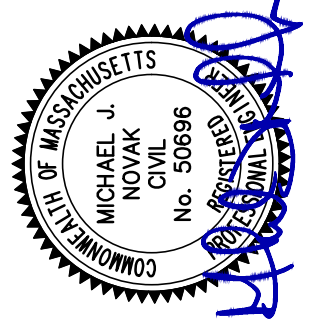


251-301 MASS AVE
LEXINGTON, MA

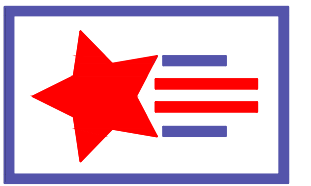
DRAWN BY: MVC
CHECKED BY: MIN

DATE: 2-11-2025

DATE	BY	DESCRIPTION
2-12-2025		NO REVISIONS TO THIS SHEET
2-20-2025	MVC	REVISIONS PER COMMENTS



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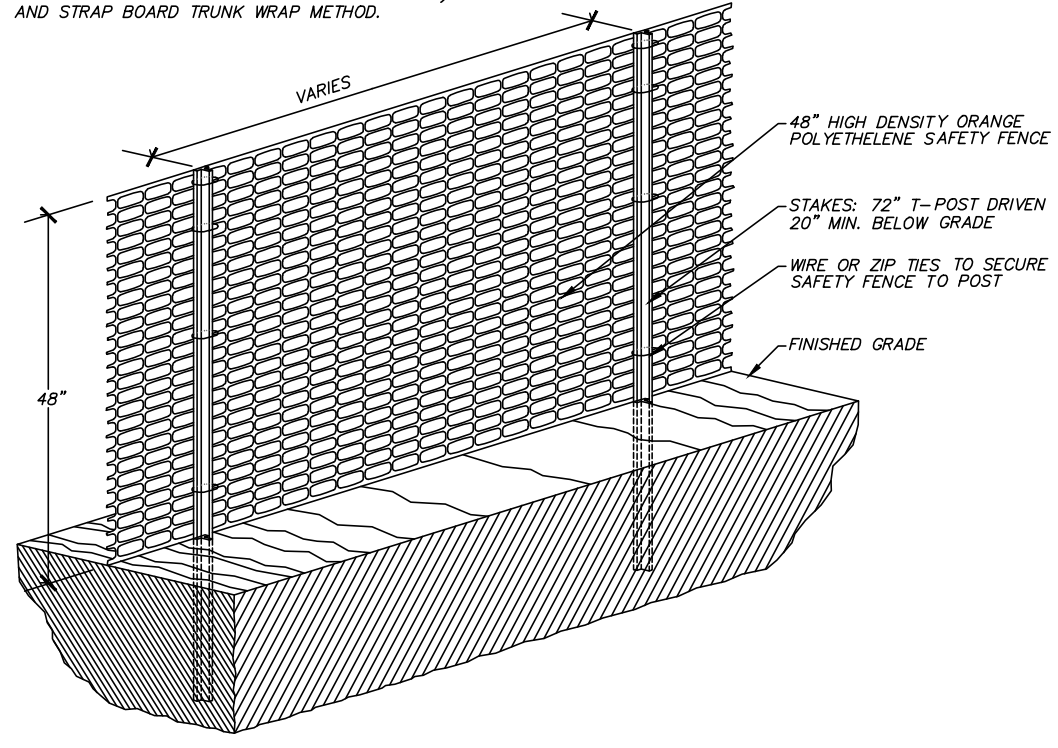


EXISTING CONDITIONS PLAN
LOCATED IN
LEXINGTON, MA
(MIDDLESEX COUNTY)
PREPARED FOR
SEAN MALONEY TRUSTEE

ALL UNDERGROUND UTILITY DATA REPRESENTS RECORD INFORMATION RECOVERED THROUGH RESEARCH WITHOUT SURFACE DEMARCATION NOR SUBSURFACE VERIFICATION.

NOT FOR CONSTRUCTION

NOTE:
 1. EXISTING TREES TO BE SAVED SHALL BE PROTECTED WITH ORANGE CONSTRUCTION FENCE (OFF-SET FROM THE TREE TRUNK BY PROFESSIONAL STANDARD BASED ON CANOPY) AND BURLAP AND STRAP BOARD TRUNK WRAP METHOD.



CONSTRUCTION FENCE/TREE PROTECTION
 (NOT TO SCALE)

PHASE I CONSTRUCTION SEQUENCE

1. INSTALL ALL EROSION CONTROL MEASURES AS REQUIRED.
2. MEET WITH LEXINGTON PLANNING STAFF, SITE CONTRACTOR, AND EROSION CONTROL MONITOR AT PRE-CONSTRUCTION MEETING TO REVIEW EROSION CONTROL MEASURES AND SITE PLAN REVIEW CONDITIONS.
3. INSTALL TEMPORARY, HIGH VISIBILITY, ORANGE CONSTRUCTION FENCING AROUND ENTIRE PROPERTY TO DELINEATE WORK AREA. TEMPORARY CONSTRUCTION FENCING WILL BE INSTALLED BEHIND EROSION CONTROL MEASURES TO ENSURE ADEQUATE ACCESS TO THE EROSION CONTROLS FOR INSPECTION, MAINTENANCE, AND REPAIR AS NEEDED FOR THE DURATION OF CONSTRUCTION.
4. REMOVE AND DISPOSE OF ALL TRASH AND DEBRIS FROM SITE.
5. REMOVE ALL SPECIFIED TREES AND STUMPS.
6. TEST REMAINING SOIL FOR CONTAMINANTS AND PLANTING SUITABILITY.
7. DRESS THE TEMPORARY STAGING AND PARKING AREAS ON SITE WITH CRUSHED STONE.

PHASE II CONSTRUCTION SEQUENCE

1. EXCAVATE BASEMENT AREAS TO BOTTOM OF FOOTING. STOCKPILE MATERIAL FOR BACKFILL AND HAUL REMAINDER OF MATERIAL OFF SITE.
2. FURNISH AND INSTALL BASEMENT FOOTINGS AND FOUNDATION WALLS.
3. WATERPROOF, INSULATE AND BACKFILL BASEMENT FOOTINGS AND FOUNDATION WALLS.
4. EXCAVATE FOR AND INSTALL PERIMETER FOOTINGS AND FOUNDATION FROST WALLS AND INTERIOR FOOTINGS. WATERPROOF, INSULATE AND BACKFILL THESE AREAS.
5. EXCAVATE AND BACKFILL ALL NECESSARY TRENCHES IN ORDER TO FURNISH AND INSTALL ALL UNDERGROUND PLUMBING, SECONDARY ELECTRICAL, ETC.
6. EXCAVATE FOR AND CONSTRUCT INFILTRATION SYSTEM(S).
7. FROM THIS POINT ON, THE VERTICAL CONSTRUCTION CONTINUES IN THE SAME CONVENTIONAL MANNER AS ANY MAJOR URBAN DEVELOPMENT PROJECT.

PHASE III CONSTRUCTION SEQUENCE

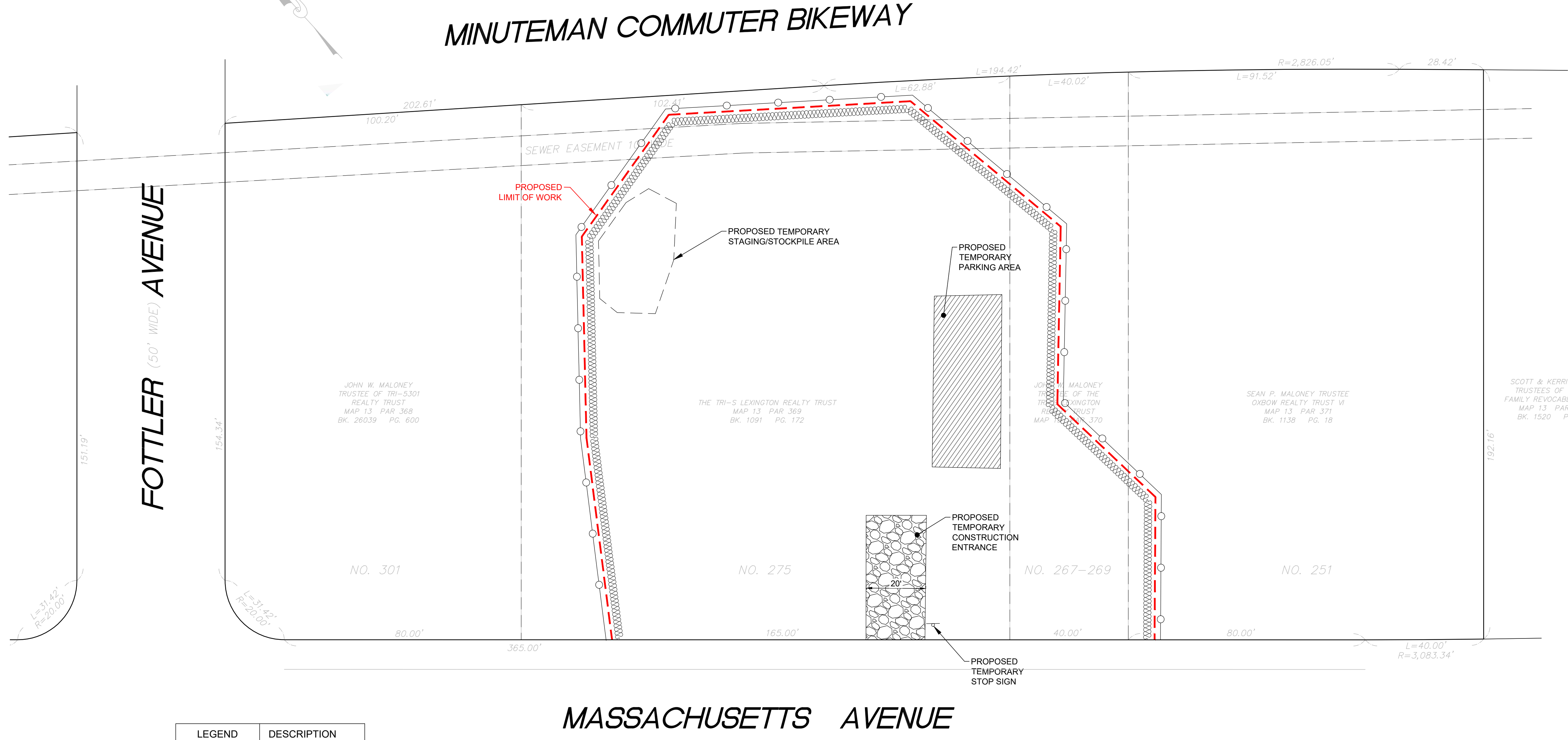
1. TILL SUBSOIL OR SCARIFY WITH EXCAVATOR BUCKET TEETH TO ENSURE FRIABLE SOIL PLANTING MEDIUM BENEATH TOPSOIL.
2. FURNISH AND SPREAD APPROVED TOPSOIL FROM SUB GRADE TO FINISH GRADE PER TOPSOIL SPECIFICATIONS ON APPROVED LANDSCAPE PLANS. TOPSOIL TO BE TESTED FOR LOAMY SAND TEXTURE AND 5-8% ORGANIC CONTENT.
3. FURNISH, DELIVER AND INSTALL ALL PLANT MATERIAL PER APPROVED DESIGN DOCUMENTS. PROJECT WETLAND SCIENTIST AND/OR LANDSCAPE ARCHITECT SHALL INSPECT PLANTS PRIOR TO INSTALLATION, AND OVERSEE SITING AND INSTALLATION OF ALL PLANTS.
4. AT THE TIME OF INSTALLATION, ALL PLANTS TO RECEIVE A DEEP WATERING.
5. CLEANUP AND DEMOBILIZE.
6. UPON SUCCESSFUL SEED GERMINATION AND SOIL STABILIZATION, REMOVE EROSION CONTROLS.

CONSTRUCTION AND TRAFFIC MANAGEMENT LOGISTICS

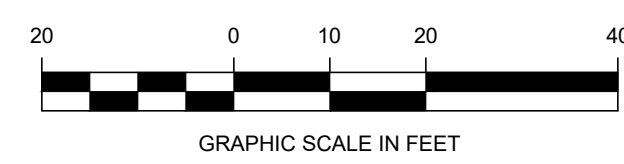
1. SIDEWALKS ALONG BUILDING FRONTAGE TO BE CLOSED UNTIL VERTICAL CONSTRUCTION IS SUBSTANTIALLY COMPLETED.
2. PEDESTRIAN TRAFFIC WILL BE DIVERTED TO THE SOUTHERN SIDE OF MASS AVE.
3. FURNISH AND INSTALL ROADWAY MARKINGS DEPICTING THE LIMITS OF THE SIDEWALKS ACROSS MASS AVE.

ADDITIONAL CONSTRUCTION NOTES:

- TRASH REMOVAL: THE 30 YARD DUMPSTER THAT IS REQUIRED FOR GENERAL CONSTRUCTION WASTE IS APPROXIMATELY 22' X 8'. IT WILL BE SCREENED BY SIX FOOT TALL TEMPORARY FENCING AND SCRIM.
- TEMPORARY RESTROOM FACILITIES: TEMPORARY RESTROOM FACILITIES WILL BE LOCATED BEHIND THE DUMPSTER AREA WITHIN THE CONSTRUCTION ZONE SO THAT THEY WILL BE SCREENED FROM LARCHMONT LANE THERE WILL BE A TOTAL OF TWO TO FOUR RESTROOM COMPARTMENTS REQUIRED FOR THE PROJECT DURATION.
- SNOW MANAGEMENT: DURING CONSTRUCTION SNOW WILL BE REMOVED IN ITS ENTIRETY ON THE CONSTRUCTION SIDE OF THE FENCE BY THE GENERAL CONTRACTOR AND HAULED OFF SITE AS REQUIRED. THE TOWN OF LEXINGTON WILL REMOVE SNOW ON THE PUBLIC SIDE OF THE FENCE AS IT NORMALLY WOULD. ANY RESIDUAL SNOW THAT MAY BE IN CONTACT WITH THE PUBLIC SIDE OF THE TEMPORARY FENCING WILL BE REMOVED BY THE GENERAL CONTRACTOR.
- ONCE INFILTRATION SYSTEMS ARE IN PLACE NO PARKING OR MATERIAL STORAGE IS PERMITTED ABOVE THEM.
- NO STORMWATER RUNOFF SHOULD BE DISCHARGED TO THE ON-SITE STORMWATER MANAGEMENT SYSTEM UNTIL THE SITE IS FULLY STABILIZED, WITH THE EXCEPTION OF ROOF LEADERS THAT CAN BE CONNECTED ONCE ABLE TO BE INSTALLED.
- THE ON-SITE INFILTRATION SHOULD BE BLOCKED FROM VEHICLE TRAFFIC DURING CONSTRUCTION UNTIL THE SITE IS FULLY STABILIZED.
- SOIL STOCKPILES MUST BE STABILIZED OR COVERED AT THE END OF EACH WORK DAY. SIDE SLOPES NOT TO EXCEED 2:1. 12" DIAMETER (MINIMUM) FILTERMITT SHALL BE INSTALLED AROUND EACH STOCKPILE.
- NO ONSITE REFUELING OF CONSTRUCTION VEHICLES OR EQUIPMENT.
- DUST CONTROL LIMITED TO POTABLE WATER. CALCIUM CHLORIDE SHALL NOT BE USED FOR DUST CONTROL.
- SEGMENTS OF MASS AVE ON WHICH ANY SEDIMENT IS DEPOSITED SHALL BE SWEEPED WITHIN 24 HOURS OR MORE FREQUENTLY AS REQUIRED OR DIRECTED BY TOWN STAFF.
- ANY SEDIMENT OR DEBRIS DISCHARGED TO ANY TOWN DRAINAGE STRUCTURE OR DRAINLINE SHALL BE REMOVED WITHIN 24 HOURS.



LEGEND	DESCRIPTION
	PROPOSED LIMIT OF WORK LINE
	PROPOSED FILTERMITT
	PROPOSED TEMPORARY CONSTRUCTION ENTRANCE
	PROPOSED TEMPORARY CONSTRUCTION PARKING
	PROPOSED TEMPORARY CONSTRUCTION FENCING

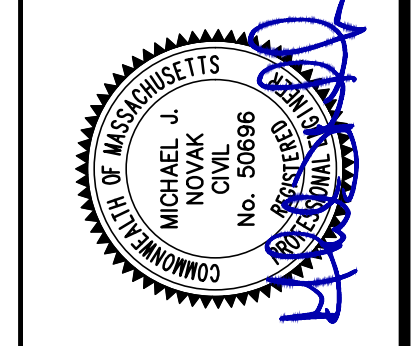


ALL UNDERGROUND UTILITY DATA REPRESENTS RECORD INFORMATION RECOVERED THROUGH RESEARCH WITHOUT SURFACE DEMARCATION NOR SUBSURFACE VERIFICATION.

NOT FOR CONSTRUCTION

251-301 MASS AVE
 LEXINGTON, MA
 DRAWN BY: MVC
 CHECKED BY: MJM
 DATE: 2-11-2025

REVISIONS	DATE	BY	DESCRIPTION
	2-12-2025	MVC	NO REVISIONS TO THIS SHEET
	2-20-2025	MVC	REVISIONS PER COMMENTS



Patriot Engineering
 PO BOX 362
 LEXINGTON, MASSACHUSETTS 02420
 T: (978) 726-2654
 www.patriot-eng.com

CONSTRUCTION MANAGEMENT PLAN
 LOCATED IN
 LEXINGTON, MA
 (MIDDLESEX COUNTY)
 PREPARED FOR
 SEAN MALONEY TRUSTEE

NOTES:

1. THIS PLAN IS BASED ON A PARTIAL SURVEY PERFORMED ON THE GROUND BY KEENAN SURVEY, LEXINGTON GIS AND RECORD PLANS.
2. THE SUBJECT PROPERTY DEPICTED IS LOCATED WITHIN THE CRS ZONING DISTRICT.
3. THE SUBJECT PROPERTY IS DEPICTED AS LOTS 360, 368, 369 AND 370 ON THE TOWN OF LEXINGTON ASSESSOR'S MAP 13.
4. THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND ARE BASED UPON A PARTIAL FIELD SURVEY AND PLANS OF RECORD. THIS PLAN DOES NOT GUARANTEE THE LOCATION OF UTILITIES DEPICTED. THE CONTRACTOR, PRIOR TO COMMENCEMENT OF CONSTRUCTION, SHALL VERIFY THE LOCATION OF ALL UTILITIES AND CONTACT DIG SAFE AT 1-888-344-7233.
5. THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST.

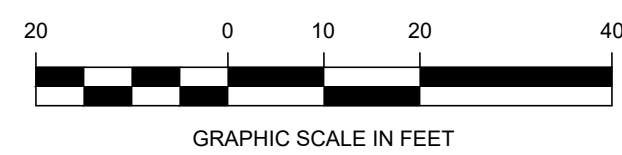
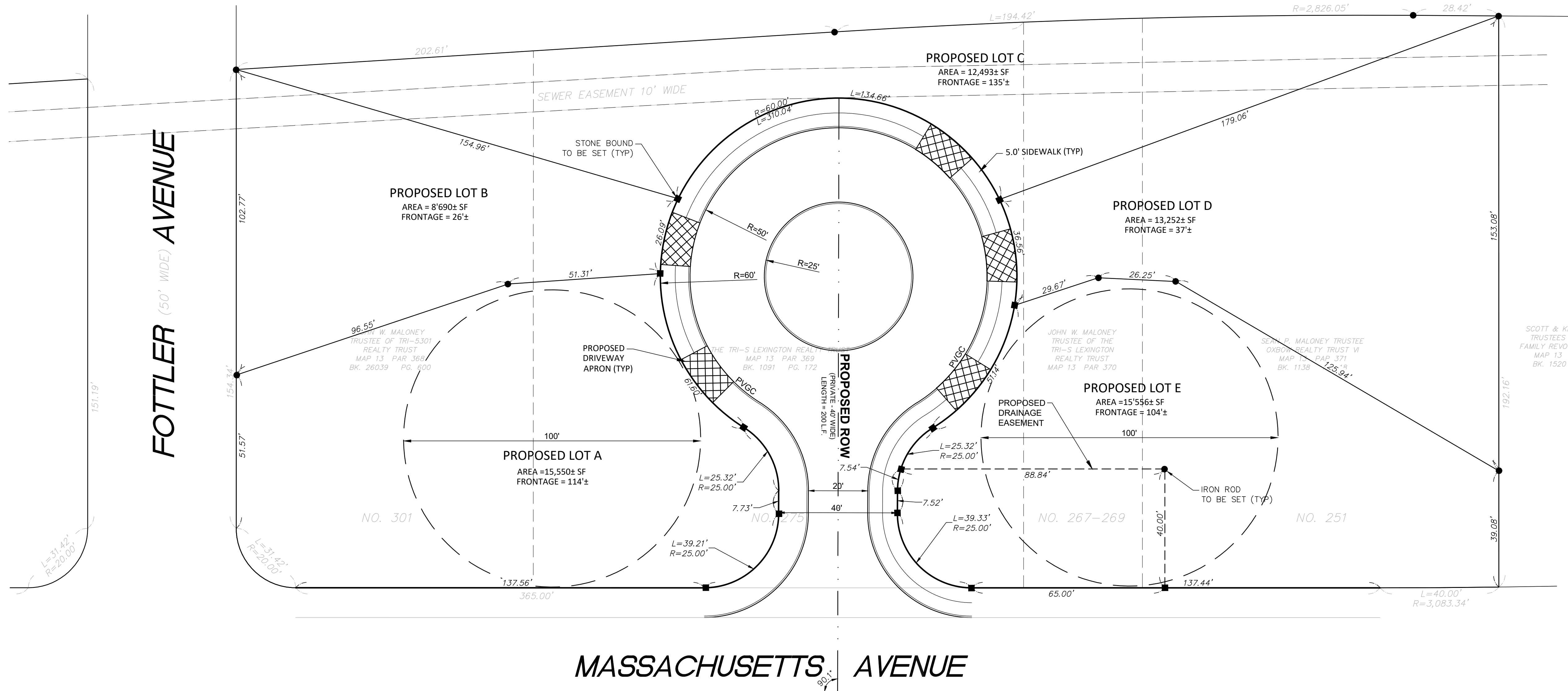
TABLE OF DIMENSIONAL REQUIREMENTS

ITEM	REQUIREMENT	
	ZONE: CRS	ZONE: VO (VILLAGE OVERLAY)
MIN LOT AREA	15,500 S.F.	DOES NOT APPLY
MIN FRONTAGE	125'	20'
MIN FRONT YARD	30'	0' or 15'
MIN SIDE YARD	15'	7.5' - 15'
MIN REAR YARD	15'	15'
MIN REAR YARD (ADJACENT TO RESIDENTIAL)	30'	DOES NOT APPLY

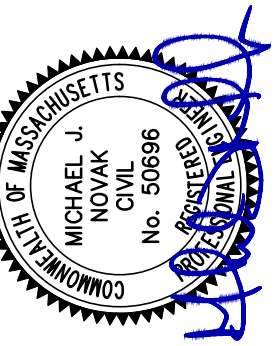
LEGEND:

- APPROXIMATE EXISTING PROPERTY LINES
- PROOF CIRCLE
- PROPOSED CENTERLINE
- RADIUS
- TYPICAL
- PROPOSED EDGE OF PAVEMENT
- SQUARE FEET
- RIGHT OF WAY
- PROPOSED PAVEMENT
- PROPOSED DRIVEWAY APRON
- PROPOSED STONE BOUND
- PROPOSED IRON ROD

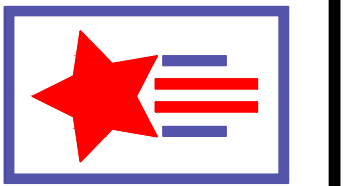
MINUTEMAN COMMUTER BIKEWAY



NOT FOR CONSTRUCTION



Patriot Engineering
 PO BOX 362
 LEXINGTON, MASSACHUSETTS 02420
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PRELIMINARY SUBDIVISION PLAN
 LOCATED IN
 LEXINGTON, MA
 (MIDDLESEX COUNTY)
 PREPARED FOR
SEAN MALONEY TRUSTEE

SHEET
C-3

251-301 MASS AVE
 LEXINGTON, MA
 DRAWN BY: MVC
 CHECKED BY: MIN
 DATE: 2-11-2025

DATE	BY	DESCRIPTION
2-12-2025	MIN	ADD LOT AREA AND FRONTAGE
2-20-2025	MVC	REVISIONS PER COMMENTS

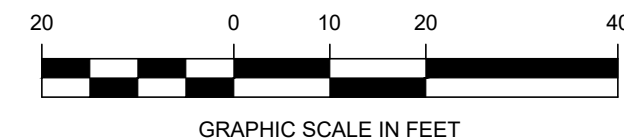
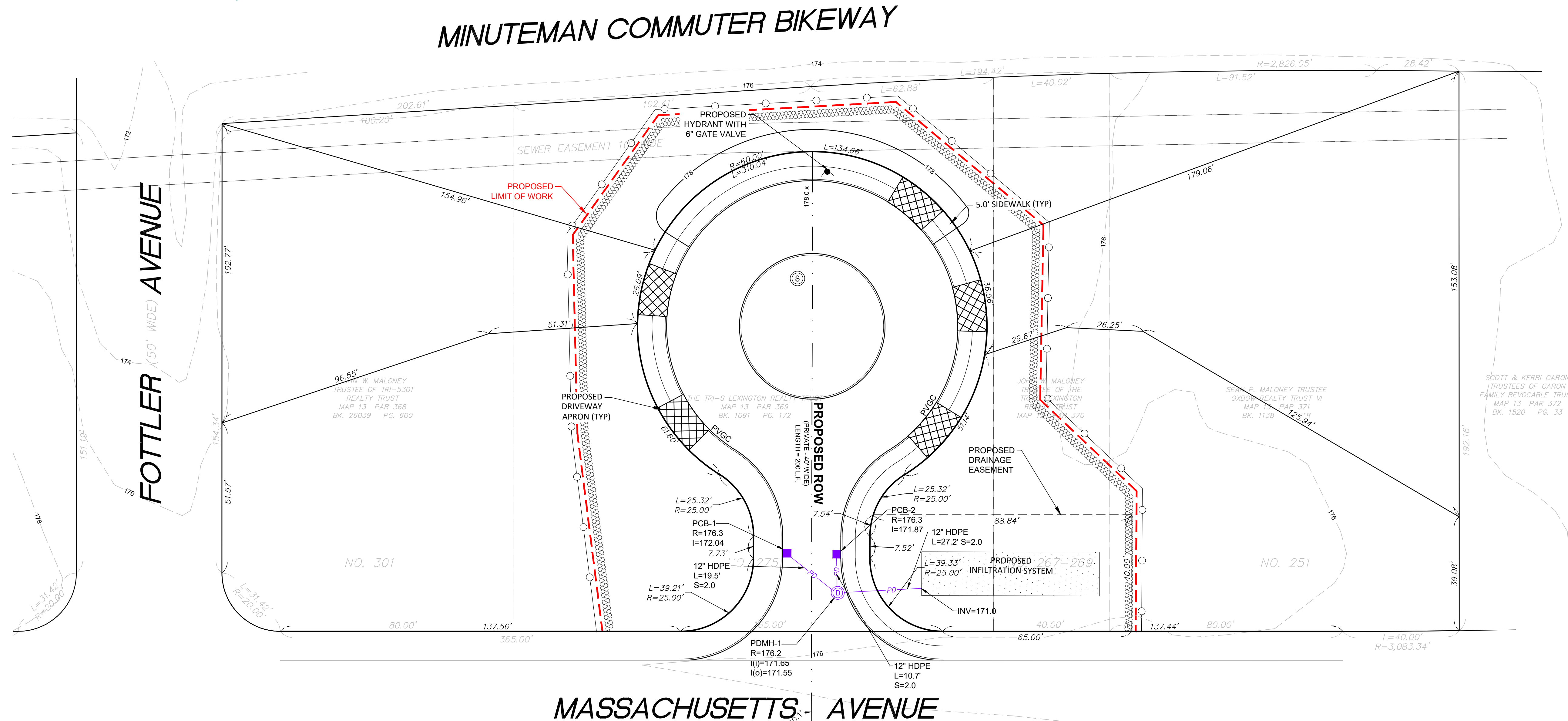
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TABLE OF DIMENSIONAL REQUIREMENTS

ITEM	REQUIREMENT	
	ZONE: CRS	ZONE: VO (VILLAGE OVERLAY)
MIN LOT AREA	15,500 S.F.	DOES NOT APPLY
MIN FRONTAGE	125'	20'
MIN FRONT YARD	30'	0' or 15'
MIN SIDE YARD	15'	7.5' - 15'
MIN REAR YARD	15'	15'
MIN REAR YARD (ADJACENT TO RESIDENTIAL)	30'	DOES NOT APPLY

LEGEND	DESCRIPTION
PEOP	PROPOSED EDGE OF PAVEMENT
PVGC	PROPOSED VERTICAL GRANITE CURB
■	PROPOSED CATCH BASIN (PCB)
—178—	PROPOSED CONTOUR
⊙	PROPOSED DRAIN MANHOLE (PDMH)
⦿	PROPOSED FIRE HYDRANT
▨	PROPOSED FILTERMITT
---	PROPOSED LIMIT OF WORK LINE
⊙	PROPOSED SEWER MANHOLE (PSMH)



ALL UNDERGROUND UTILITY DATA REPRESENTS RECORD INFORMATION RECOVERED THROUGH RESEARCH WITHOUT SURFACE DEMARICATION NOR SUBSURFACE VERIFICATION.

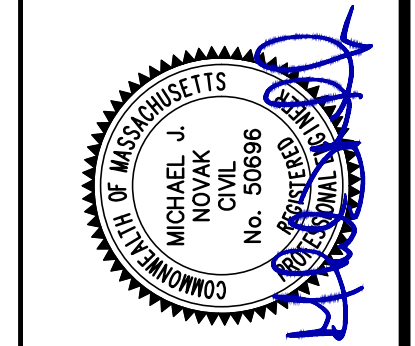
NOT FOR CONSTRUCTION

251-301 MASS AVE
LEXINGTON, MA

DRAWN BY: MVC
CHECKED BY: MIN

DATE: 2-11-2025

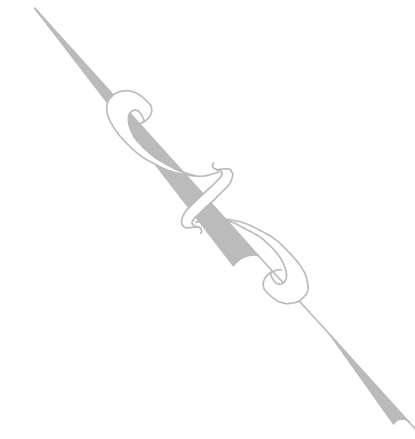
DATE	BY	DESCRIPTION
2-12-2025	MVC	NO REVISIONS TO THIS SHEET
2-20-2025	MVC	REVISIONS PER COMMENTS



Patriot Engineering
 PO BOX 362
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SITE PLAN - GRADING & DRAINAGE
 LOCATED IN
 LEXINGTON, MA
 (MIDDLESEX COUNTY)
 PREPARED FOR
SEAN MALONEY TRUSTEE

SHEET
C - 4



NOTES:

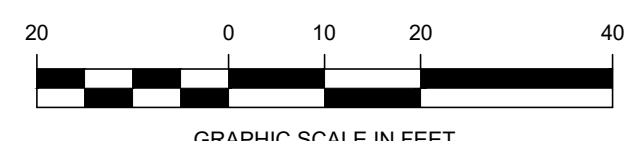
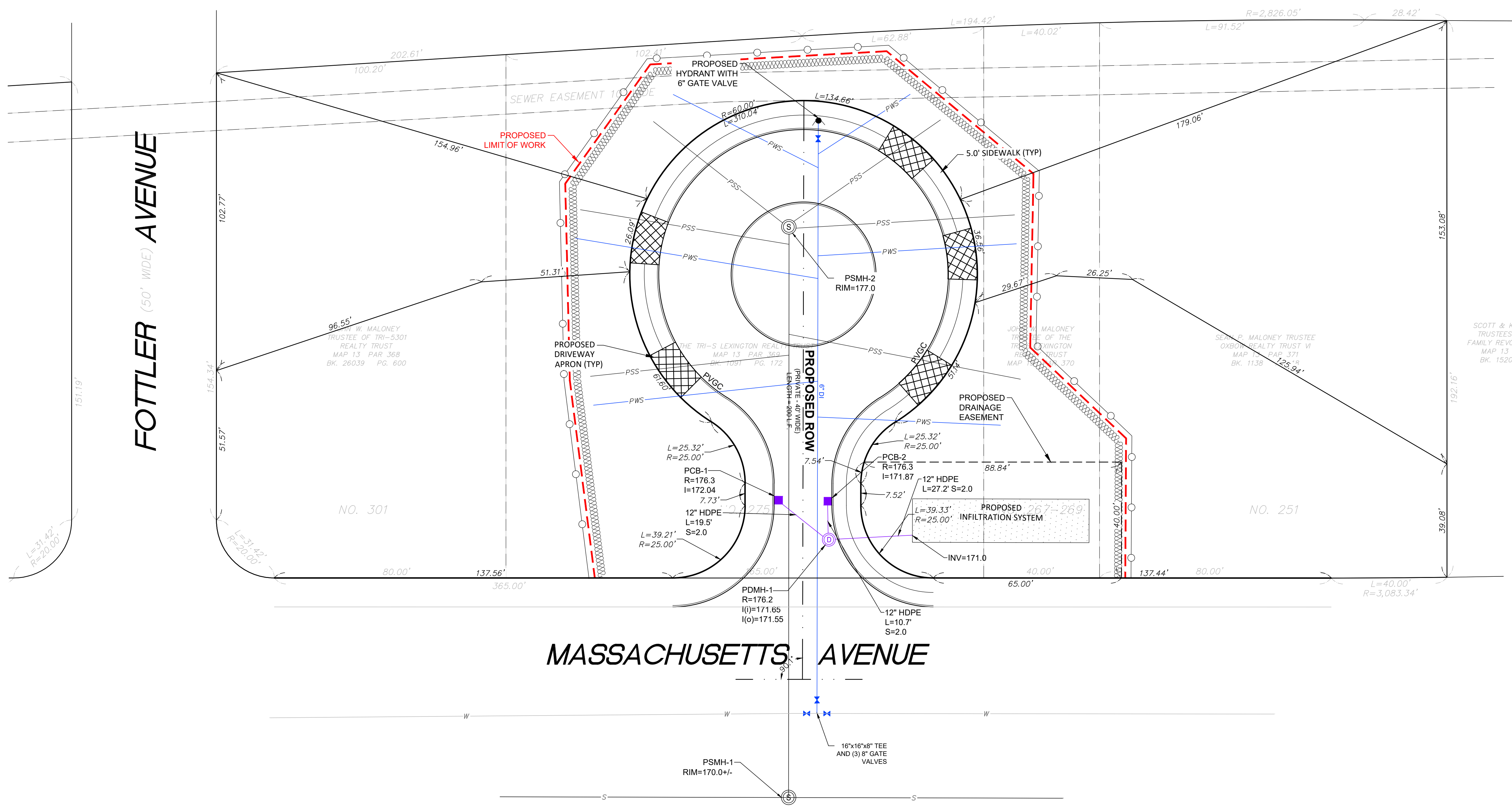
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5. THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST.

UTILITY NOTES:

1. ALL SEWER MAINS SHALL BE 8" SCH 40 PVC, UNLESS OTHERWISE NOTED.
2. ALL PROPOSED SEWER SERVICES SHALL BE 6" SCH 40 PVC AND AT A MINIMUM 2% SLOPE, UNLESS OTHERWISE NOTED.
3. ALL WATER MAINS SHALL BE 6" DI, UNLESS OTHERWISE NOTED.
4. ALL PROPOSED WATER SERVICES SHALL BE 1.5" COPPER, UNLESS OTHERWISE NOTED.
5. SEPARATION OF SEWER AND WATER LINES SHALL BE 18 INCHES (18") VERTICALLY OR 10 FEET (10') HORIZONTALLY, IF THIS CANNOT BE ACHIEVED THE SEWER SHALL BE INCASED IN CONCRETE.
6. ALL STORM DRAIN MAINS AND LATERALS SHALL BE 12" SCHEDULE 40 PVC. (EXCEPT ROOF AND YARD DRAIN CONNECTIONS WHICH SHALL BE 6" SCHEDULE 40 PVC OR APPROVED EQUAL)
7. ALL CABLE/POWER UTILITIES TO BE INSTALLED UNDERGROUND ONSITE

LEGEND	DESCRIPTION
PEOP	PROPOSED EDGE OF PAVEMENT
PVGC	PROPOSED VERTICAL GRANITE CURB
■	PROPOSED CATCH BASIN (PCB)
⊙	PROPOSED DRAIN MANHOLE (PDMH)
— PD —	PROPOSED DRAIN LINE
— PS —	PROPOSED SEWER LINE
— PWS —	PROPOSED WATER SERVICE
— PSS —	PROPOSED SEWER SERVICE
⦿	PROPOSED FIRE HYDRANT
⊙	PROPOSED SEWER MANHOLE (PSMH)
— PW —	PROPOSED WATER LINE

MINUTEMAN COMMUTER BIKEWAY

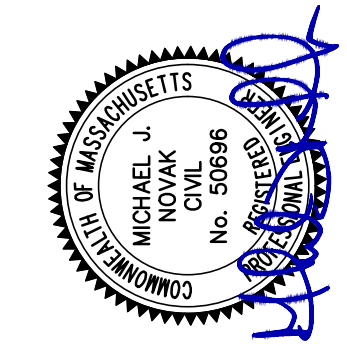


ALL UNDERGROUND UTILITY DATA REPRESENTS RECORD INFORMATION RECOVERED THROUGH RESEARCH WITHOUT SURFACE DEMARCATON NOR SUBSURFACE VERIFICATION.

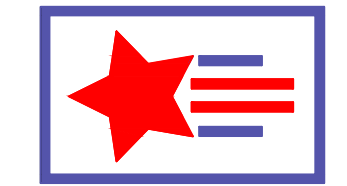
NOT FOR CONSTRUCTION

251-301 MASS AVE
LEXINGTON, MA
DRAWN BY: MVC
CHECKED BY: MJM
DATE: 2-11-2025

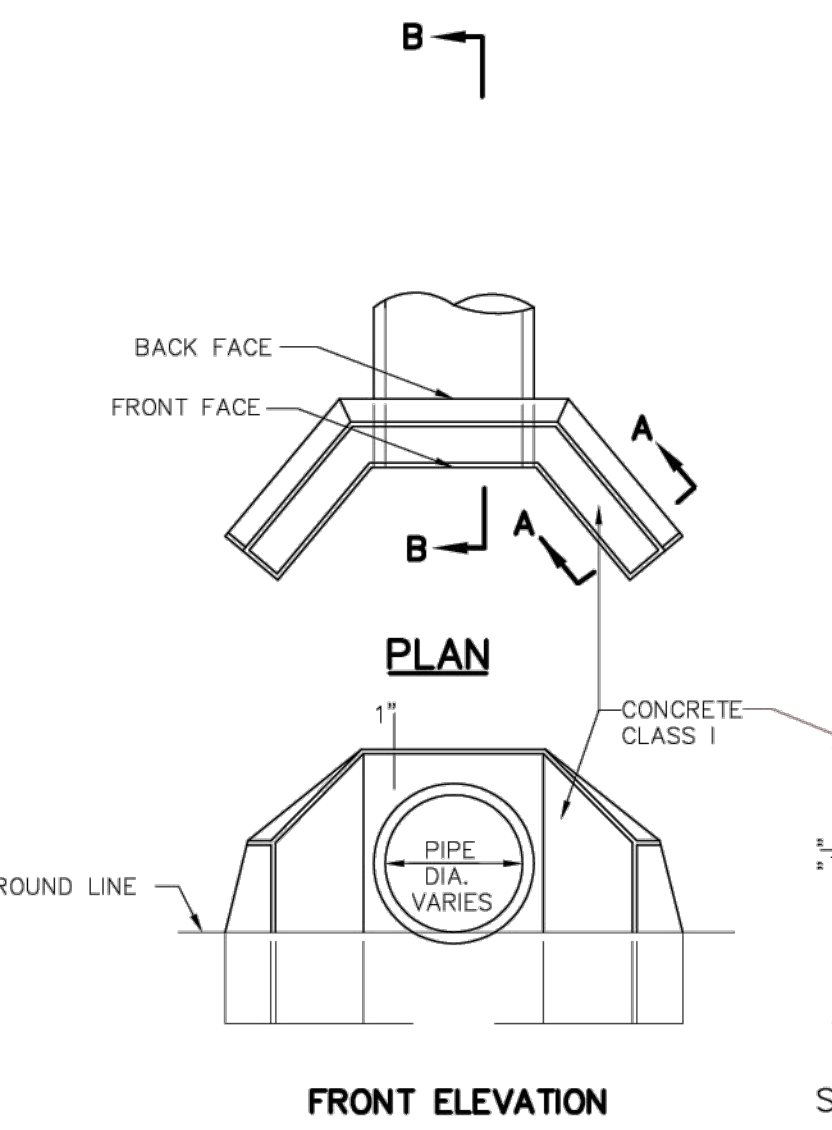
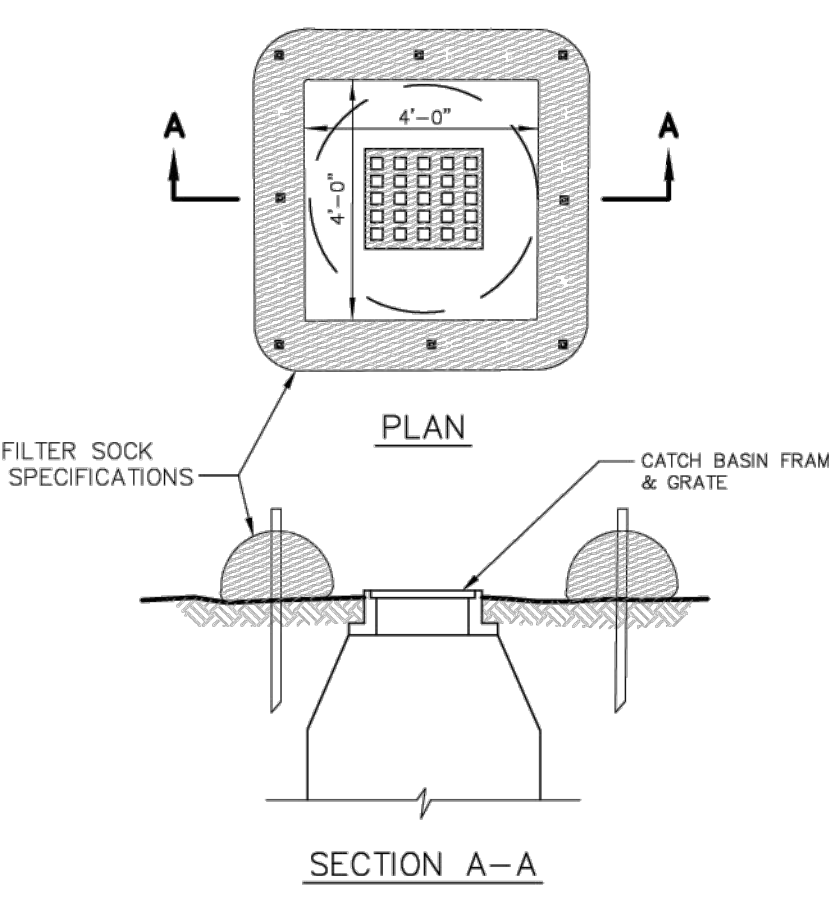
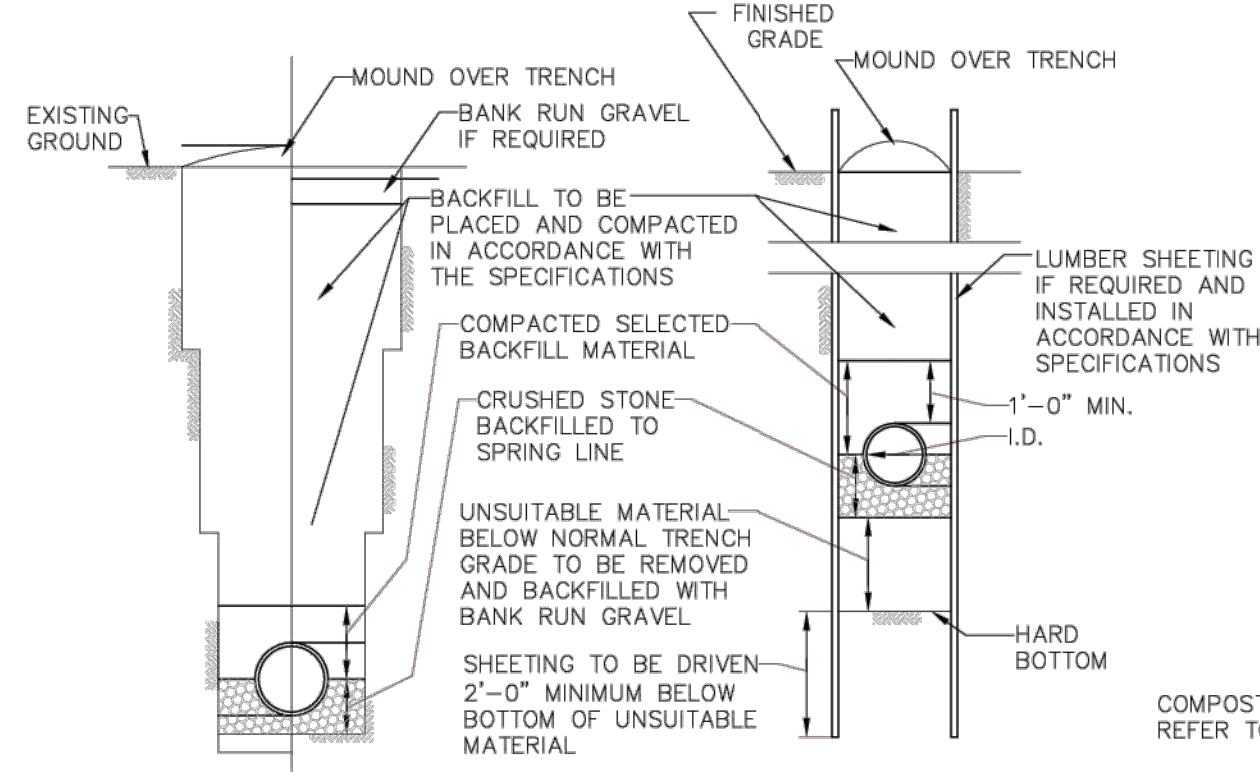
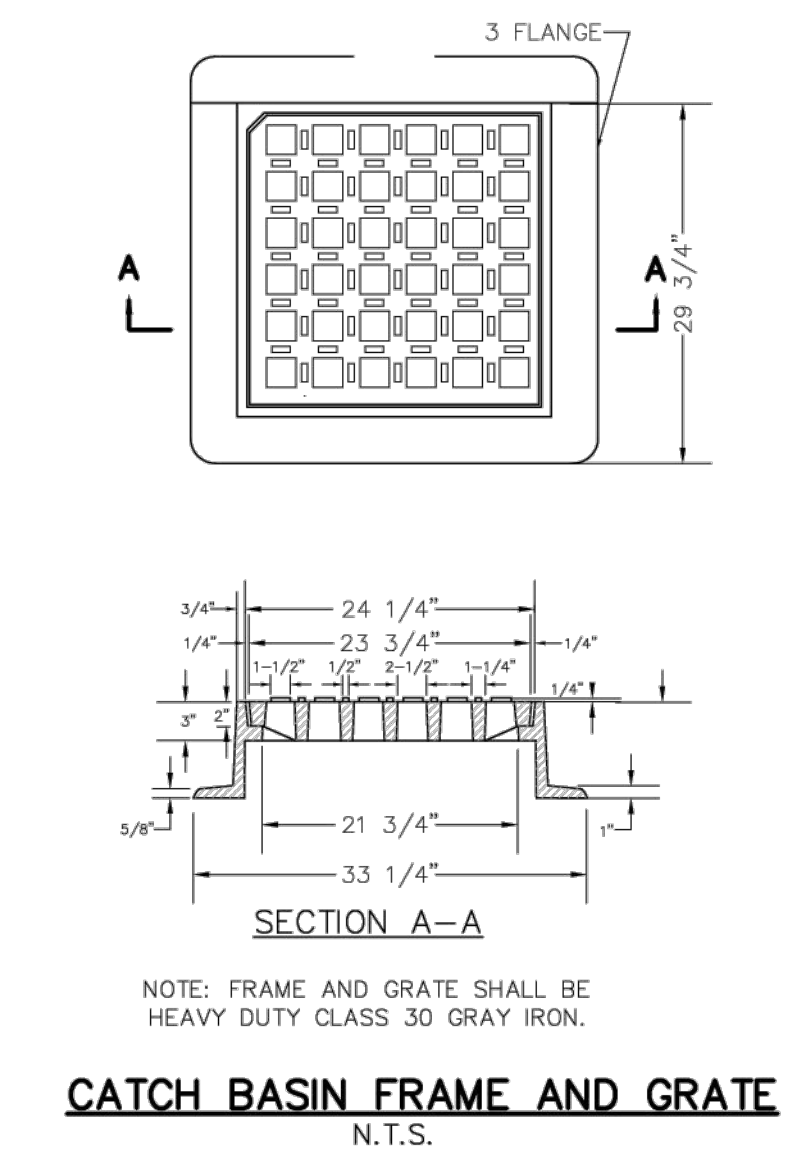
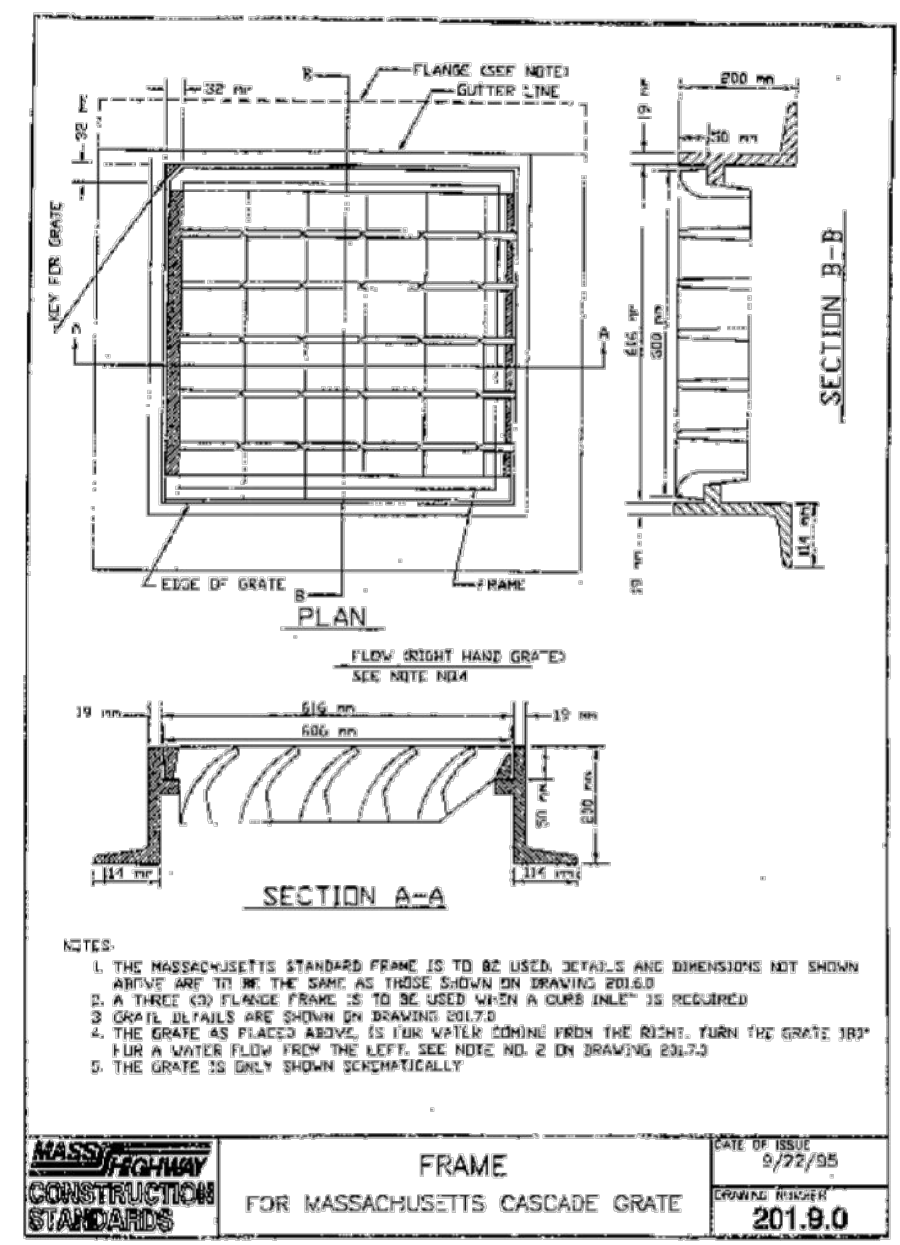
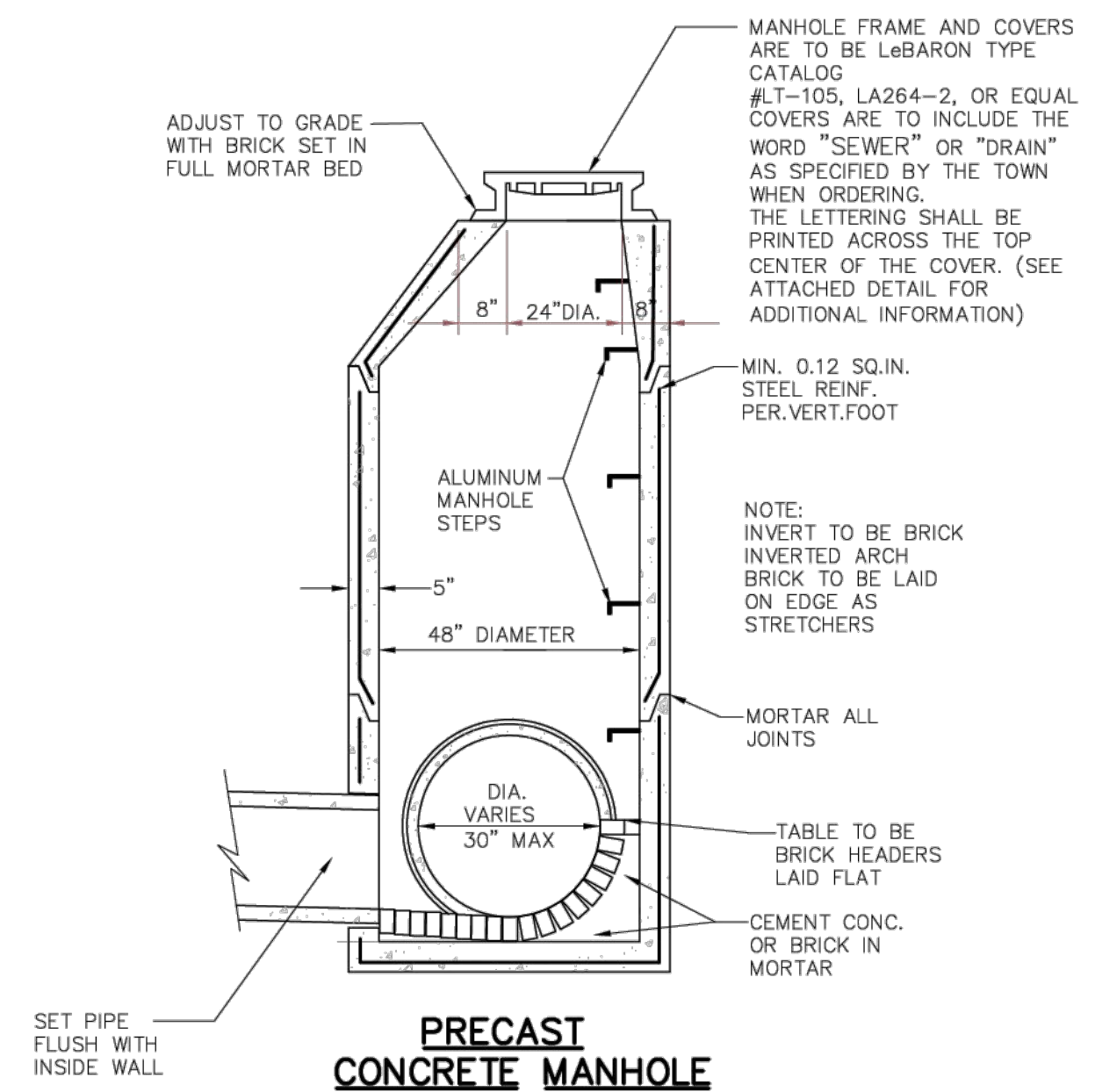
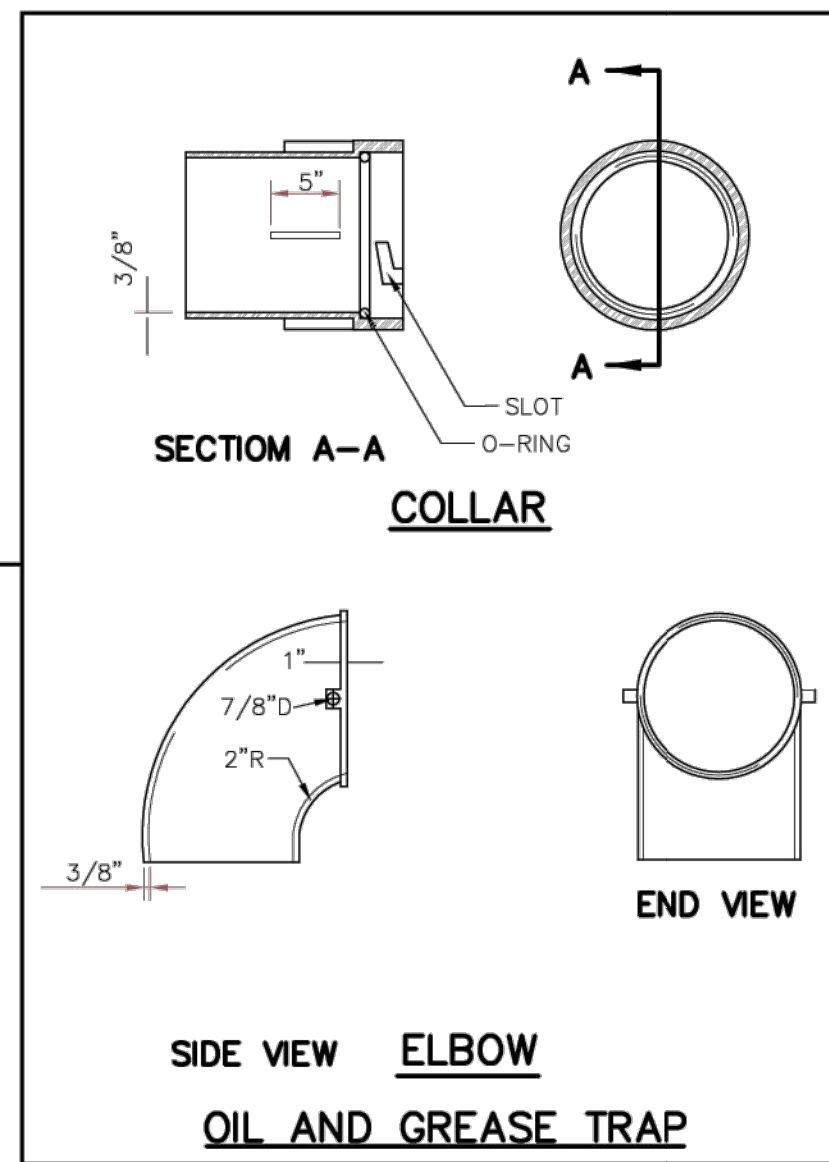
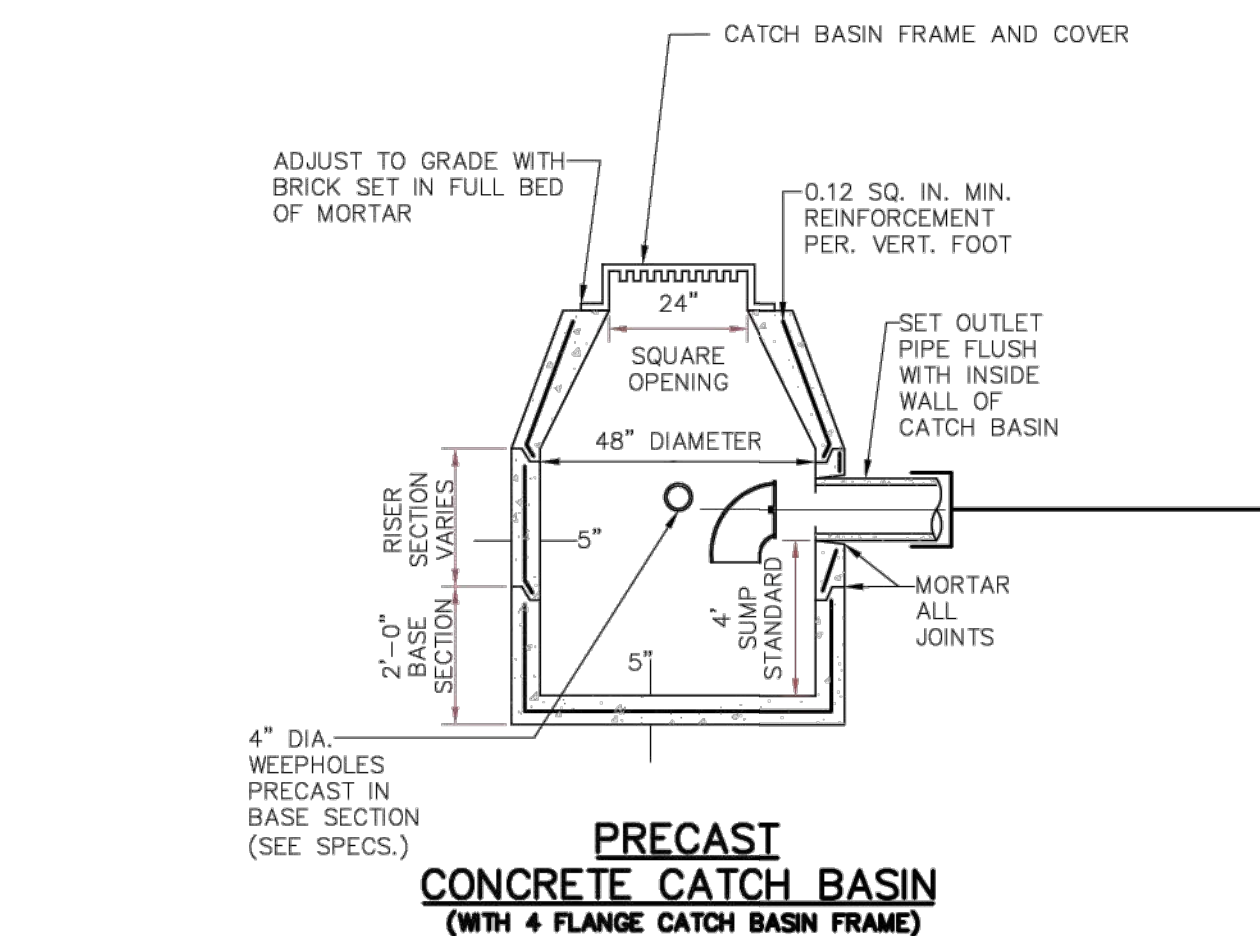
REVISIONS	DATE	BY	DESCRIPTION
	2-12-2025		NO REVISIONS TO THIS SHEET
	2-20-2025	MVC	REVISIONS PER COMMENTS



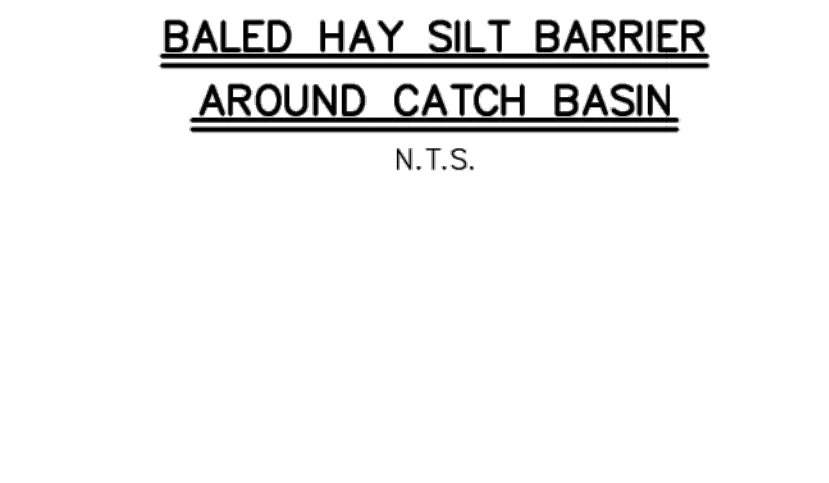
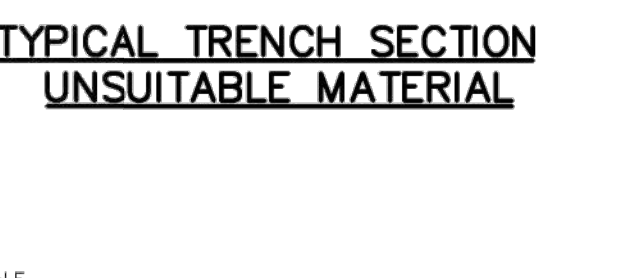
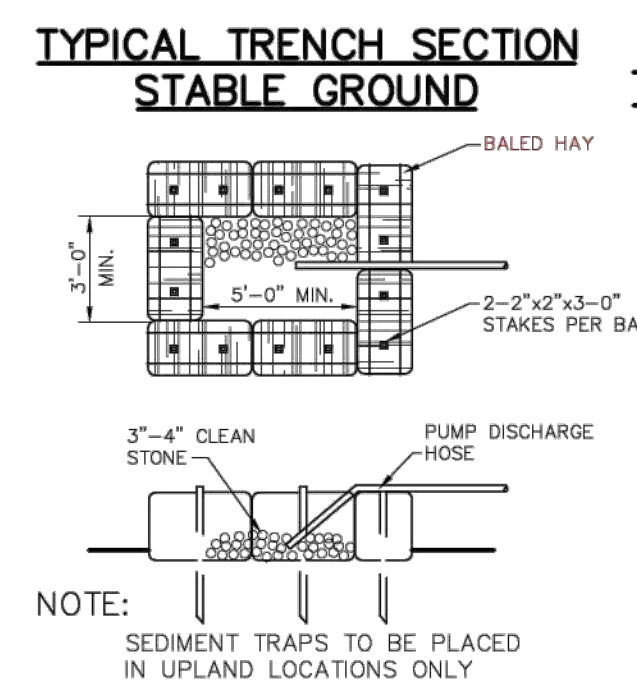
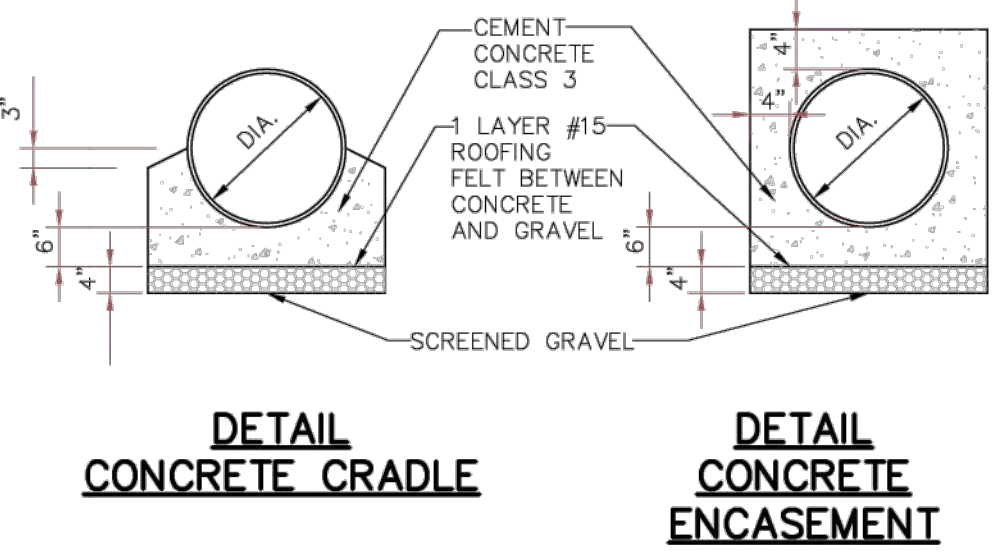
PATRIOT Engineering
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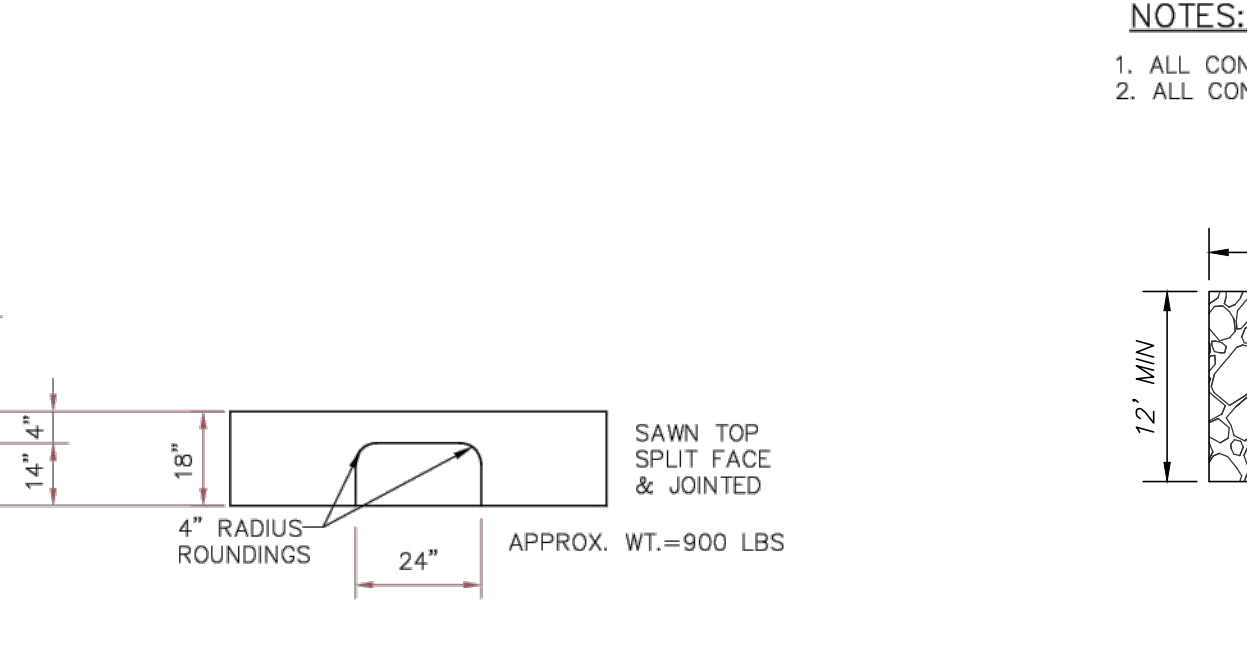
SITE PLAN - UTILITY
LOCATED IN
LEXINGTON, MA
(MIDDLESEX COUNTY)
PREPARED FOR
SEAN MALONEY TRUSTEE



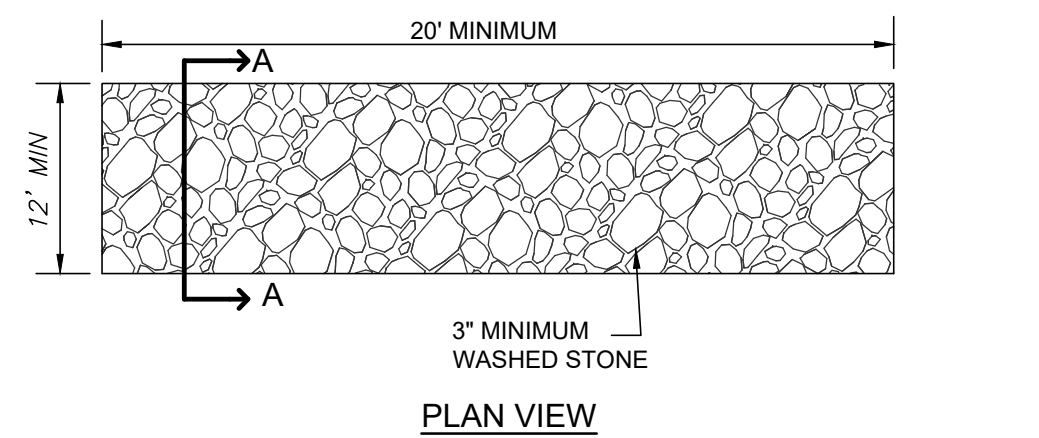
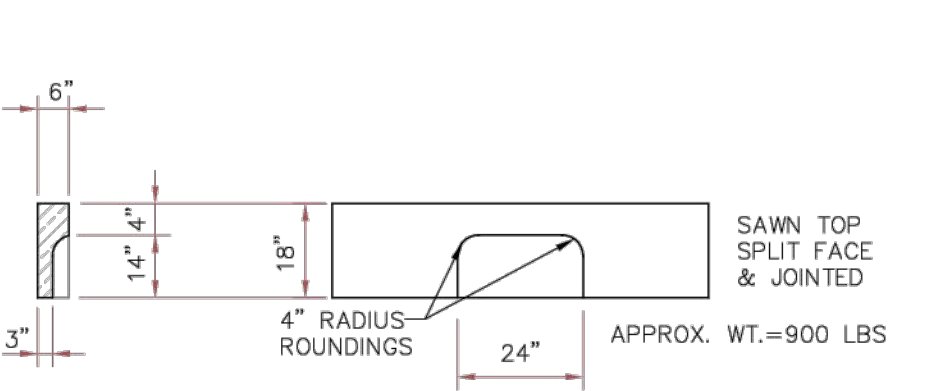
PIPE DIA.	1 1/2:1 & 2:1 SLOPES							1 1/2 SLOPES		2:1 SLOPES		
	E	G	H	J	L	N	P	F	CU. YDS.	F	CU. YDS.	
30"	4'-0"	4'-0"	5'-6"	3'-6"	1'-6"	2'-0"	5'-3"	3'-0"	2.60	45	4'-3"	3.16
36"	4'-6"	4'-3"	6'-0"	4'-0"	1'-8"	2'-3"	5'-11"	3'-6"	3.35	54	5'-0"	4.19
42"	5'-0"	4'-6"	6'-6"	4'-6"	1'-10"	2'-6"	6'-6"	4'-0"	4.20	59	5'-9"	5.25
48"	5'-6"	4'-9"	7'-0"	5'-0"	2'-0"	2'-9"	7'-2"	4'-6"	5.19	65	6'-6"	6.50
54"	6'-0"	5'-0"	7'-6"	5'-6"	2'-2"	3'-0"	7'-10"	5'-0"	6.26	73	7'-3"	7.88
60"	6'-6"	5'-3"	8'-0"	6'-0"	2'-4"	3'-3"	8'-5"	5'-6"	7.43	85	8'-0"	9.37
72"	7'-6"	5'-9"	9'-0"	7'-0"	2'-8"	3'-9"	9'-9"	6'-6"	10.25	98	9'-6"	12.99
84"	8'-6"	6'-3"	10'-0"	8'-0"	3'-0"	4'-3"	11'-0"	7'-6"	13.49	120	11'-0"	17.32



CONCRETE HEADWALL DETAILS FOR 30" TO 84" PIPE CULVERTS

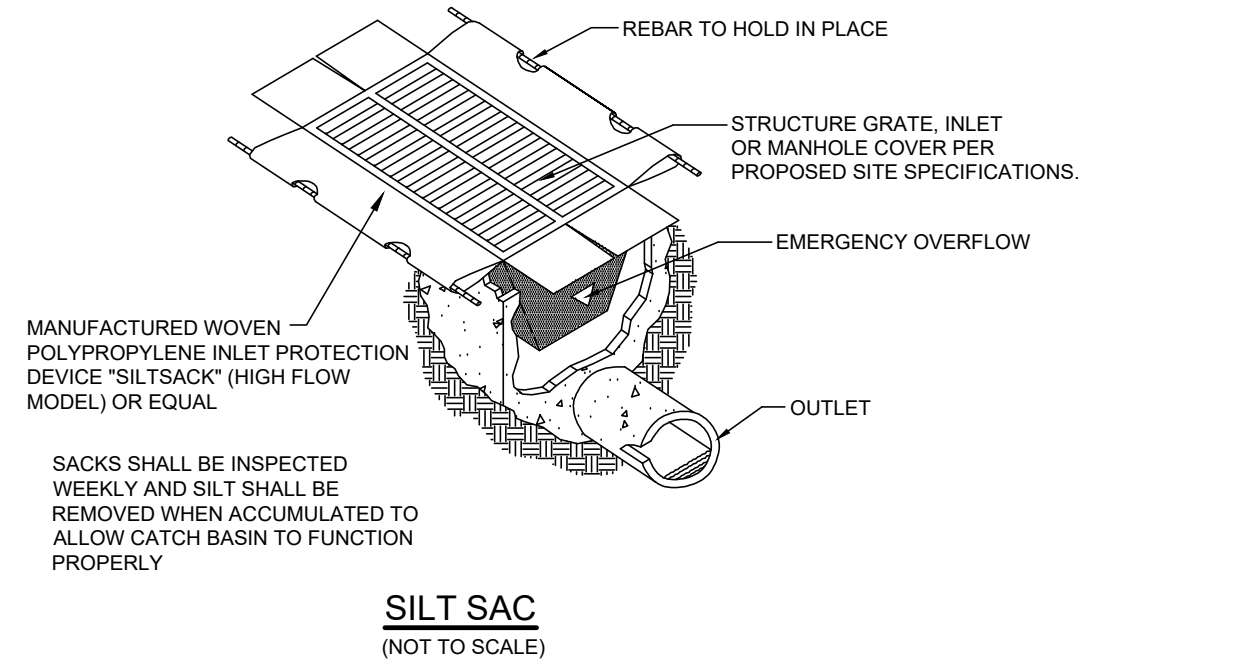
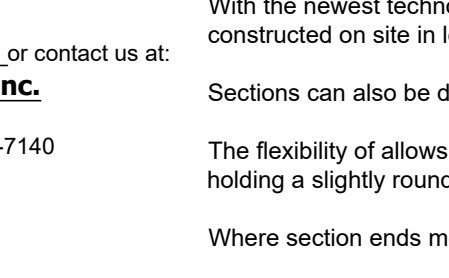
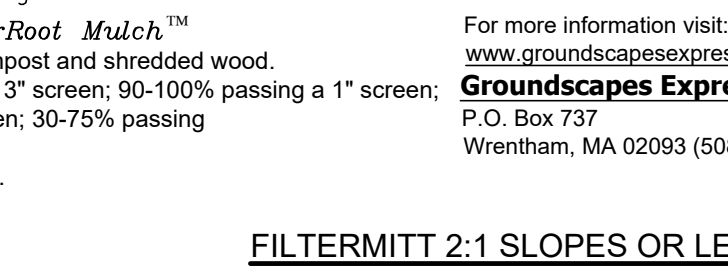
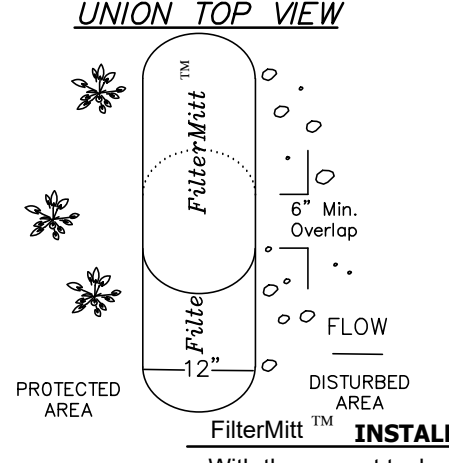
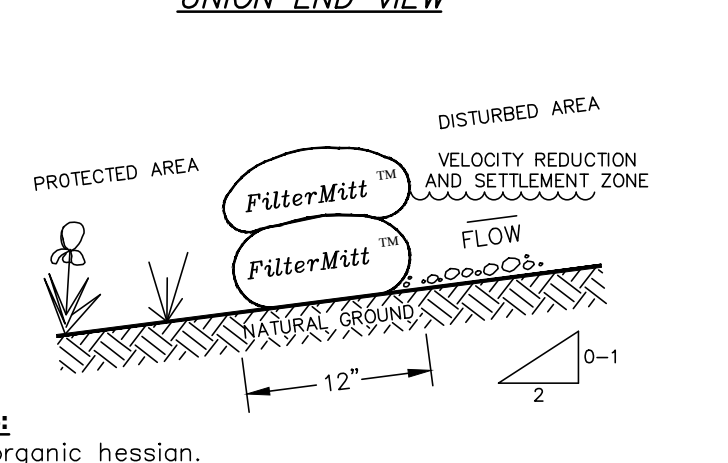
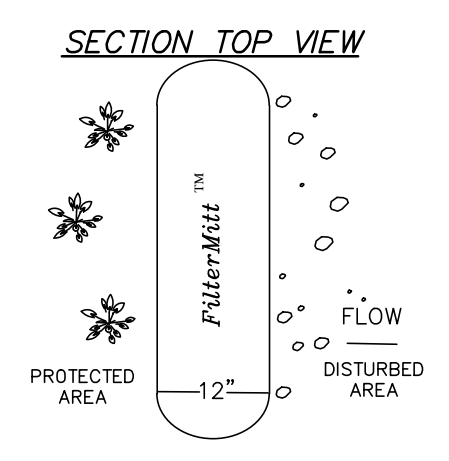
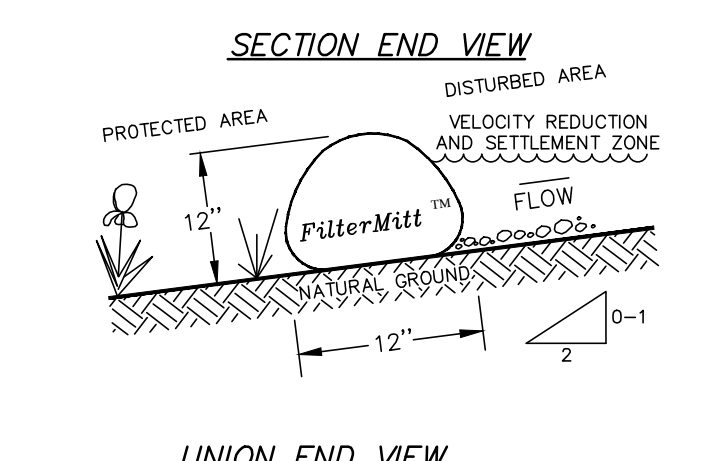


- NOTES:**
1. ALL CONCRETE CORNERS SHALL BE CHAMFERED
 2. ALL CONCRETE SHALL BE 3000 PSI



CONCRETE HEADWALL DETAILS FOR 8" TO 30" PIPE CULVERTS

PIPE DIA.	1 1/2:1 SLOPE		2:1 SLOPE	
	L	CU.YDS. LBS.	L	CU.YDS. LBS.
8"	4'-2"	0.77 15	5'-10"	1.08 21
10"	4'-10"	0.92 20	6'-8"	1.28 23
12"	5'-6"	1.08 21	7'-6"	1.49 29
15"	6'-6"	1.34 24	8'-9"	1.82 32
18"	7'-6"	1.61 30	10'-0"	2.18 39
21"	8'-8"	1.95 34	11'-6"	2.62 43
24"	9'-3"	2.16 35	12'-6"	2.97 50
30"	10'-6"	2.63 44	15'-6"	3.86 62



CONCRETE HEADWALL DETAILS FOR 8" TO 30" PIPE CULVERTS



ALL DETAILS ARE NOT TO SCALE

FILTERMITT 2:1 SLOPES OR LESS

NOT FOR CONSTRUCTION

251-301 MASS AVE
LEXINGTON, MA

DATE: 2-11-2025
DRAWN BY: MVC
CHECKED BY: MJN

REVISIONS

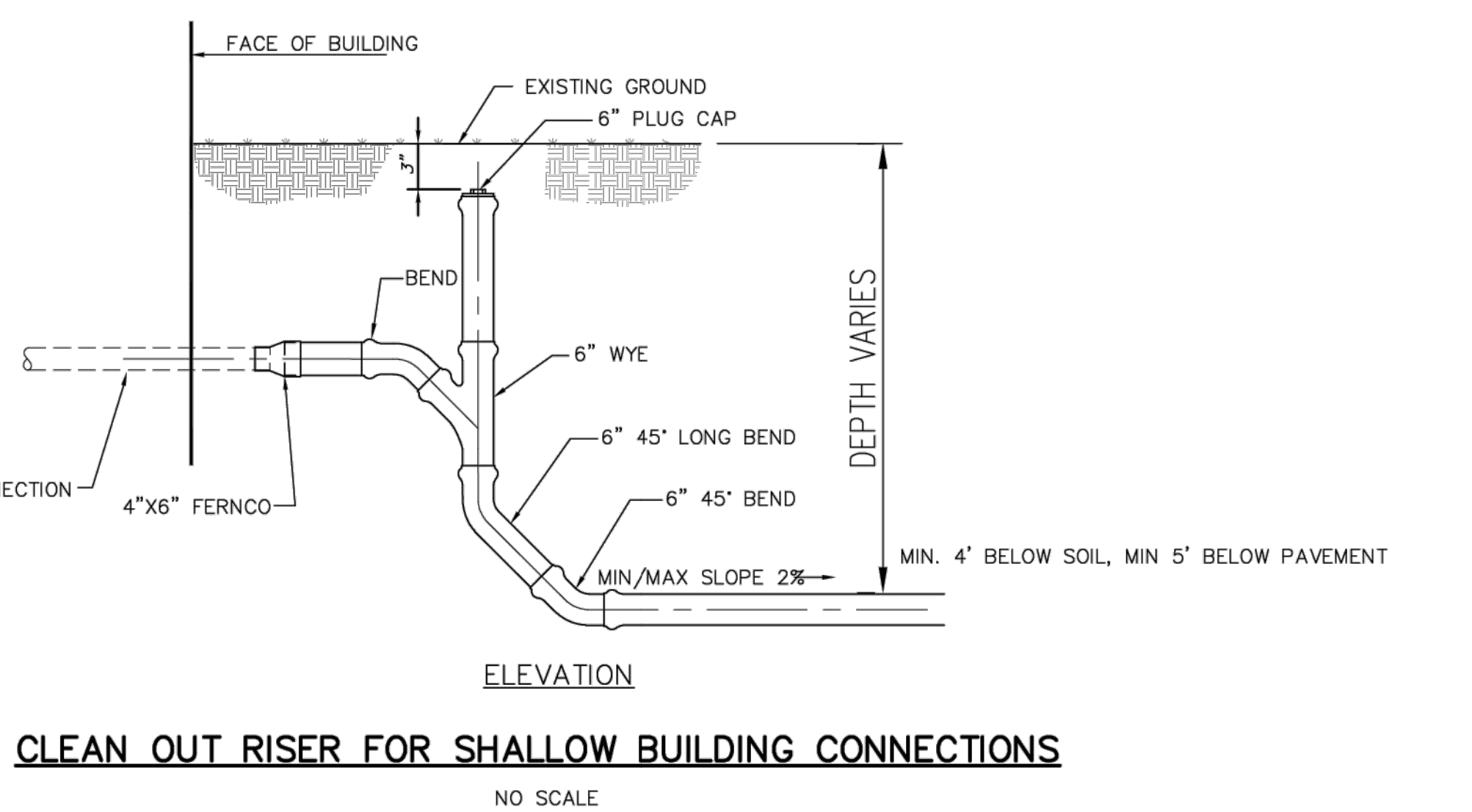
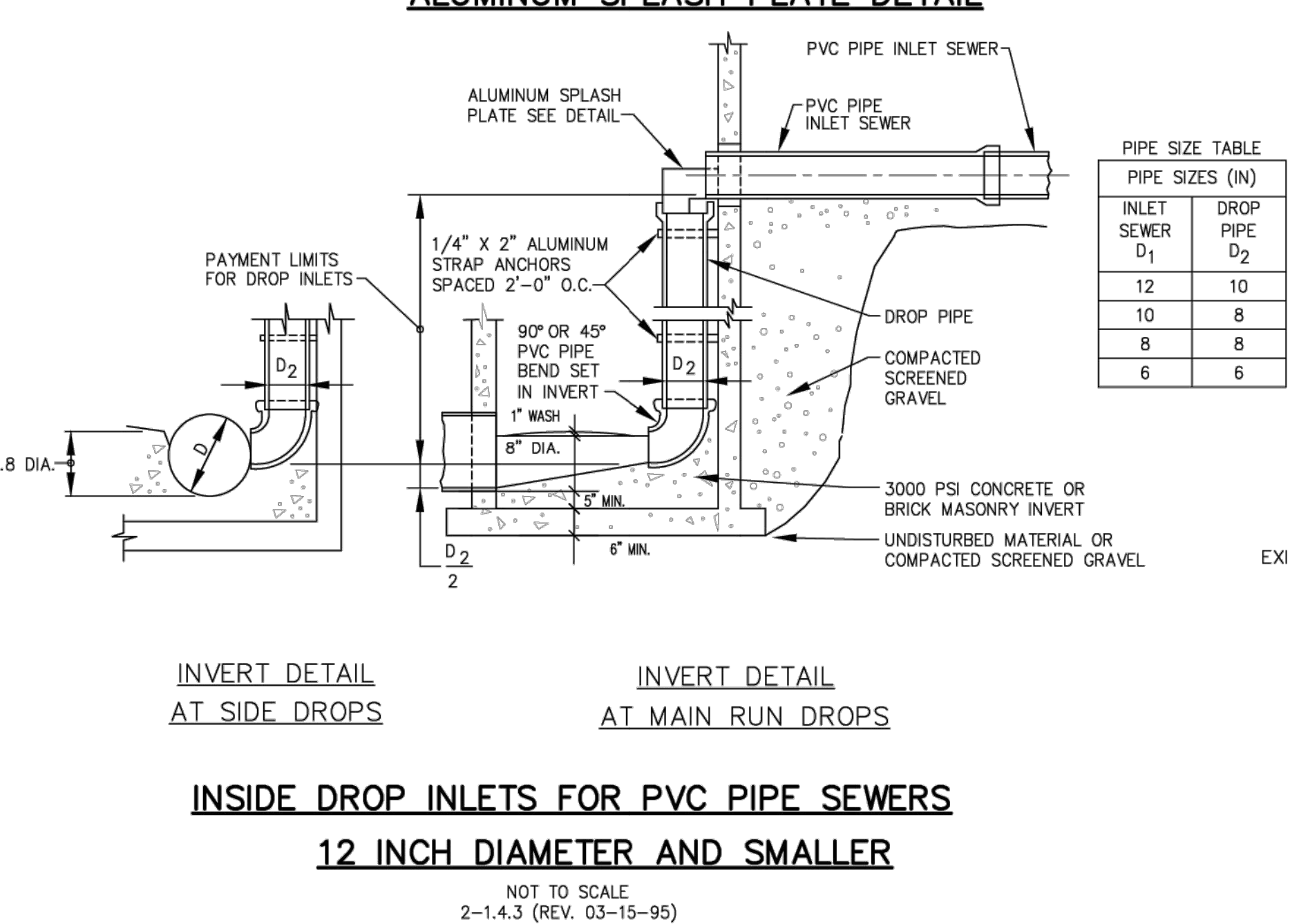
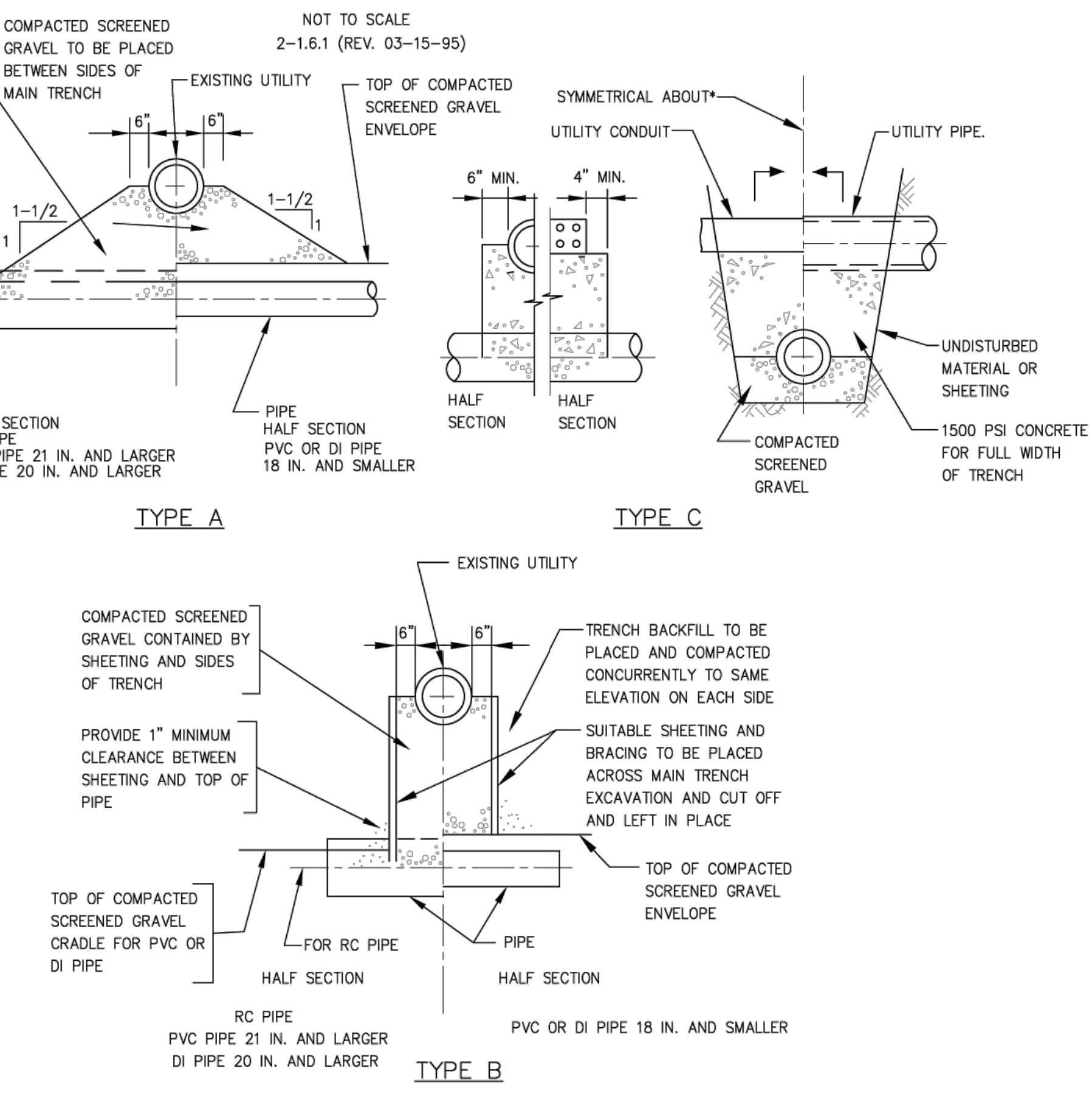
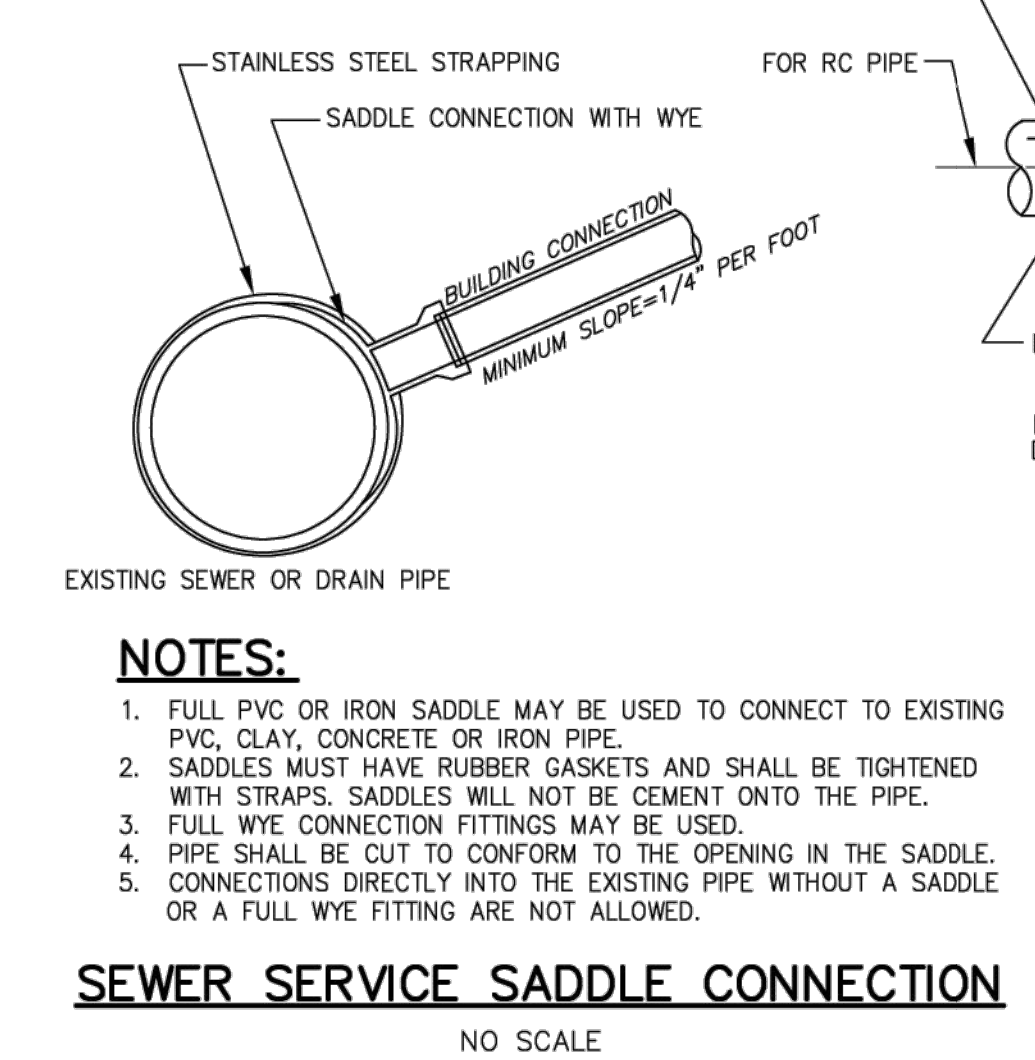
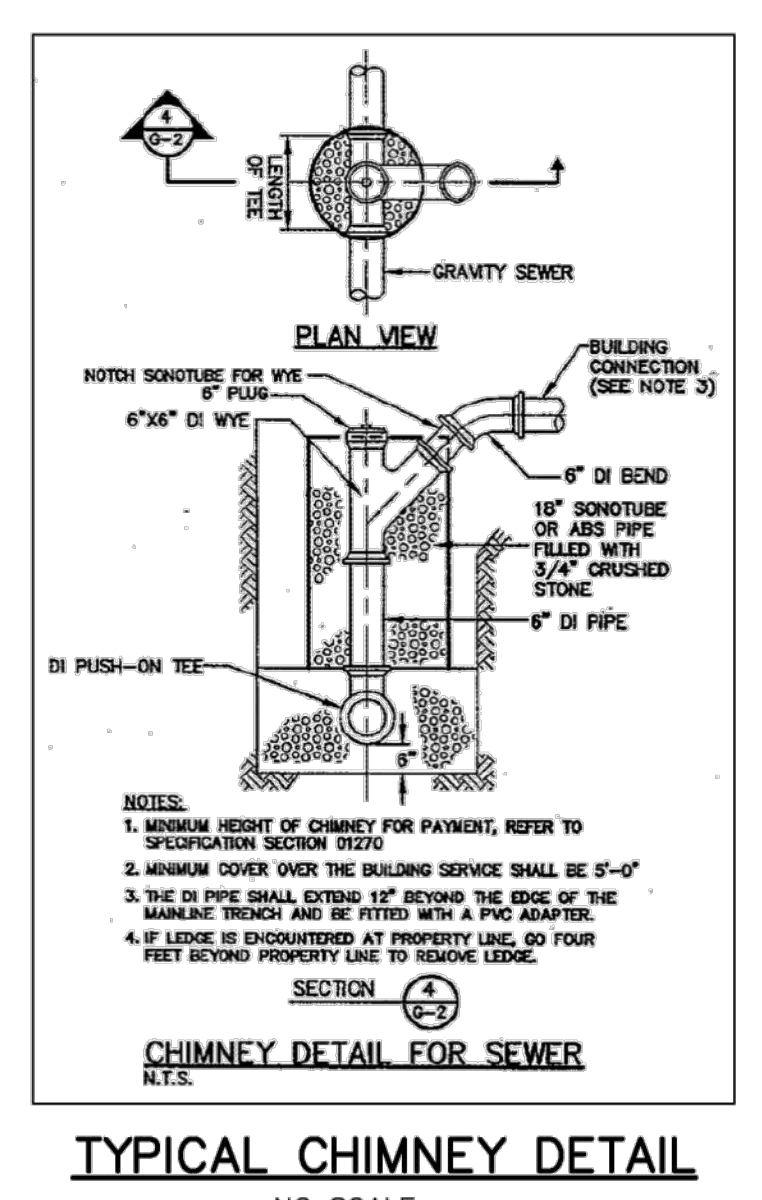
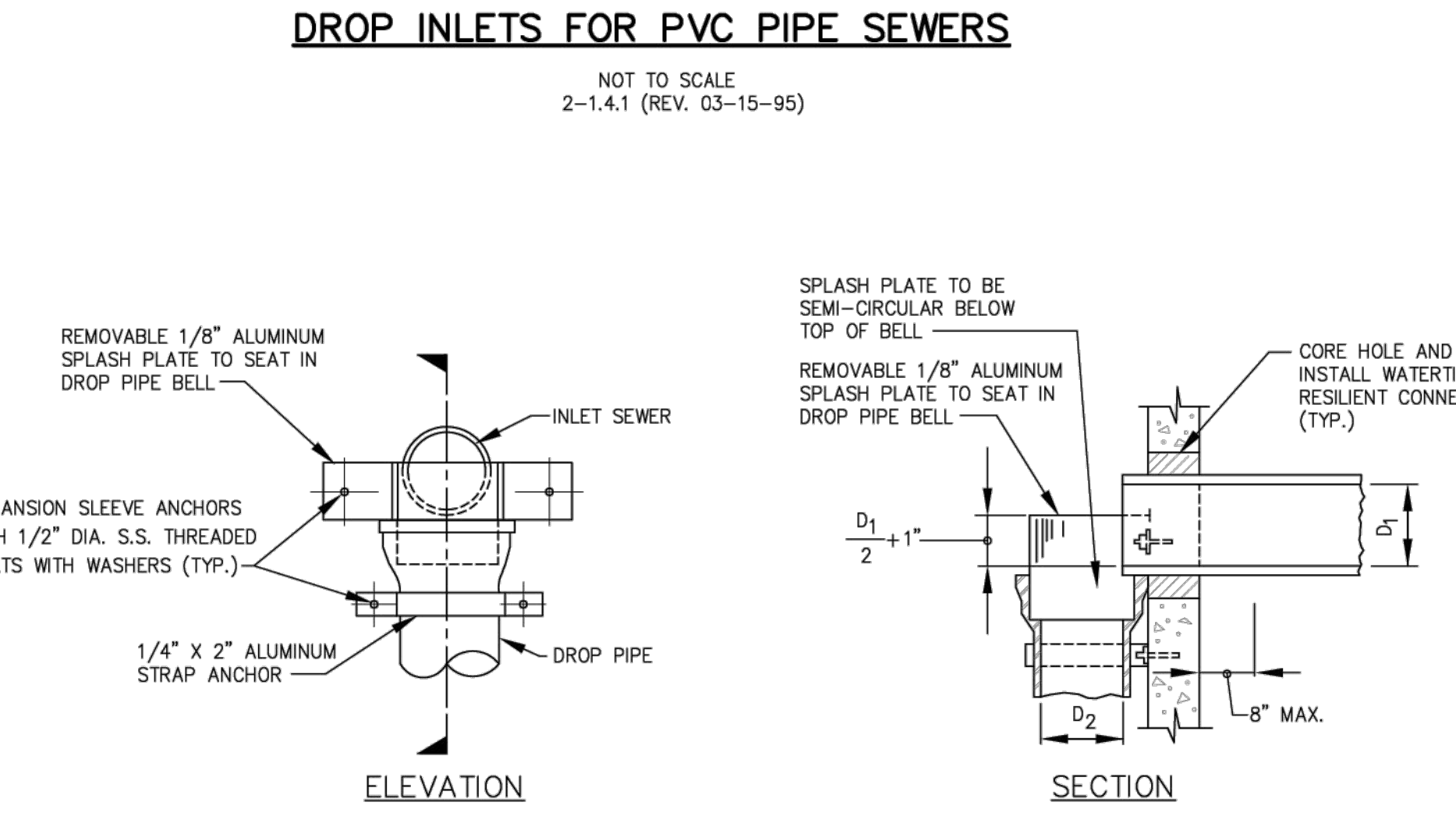
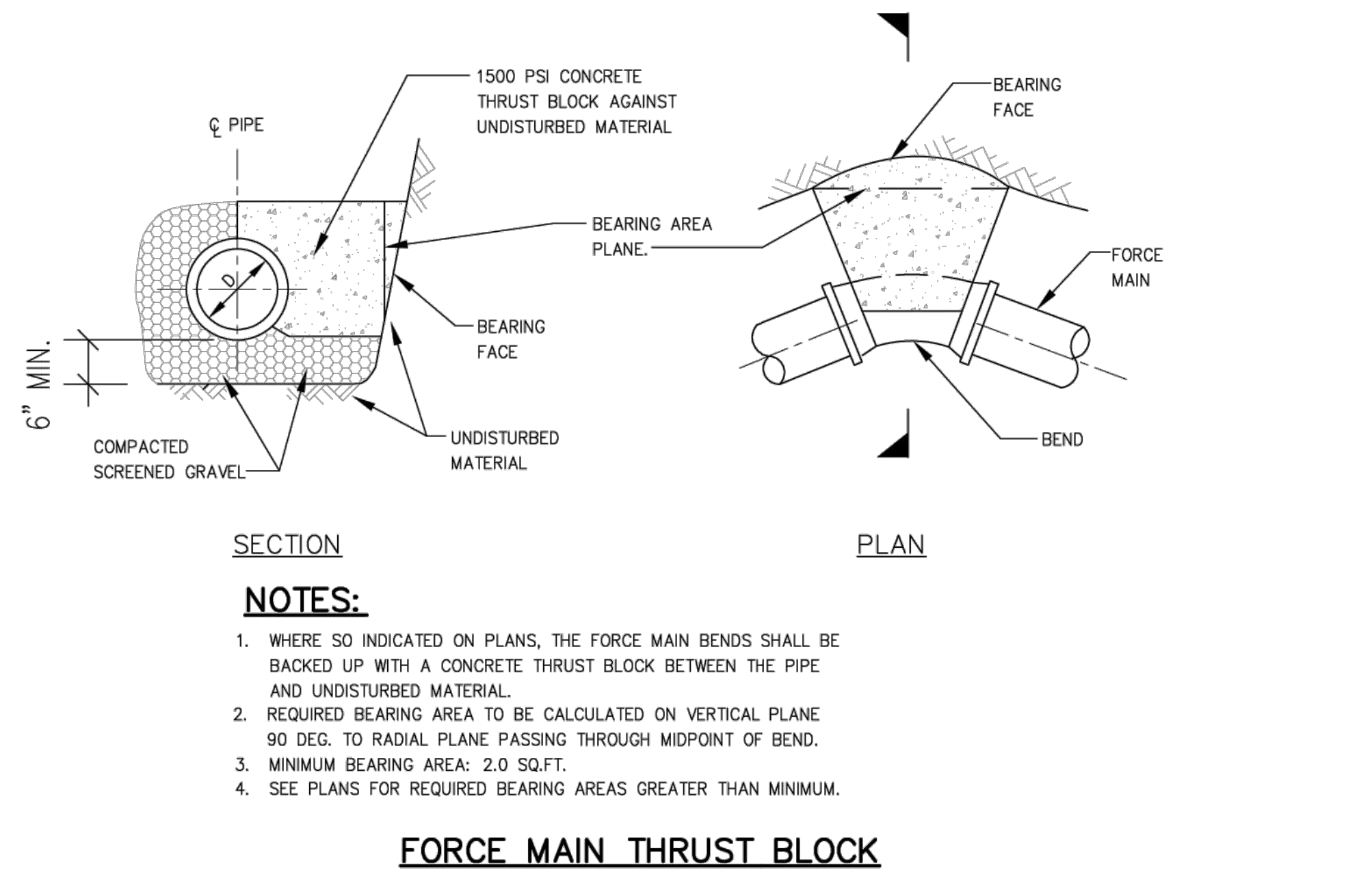
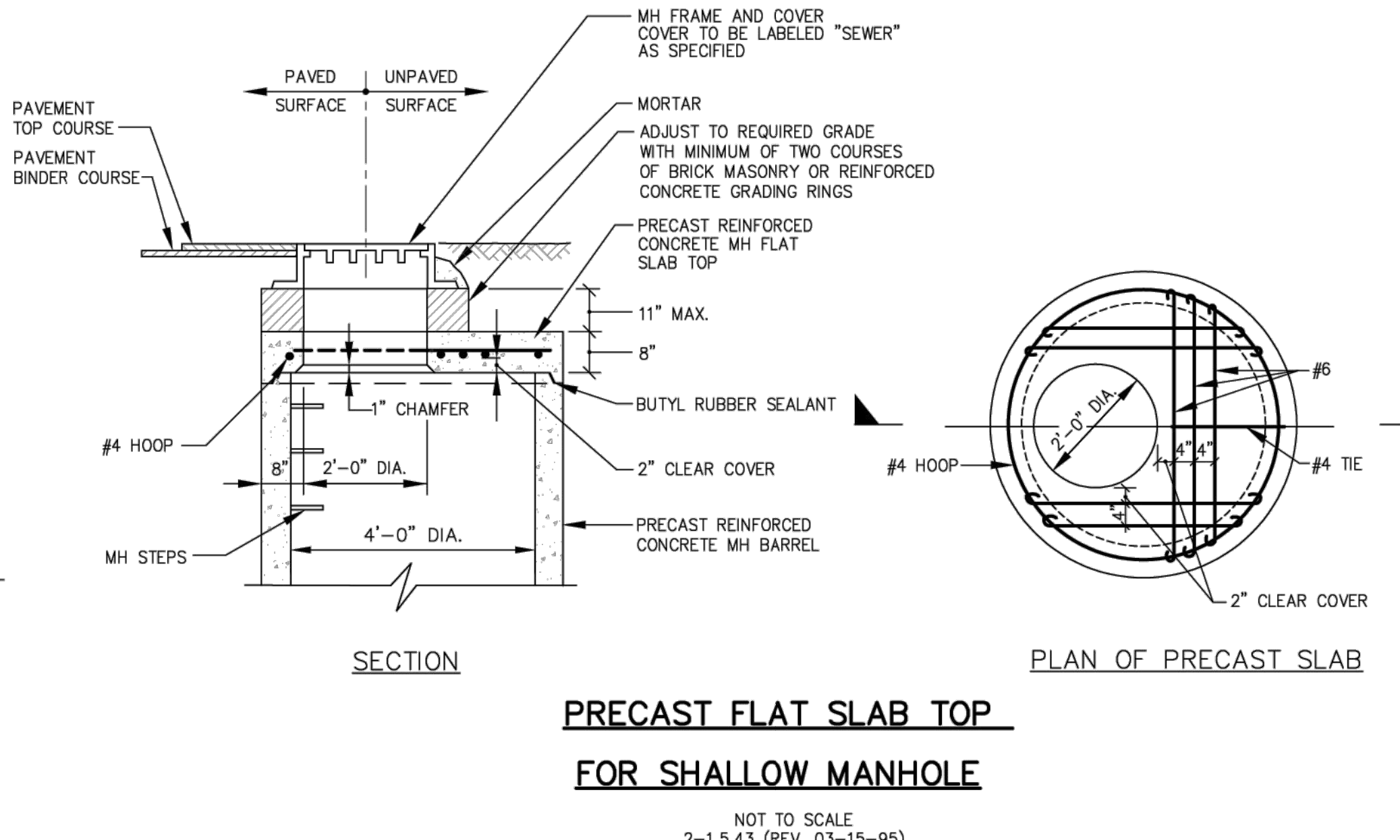
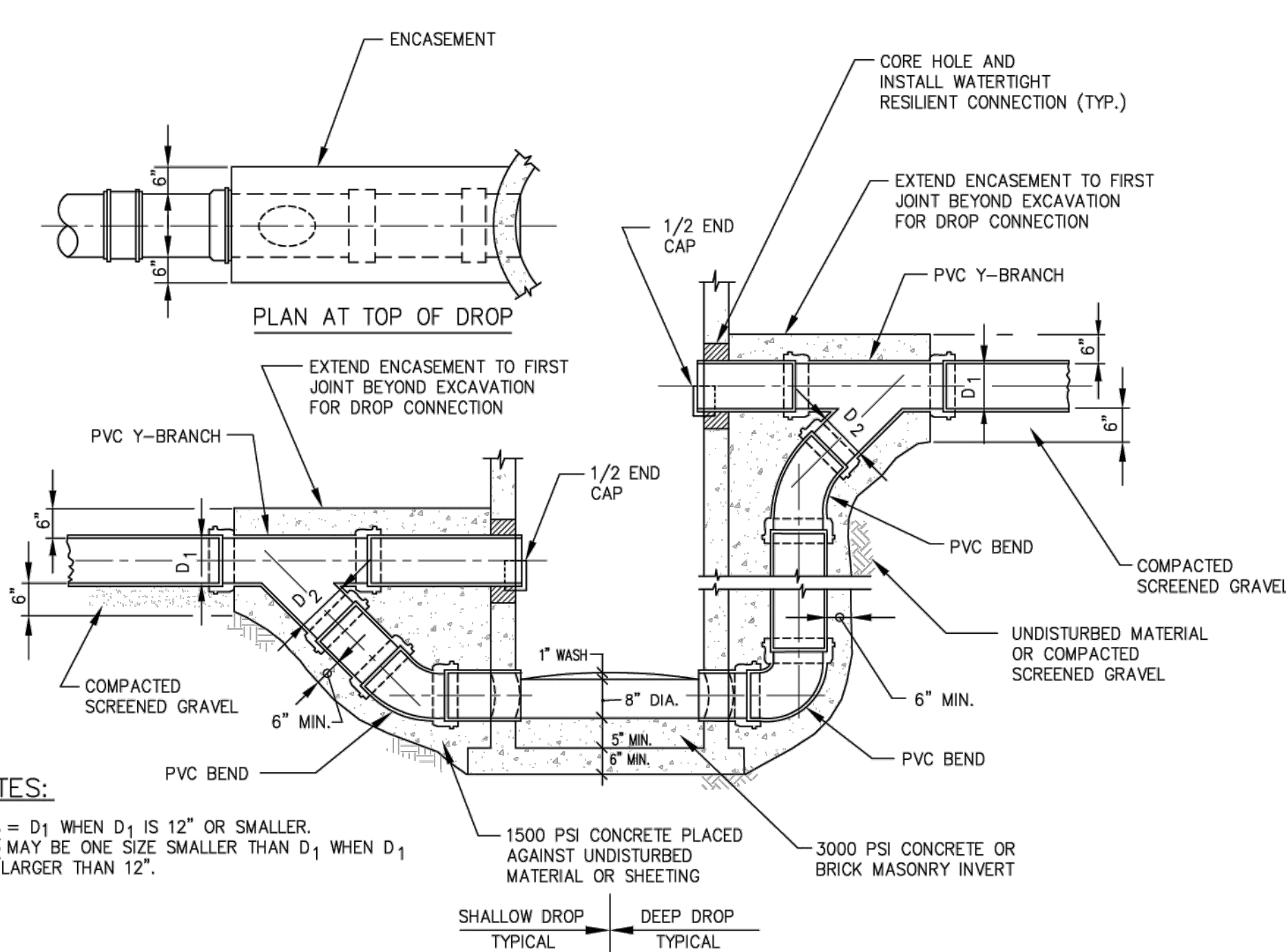
DATE	BY	DESCRIPTION

MASSACHUSETTS PROFESSIONAL ENGINEER
MICHAEL J. NOVAK
No. 50696
EXPIRES 12/31/2025

PATRIOT Engineering
P.O. BOX 362
LEXINGTON, MASSACHUSETTS 02420
T: (978) 726-2654
www.patriot-eng.com

DETAILS LOCATED IN
LEXINGTON, MA
(MIDDLESEX COUNTY)
PREPARED FOR
SEAN MALONEY TRUSTEE

SHEET
C-6.1



ALL DETAILS ARE NOT TO SCALE

NOT FOR CONSTRUCTION

251-301 MASS AVE
LEXINGTON, MA

DATE: 2-11-2025
DRAWN BY: MVC
CHECKED BY: MJN

REVISIONS

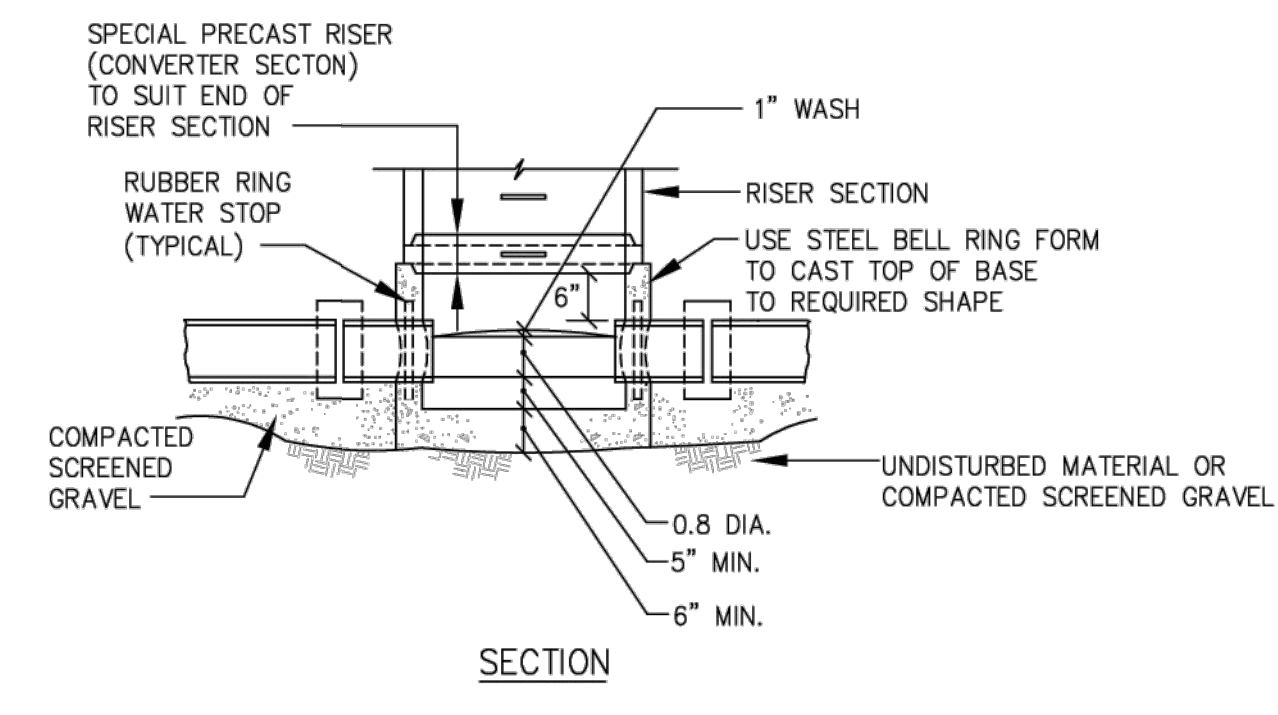
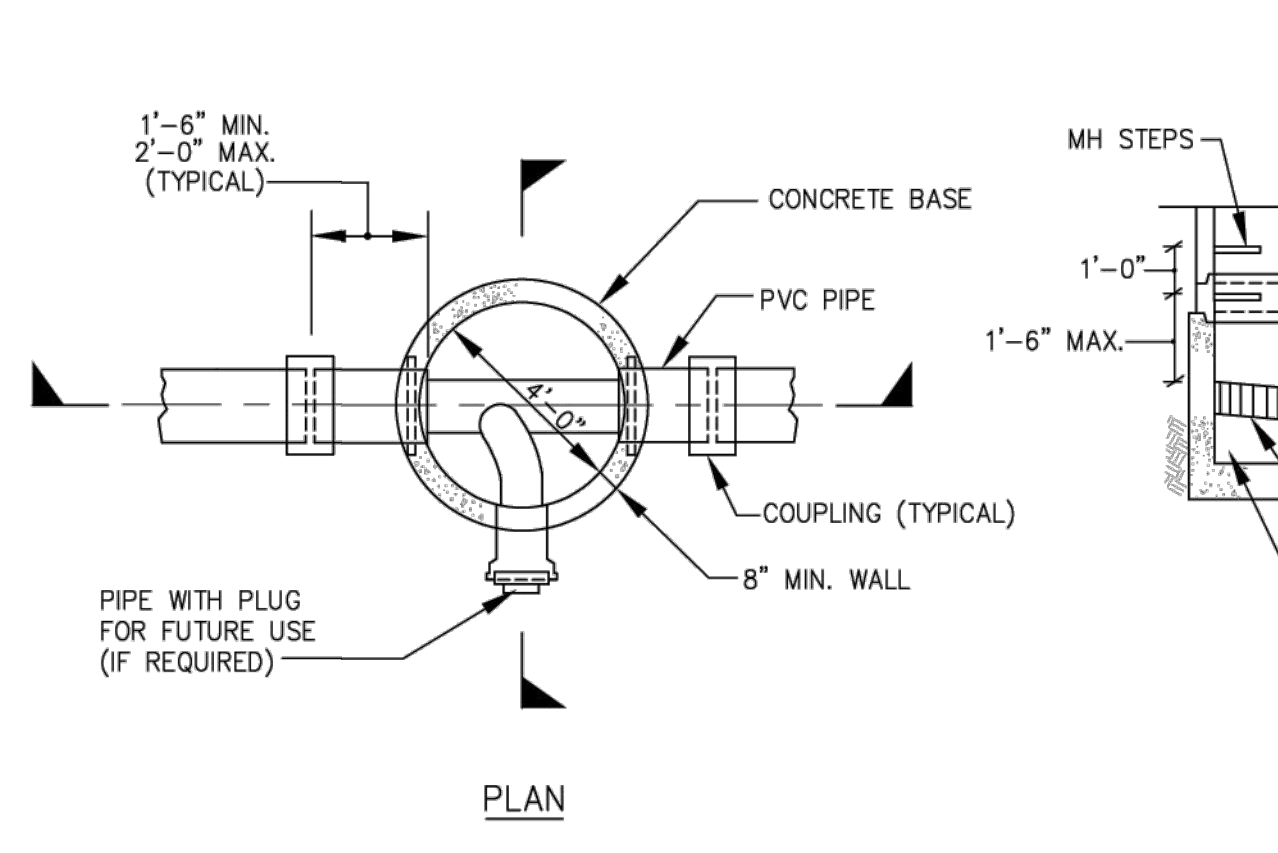
NO.	DATE	DESCRIPTION

PROF. SEAL
MICHAEL J. NOVAK
NO. 50696
STATE OF MASSACHUSETTS

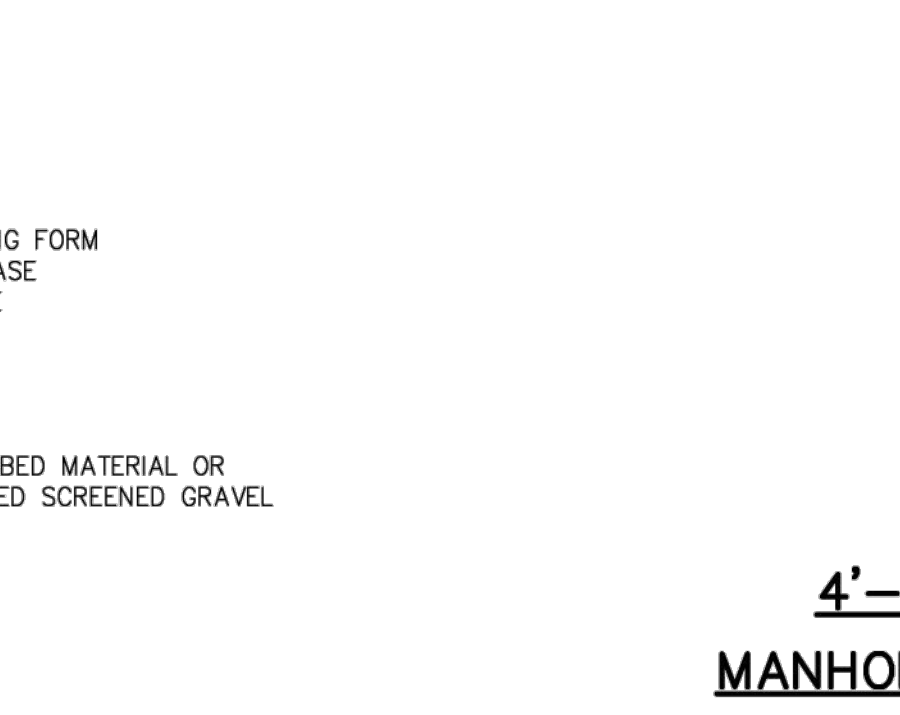
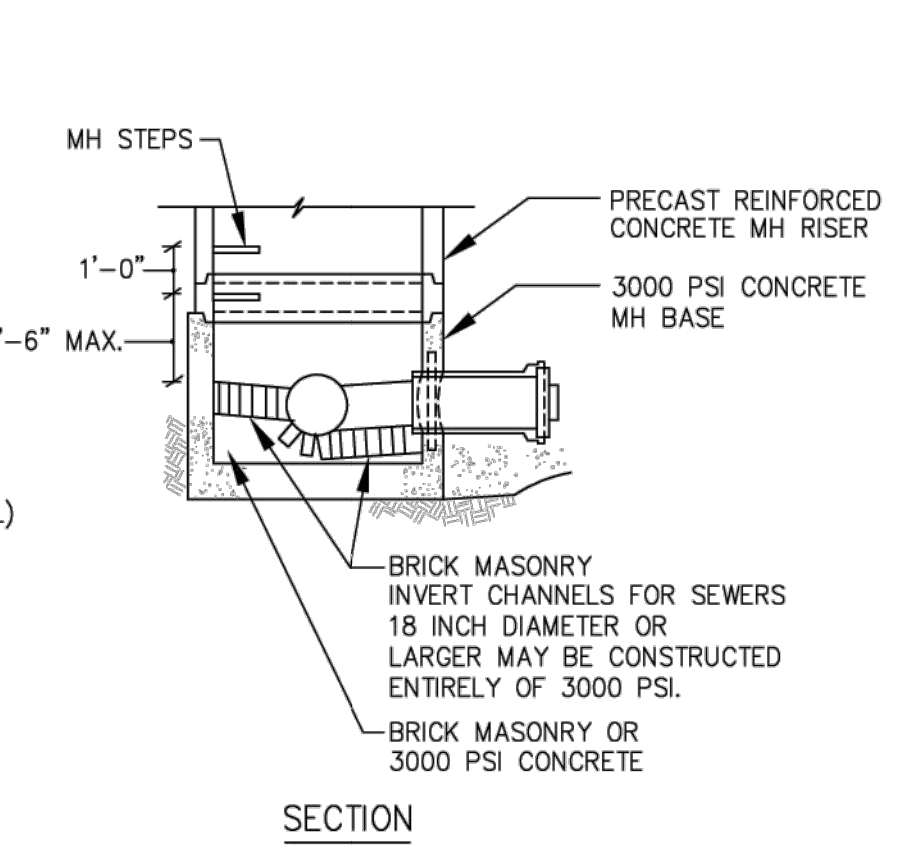
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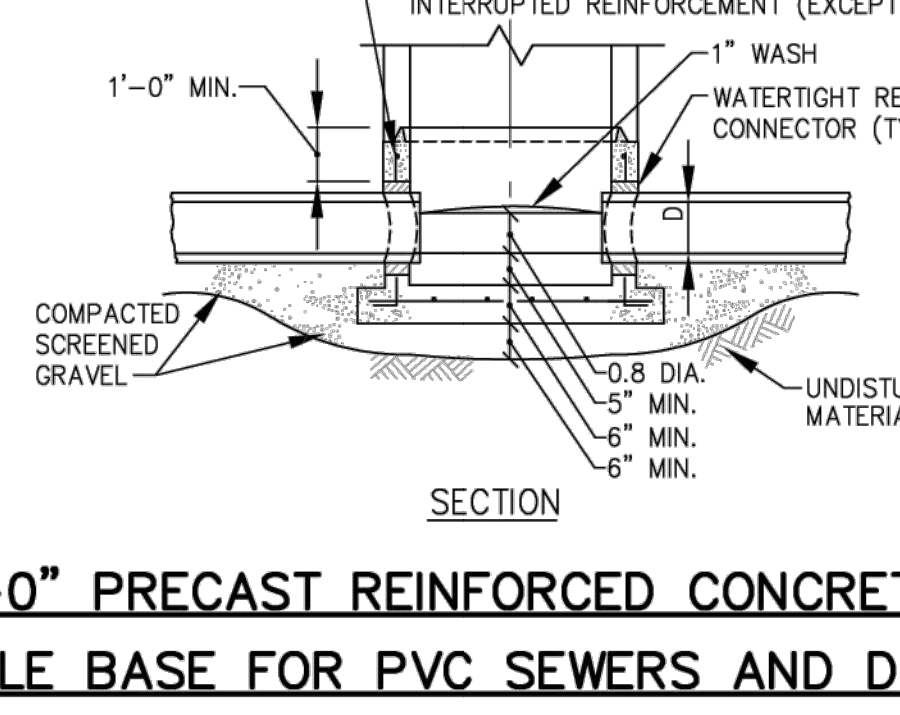
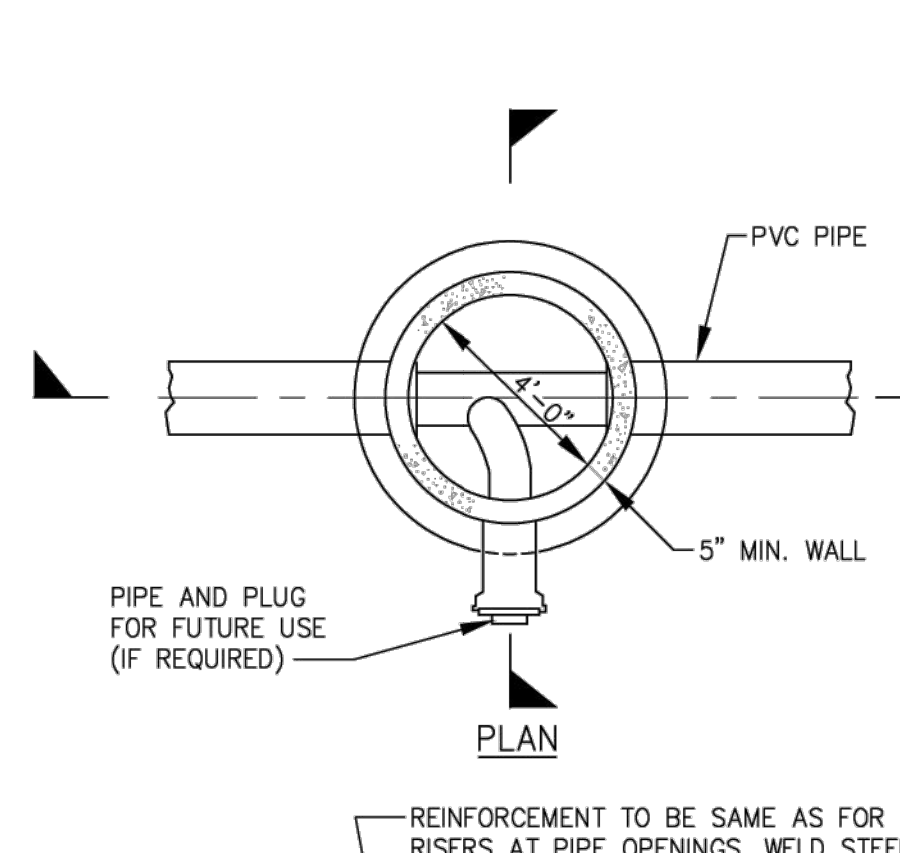
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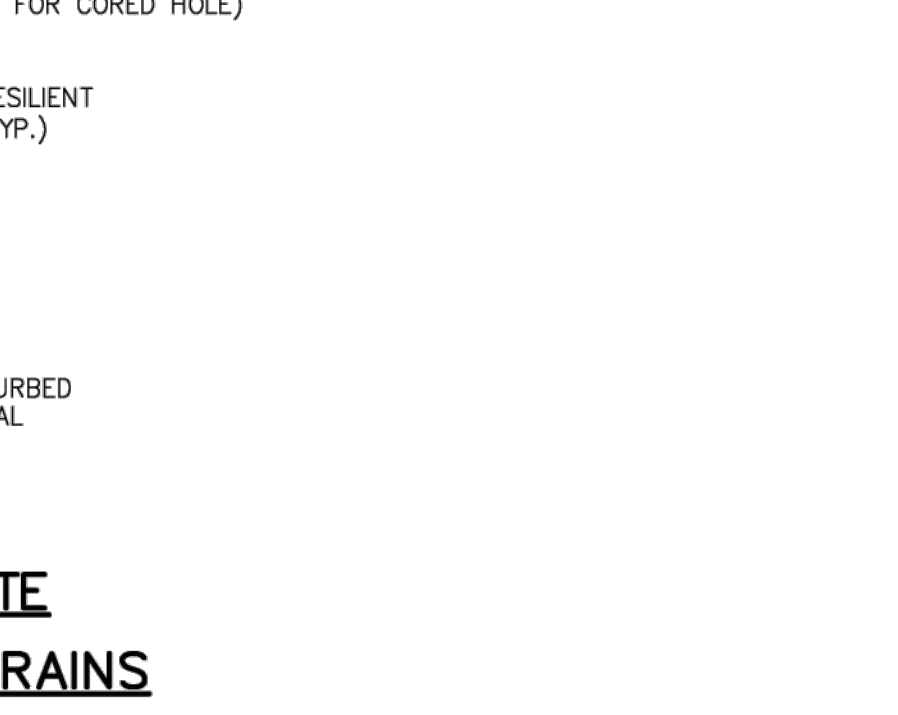
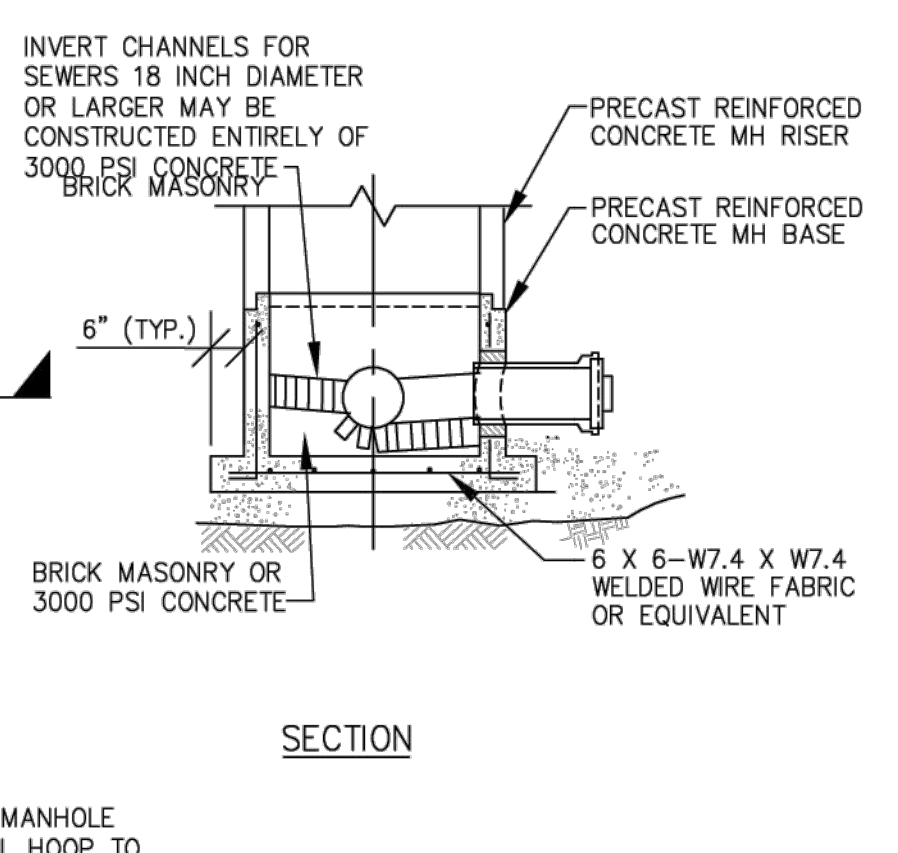
CAST-IN-PLACE CONCRETE BASE FOR PVC SEWERS
 NOT TO SCALE
 2-1.5.4 (REV. 03-15-95)



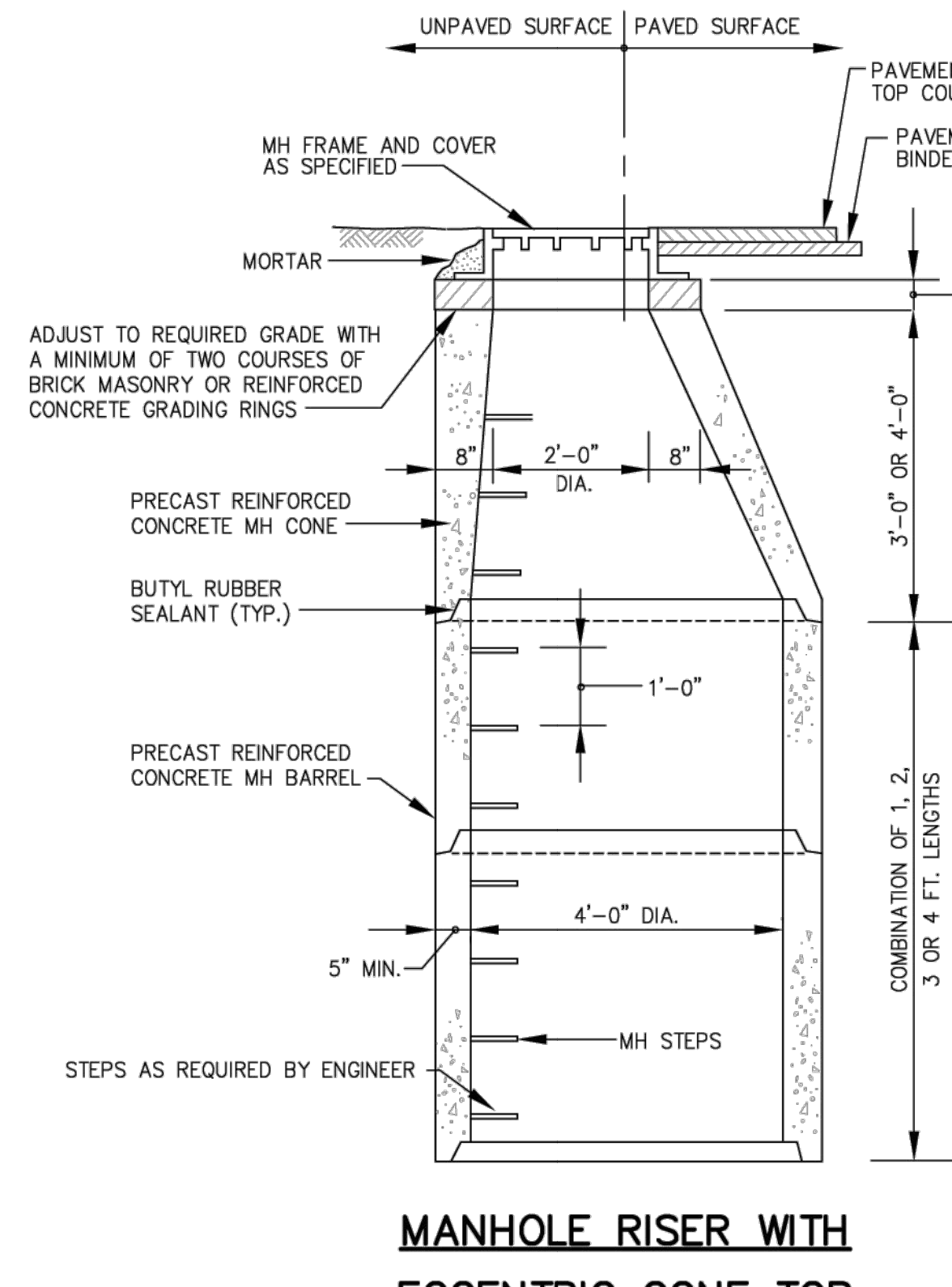
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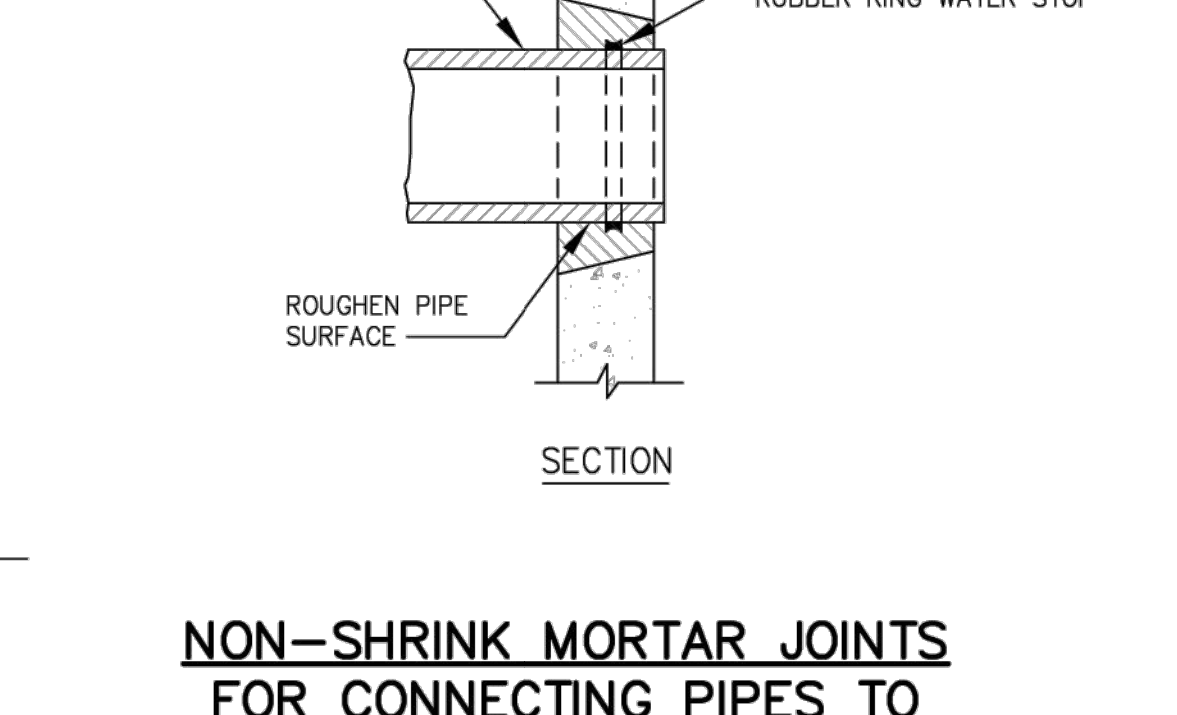
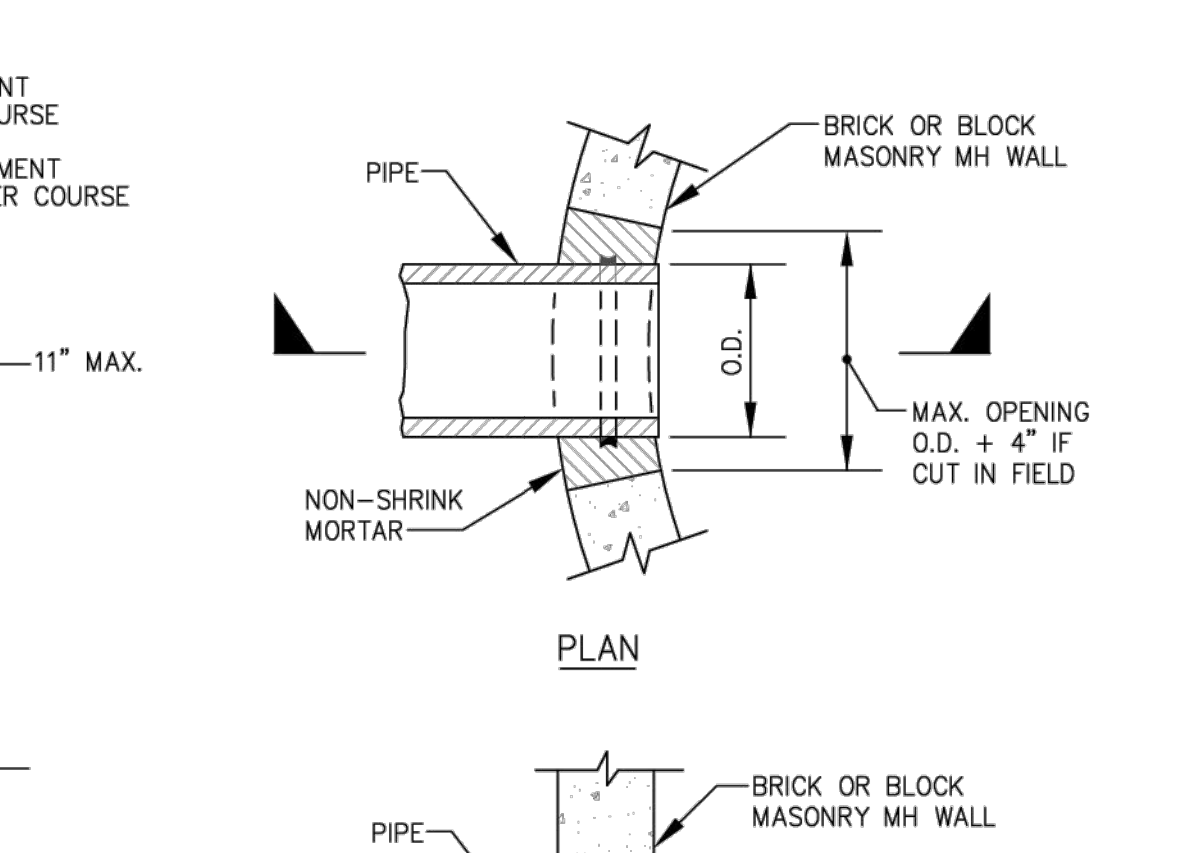
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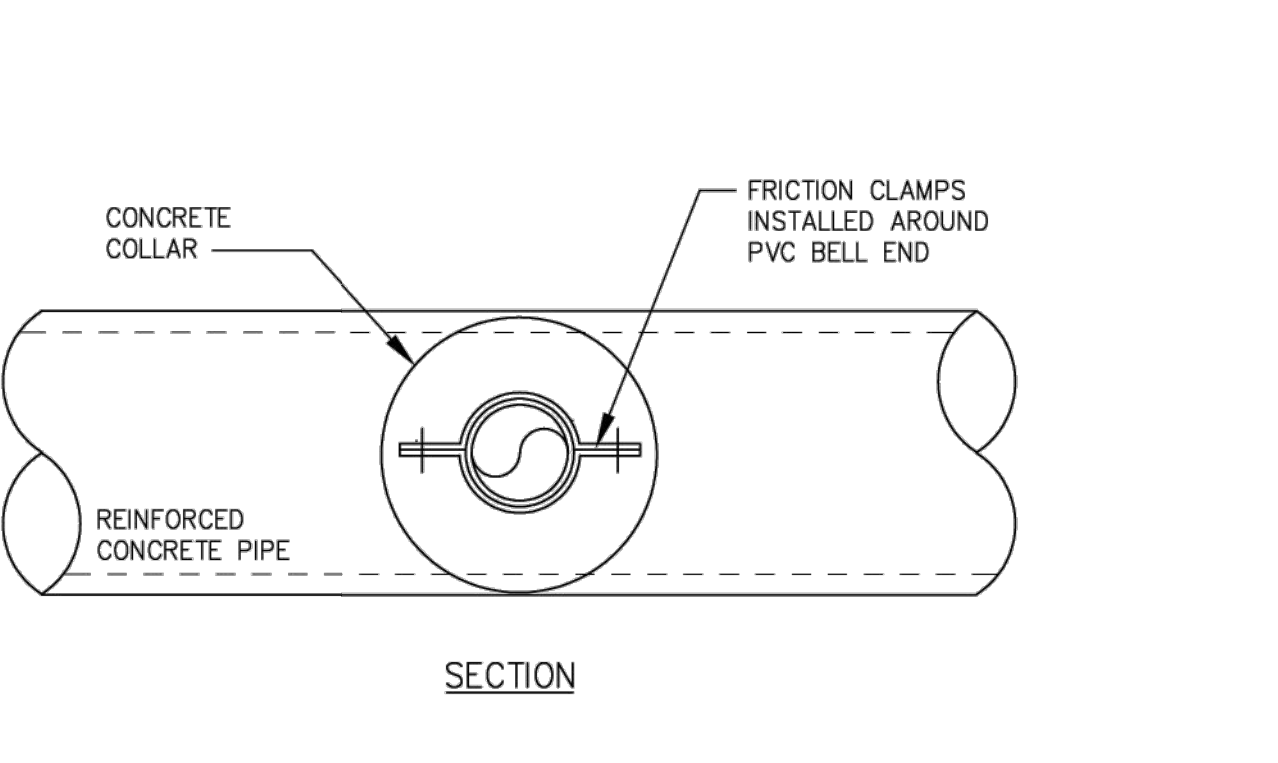
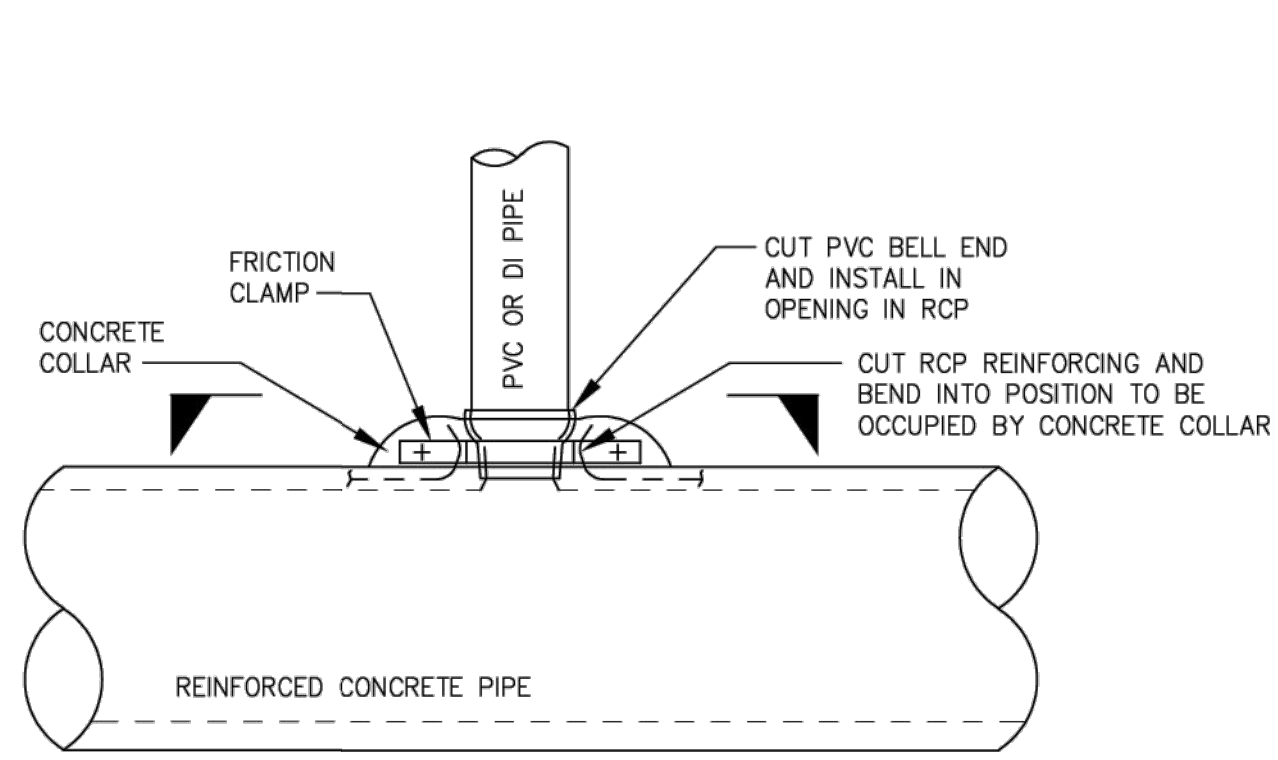
MANHOLE RISER WITH ECCENTRIC CONE TOP
 NOT TO SCALE
 2-1.5.41 (REV. 03-15-95)



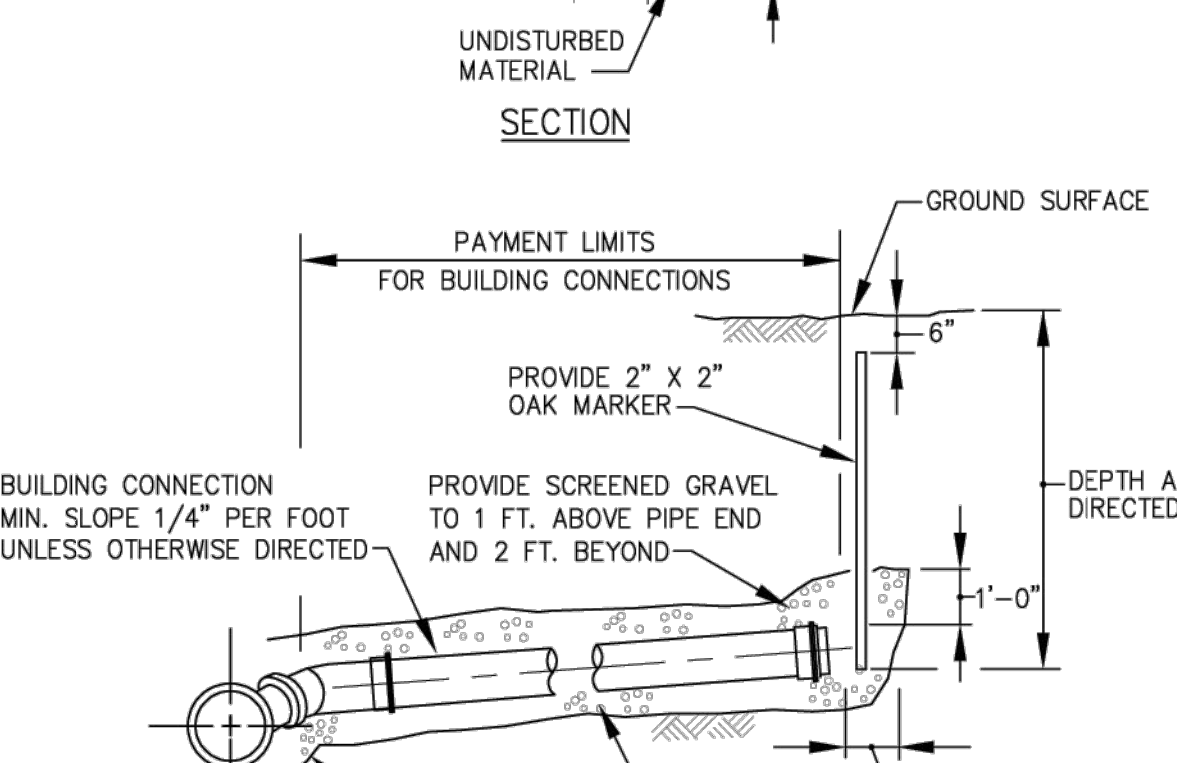
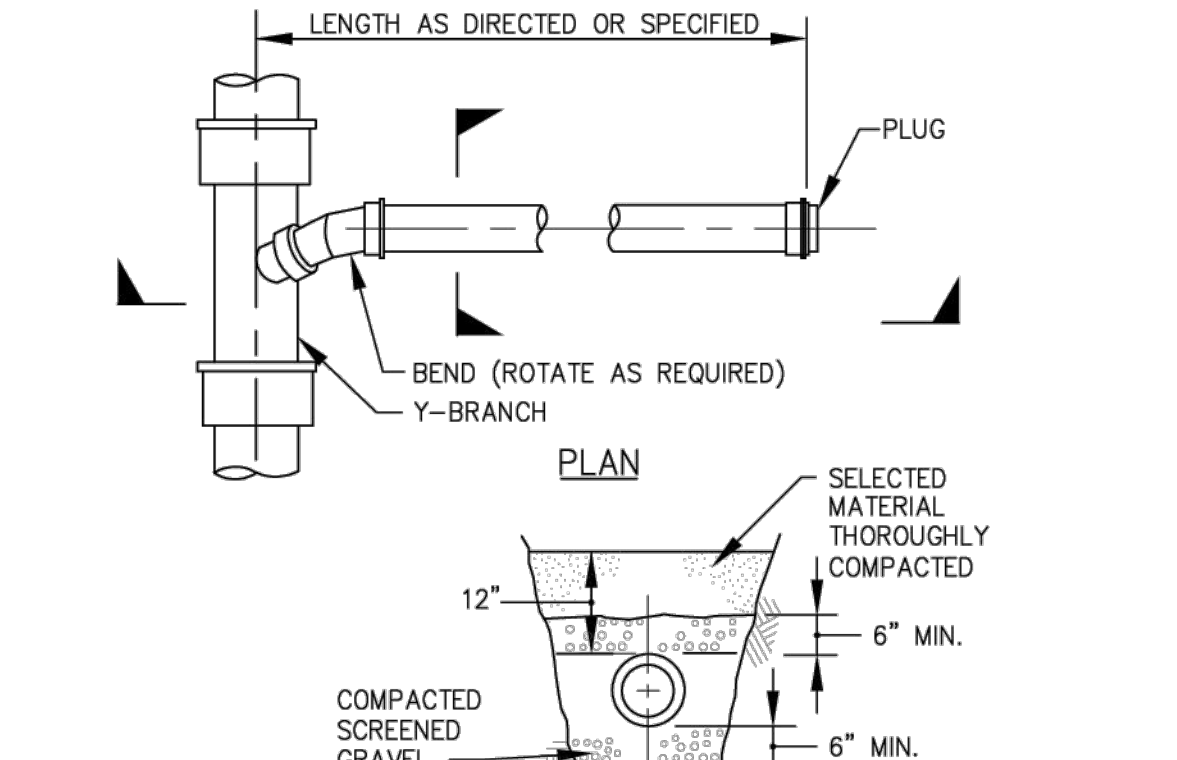
MANHOLE RISER WITH ECCENTRIC CONE TOP
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 2-1.5.41 (REV. 03-15-95)



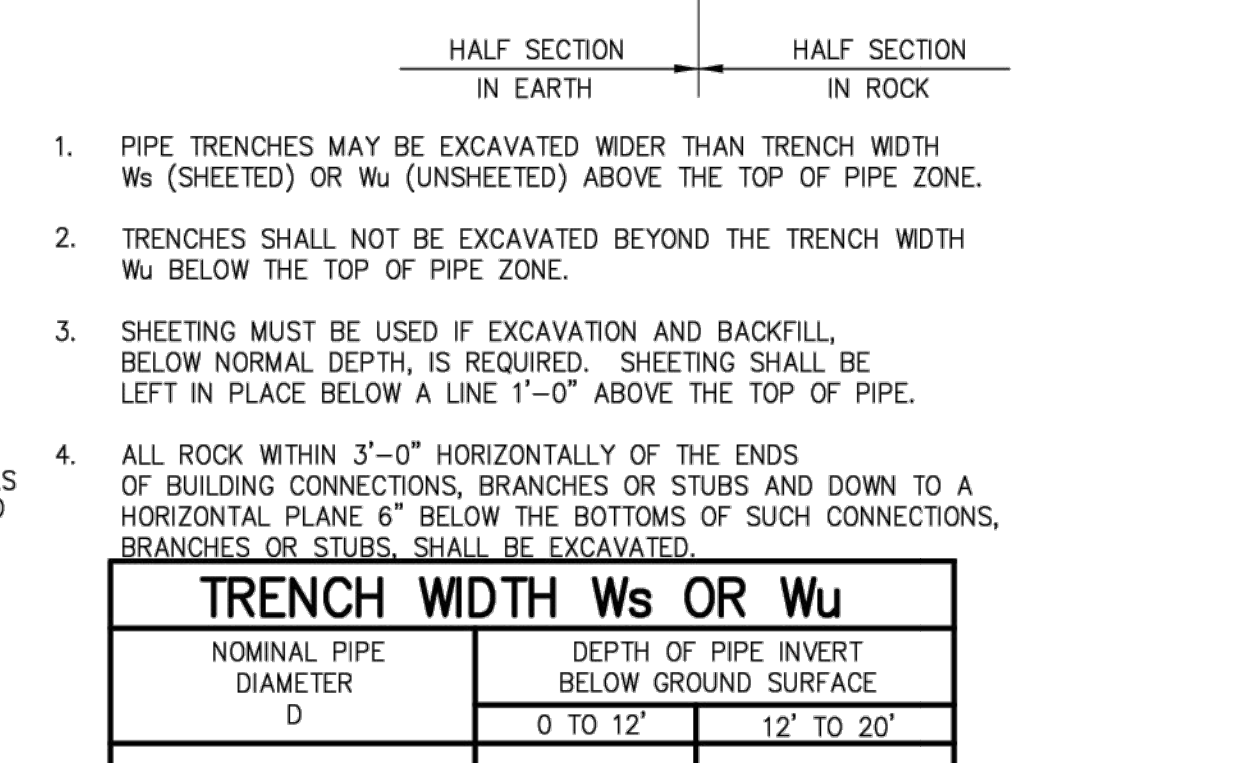
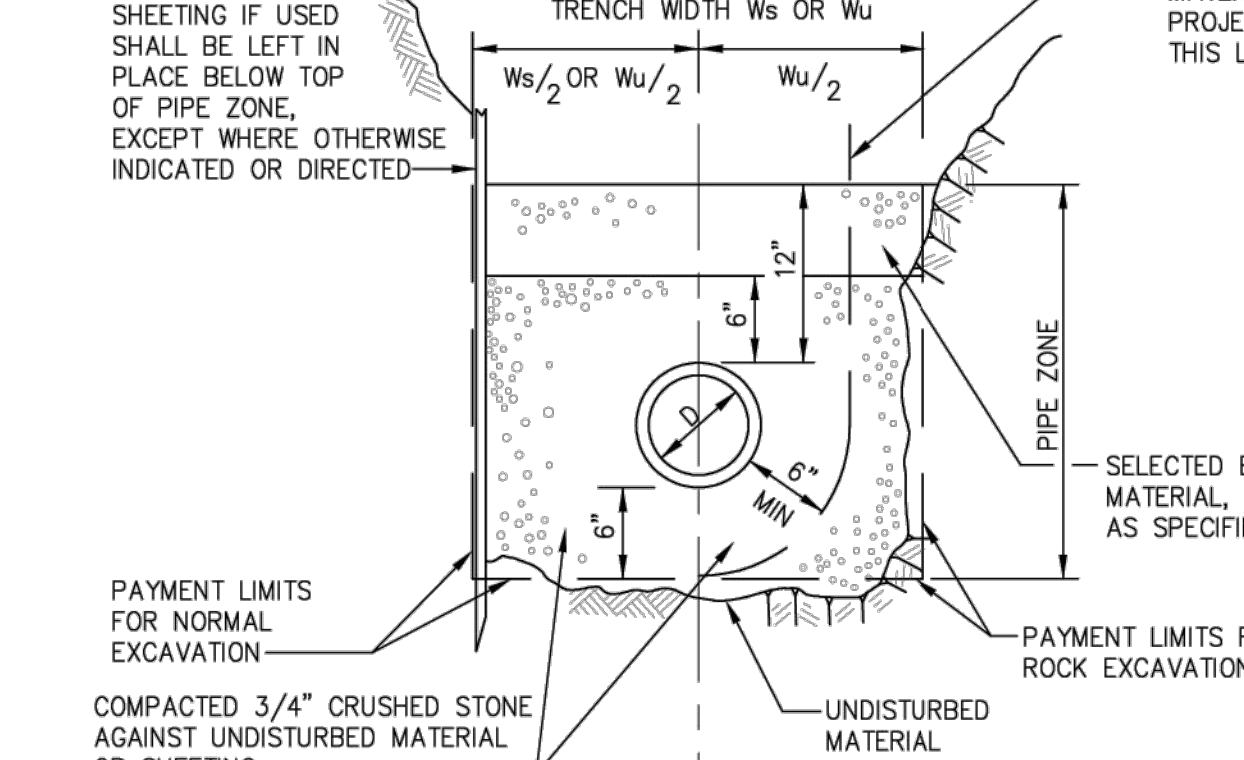
NON-SHRINK MORTAR JOINTS FOR CONNECTING PIPES TO BRICK OR BLOCK MASONRY MANHOLES
 NOT TO SCALE
 2-1.5.62 (REV. 4-5-96)



T-BRANCH FOR BUILDING OR CHIMNEY CONNECTION IN RC PIPE (PVC OR DI PIPE BRANCH)
 NTS
 2-1.2.15 (REV. 08-17-95)

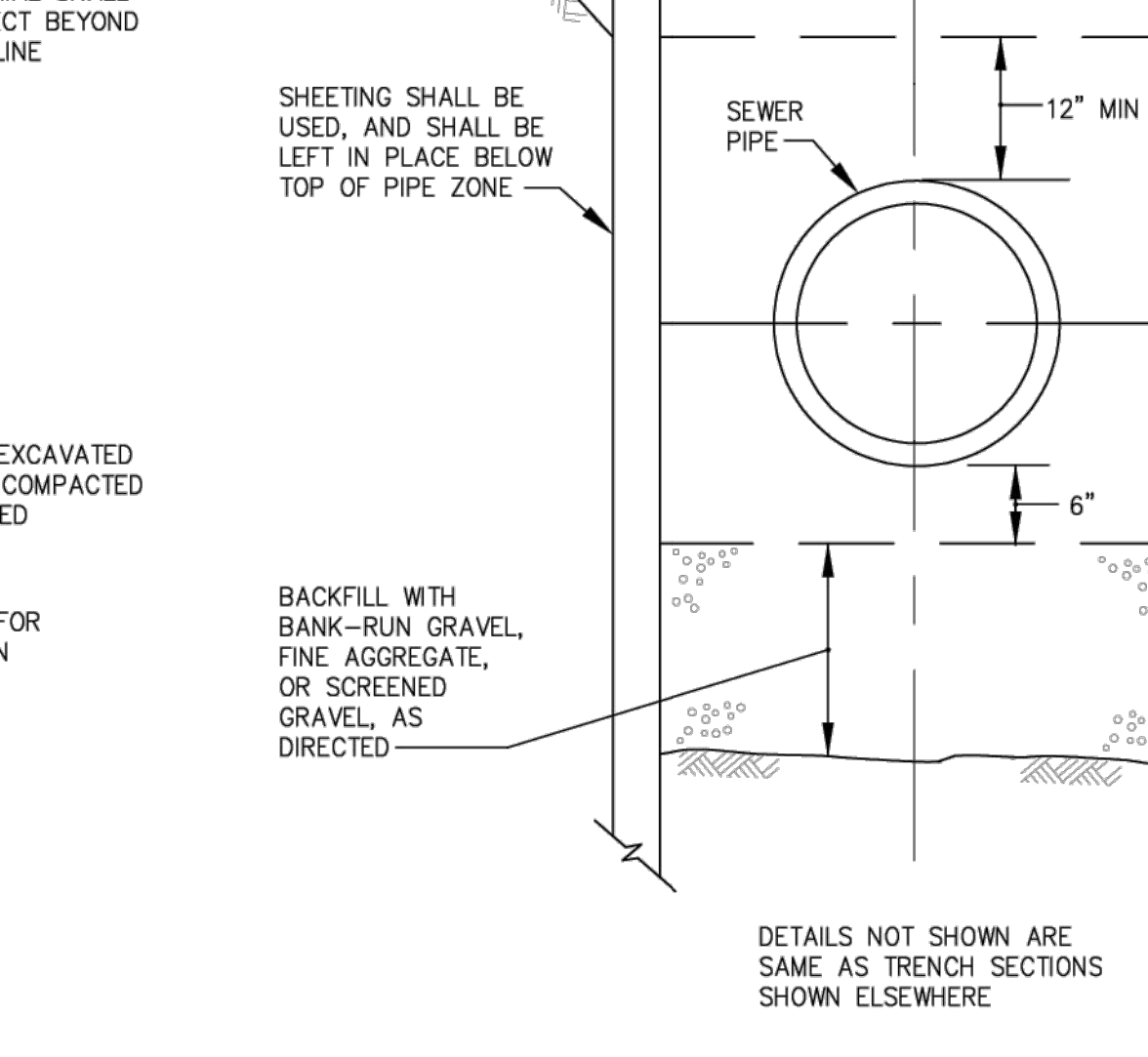


BUILDING CONNECTION FOR DI OR PVC PIPE
 NOT TO SCALE
 2-1.2.1 (REV. 03-15-95)



TRENCH SECTION FOR PVC PIPE
 NOT TO SCALE
 2-1.1.21 (REV. 03-15-95)

TRENCH WIDTH W_s OR W_u		
NOMINAL PIPE DIAMETER D	DEPTH OF PIPE INVERT BELOW GROUND SURFACE	
	0 TO 12'	12' TO 20'
24" AND SMALLER	5'-0"	7'-0"
OVER 24"	$D + 3'-0"$	$D + 5'-0"$



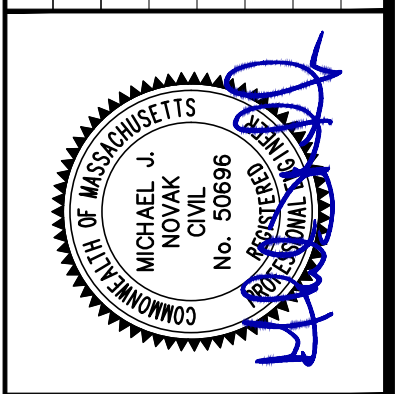
TRENCH SECTION IN UNSUITABLE MATERIAL
 NOT TO SCALE
 2-1.1.21 (REV. 03-15-95)

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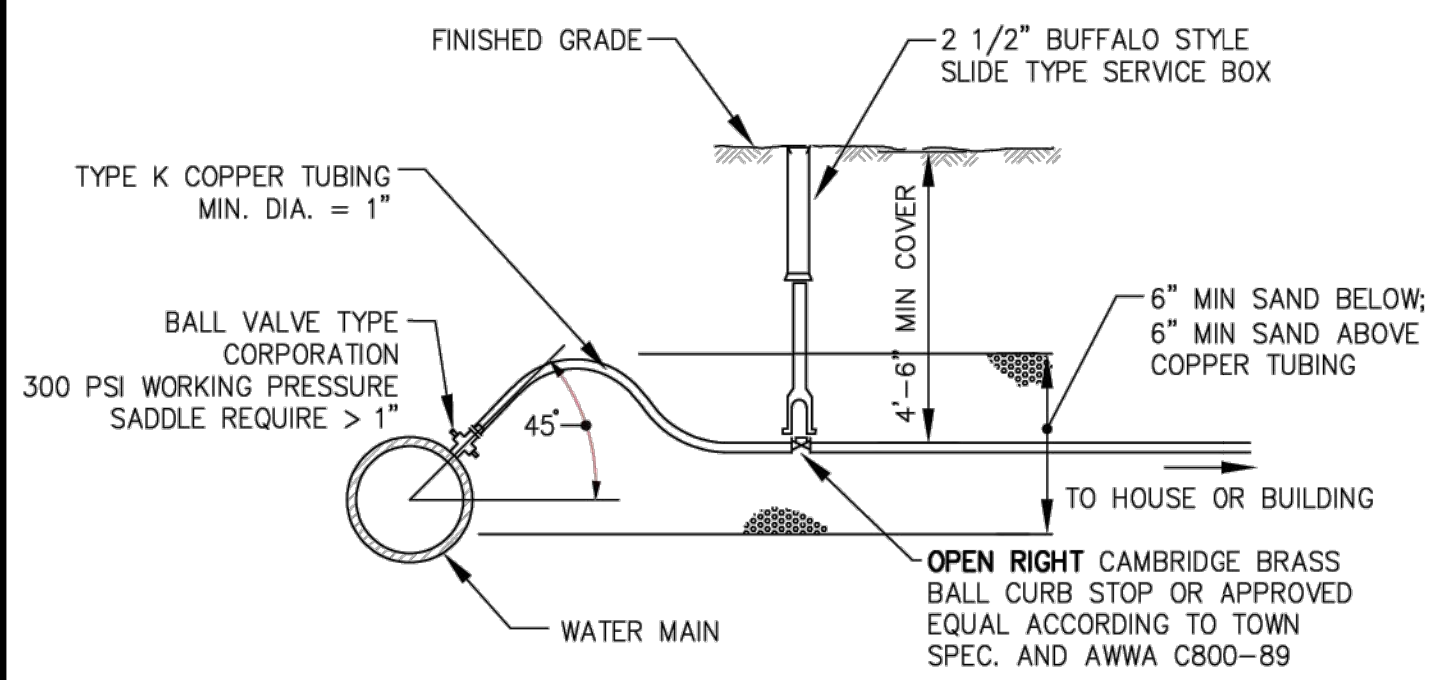
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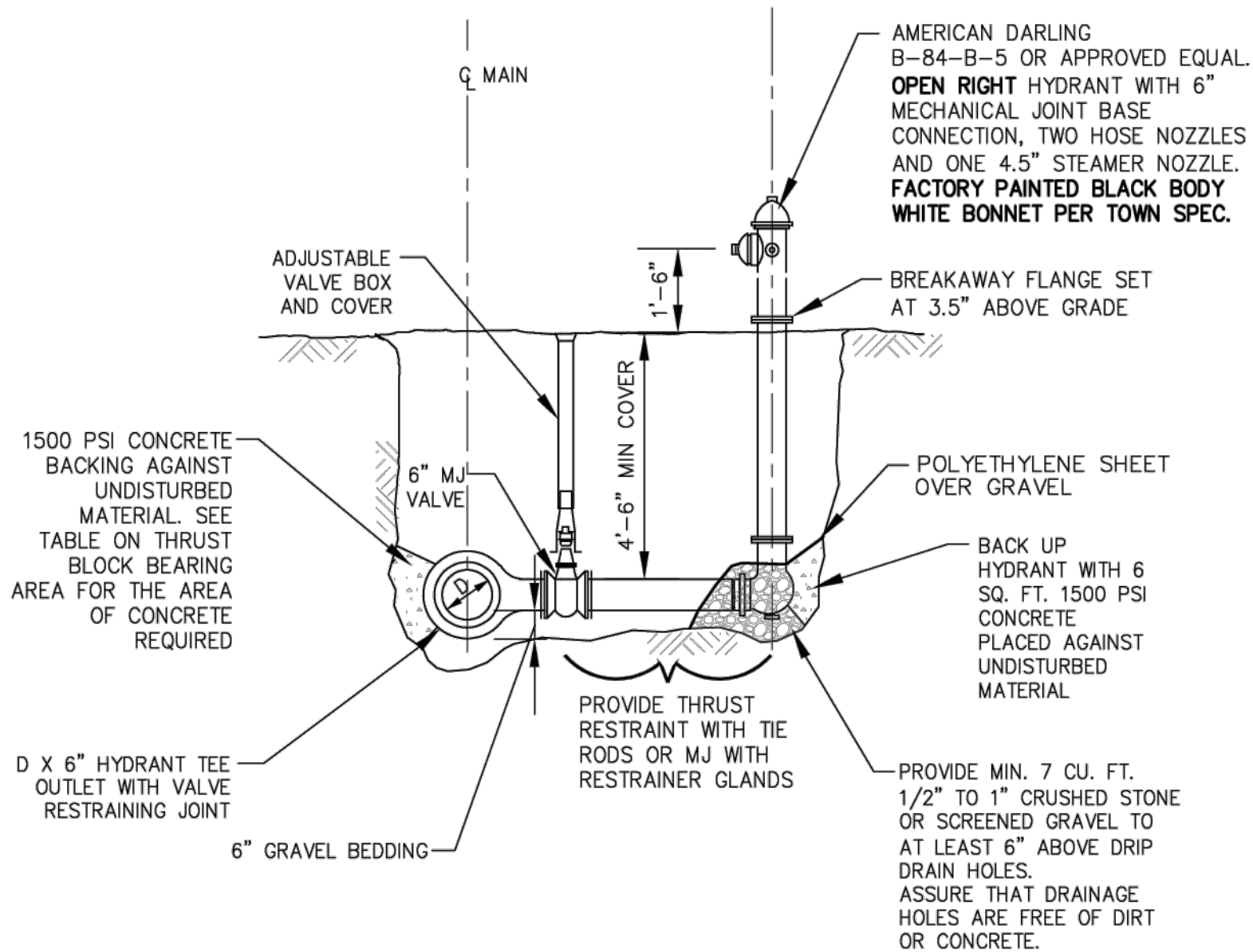
SHEET
 C-6.3



- NOTES:
- A 10' HORIZONTAL SEPARATION MUST BE MAINTAINED FROM THE SEWER SERVICE UNLESS OTHERWISE AUTHORIZED BY THE ENGINEERING DIVISION.
 - FOR SERVICE RENEWALS, TUBING SHALL BE REPLACED TO THE PROPERTY LINE UNLESS OTHERWISE AUTHORIZED BY THE ENGINEERING DIVISION.
 - WHERE AN EXISTING SERVICE IS BEING REPLACED TO THE MAIN, THE OLD SERVICE SHALL BE CAPPED AT THE CORPORATION.
 - THE WATER AND SEWER DIVISION MUST BE NOTIFIED IF LEAD OR STEEL SERVICES ARE ENCOUNTERED.
 - SERVICE TAPS SHALL BE PERFORMED BY CONTRACTOR OR SUBCONTRACTOR AND ARE SUBJECT TO APPROVAL BY THE WATER DIVISION.
 - SERVICE TAPS GREATER THAN 1" REQUIRE A SADDLE AND ARE SUBJECT TO THE APPROVAL OF THE ENGINEERING DIVISION.
 - USE QUICK STYLE COMPRESSION CONNECTIONS FOR ALL SERVICE BRASS.
 - FOR 1" CONNECTIONS TO EXIST. 3/4" CURB STOP CONNECT ADAPTER DIRECTLY TO CURB STOP. MOST EXISTING CURB STOPS REQUIRE 3/4" X 1" FEMALE ADAPTERS FOR NEW ENGLAND STYLE THREADS.
 - ALL CONNECTIONS TO EXIST. CURB STOPS SHALL REPLACE SERVICE BOXES IF NOT BUFFALO STYLE.
 - WATER SERVICE SHALL INCLUDE A BALL VALVE WITH COMPRESSION FITTING JUST BEFORE METER.

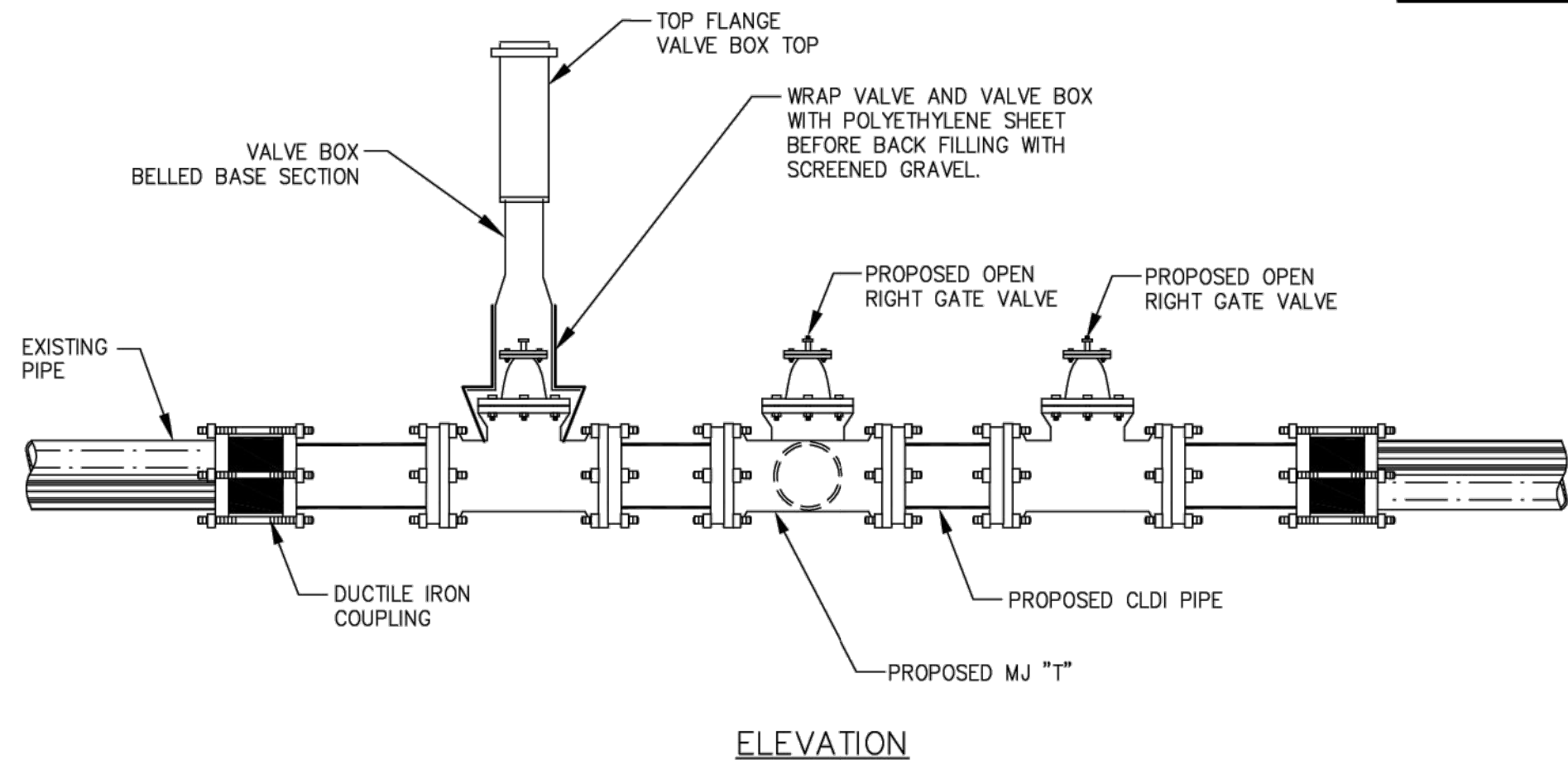
WATER SERVICE CONNECTION (1" MIN TO 2" MAX)

NTS

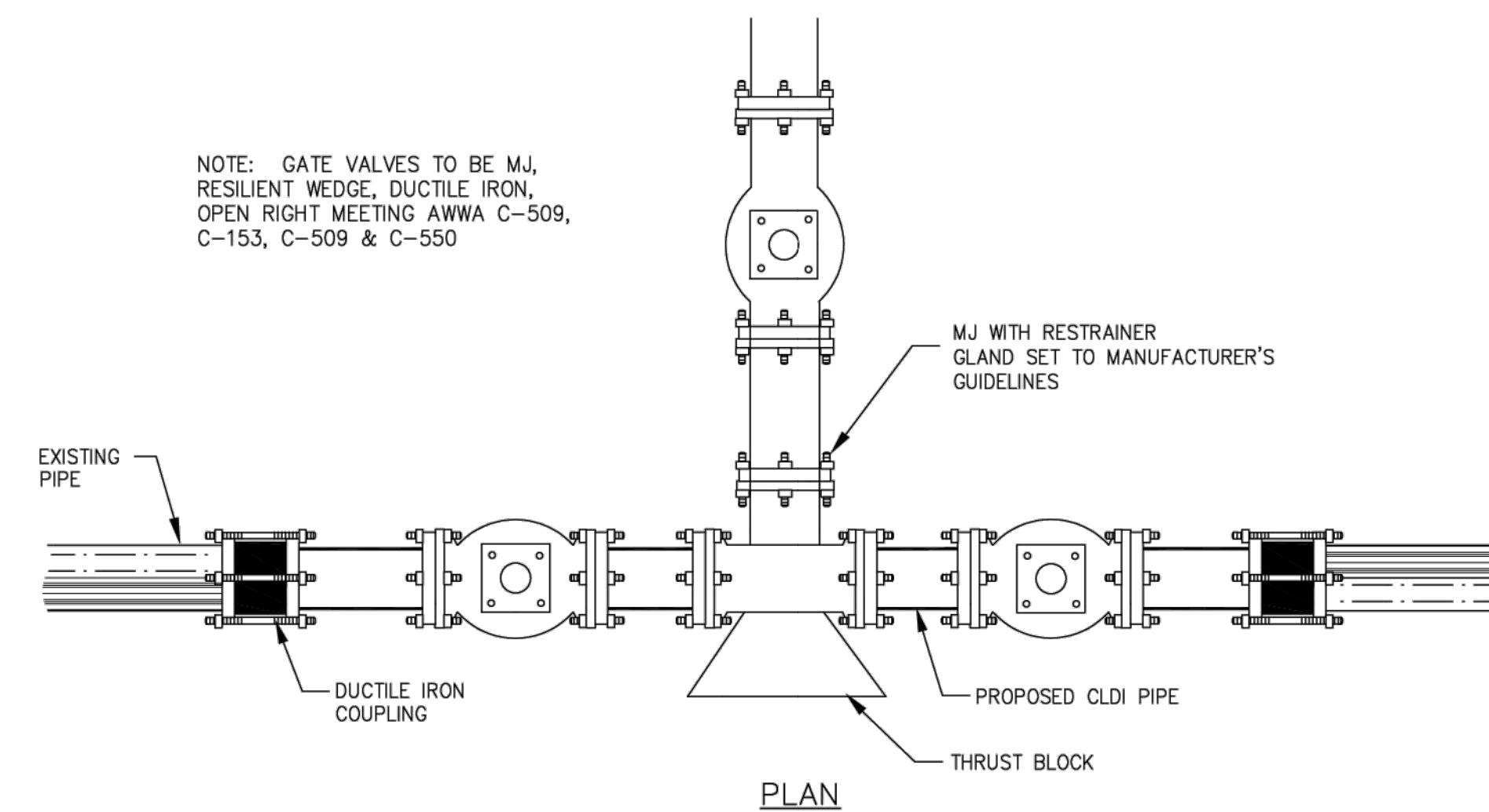


TYPICAL HYDRANT ASSEMBLY WITH DRAIN

NTS



ELEVATION



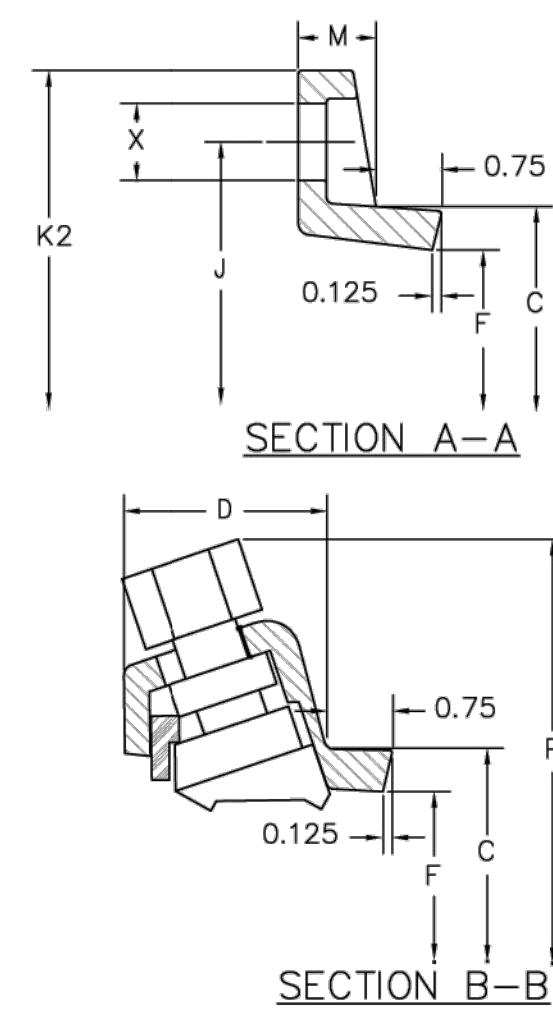
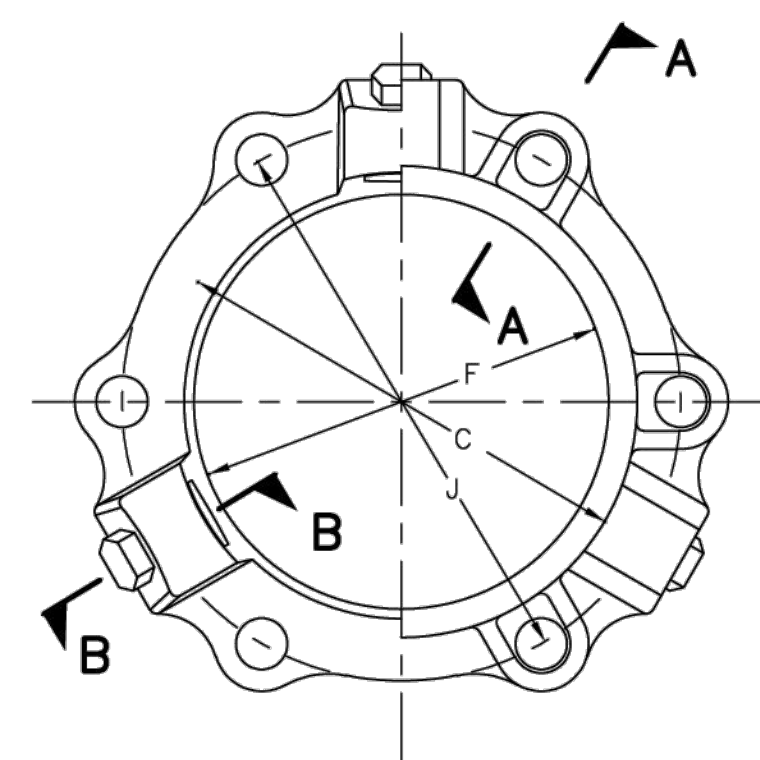
PLAN

TRIPLE GATE CUT IN WATER MAIN CONNECTION

NTS

NOTES:

- SIZES 3" THROUGH 24" ARE LISTED BY UNDERWRITER'S LABORATORIES, INC. CATEGORY HJKF FOR USE ON DUCTILE IRON PIPE. THE LISTING FILE NUMBER IS EX2836. SIZES 3" THROUGH 12" ARE FACTORY MUTUAL APPROVED.
- GLAND AND COLLAR BOLTS ARE MADE OF DUCTILE IRON CONFORMING TO ASTM A536-80. WEDGES ARE MADE OF DUCTILE IRON HEAT TREATED TO A MINIMUM BRINELL HARDNESS OF 370.
- GLAND CONFORMS TO THE APPLICABLE REQUIREMENTS OF ANSI/AWWA A21.11/C111 AND ANSI/AWWA C153/A21.53 OF THE LATEST REVISION.
- FOR TEST PRESSURES ABOVE THE RATED PRESSURES SHOWN, CONSULT THE ENGINEERING DEPARTMENT OF EBAA IRON INC. FOR RECOMMENDATIONS. EBAA-SEAL GASKETS ARE PROVIDED WITH THE 30" THROUGH 48" MEGALUGS. ALSO PROVIDED WITH THE 42" AND 48" SIZES ARE EXTRA LENGTH T-BOLTS. THE GASKETS AND BOLTS ARE PROVIDED TO FACILITATE EASIER ASSEMBLY OF THE MECHANICAL JOINT AND ARE REQUIRED ON THE ABOVE REFERENCED SIZES TO OBTAIN THE LISTED PRESSURE RATINGS WITH A 2:1 SAFETY FACTOR.



SERIES	PRESSURE RATING	C	D	F	J	M	X	NO. OF WEDGES	NO. OF BOLTS	P	P (W/ NUTS TWISTED OFF)	K2
1103	350	4.84	2.27	4.06	6.19	0.62	3/4	2	4	9.36	9.06	7.69
1104	350	5.92	2.27	4.90	7.50	0.75	7/8	2	4	10.20	9.90	9.12
1106	350	8.02	2.27	7.00	9.50	0.88	7/8	3	6	12.30	12.00	11.12
1108	350	10.17	2.31	9.15	11.75	1.00	7/8	4	6	14.45	14.15	13.37
1110	350	12.22	2.37	11.20	14.00	1.00	7/8	6	8	16.50	16.20	15.62
1112	350	14.32	2.37	13.30	16.25	1.25	7/8	8	8	18.60	18.30	17.88
1114	350	16.40	2.69	15.44	18.75	1.50	7/8	10	10	20.64	20.94	20.25
1116	350	18.50	2.69	17.54	21.00	1.56	7/8	12	12	22.60	22.90	22.50
1118	250	20.60	2.69	19.64	23.25	1.63	7/8	12	12	24.70	25.00	24.75
1120	250	22.70	2.69	21.74	25.50	1.69	7/8	14	14	26.80	27.10	27.00
1124	250	26.90	3.20	25.94	30.00	1.81	7/8	16	16	32.94	32.64	31.50
1130	250	33.29	3.20	32.17	36.88	2.25	1 1/8	20	20	39.17	38.87	39.12
1136	250	39.59	3.20	38.47	43.75	2.25	1 1/8	24	24	45.47	45.17	46.00
1142	250	45.79	4.56	44.67	50.62	3.88	1 3/8	28	28	55.87	55.57	53.48
1148	250	52.09	4.56	50.97	57.50	3.88	1 3/8	32	32	62.17	61.87	60.36

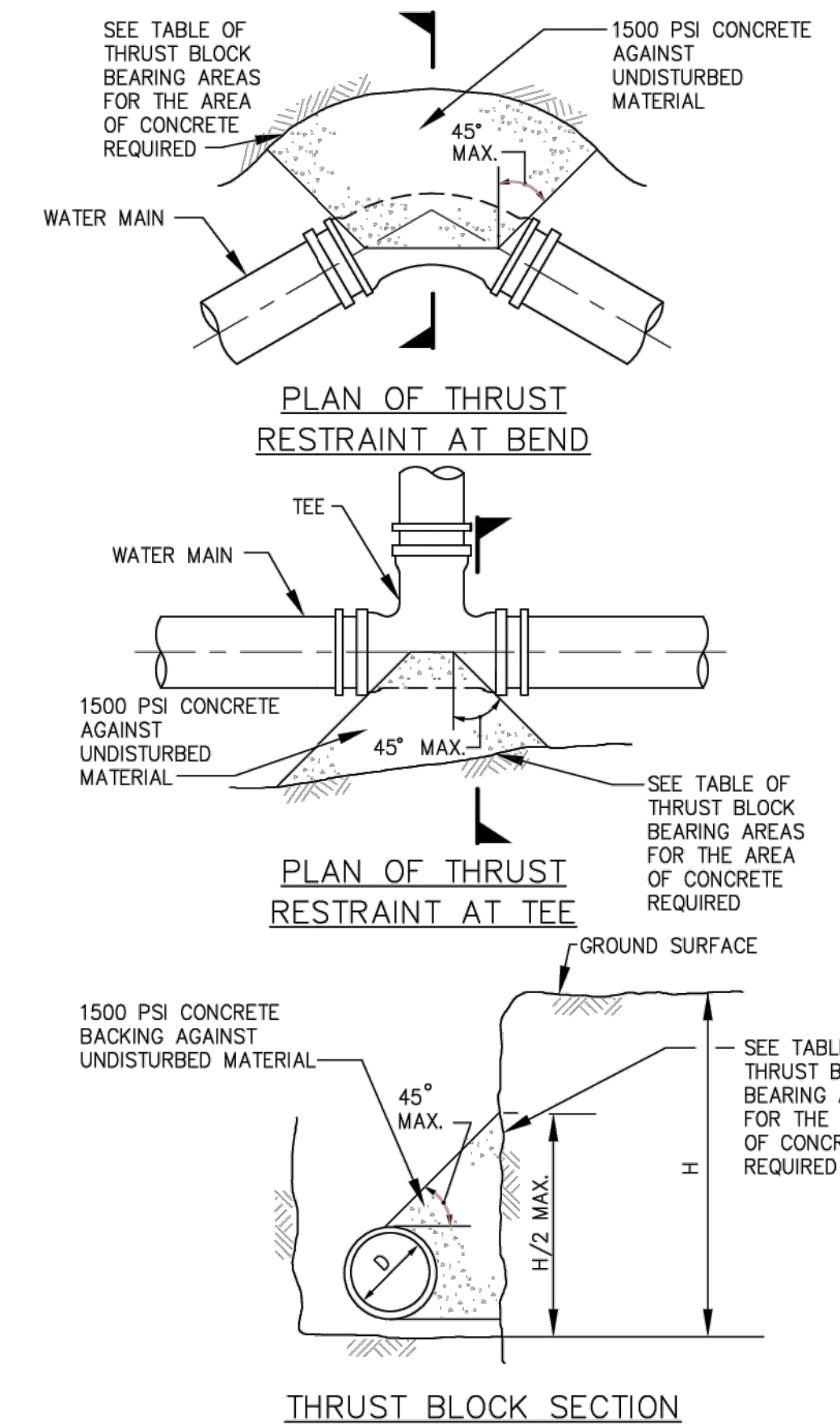
MEGALUG DETAIL

N.T.S.

FITTING	BEARING AREA FOR VARIOUS DIAMETERS					
	4"	6"	8"	10"	12"	16"
1/32 BEND (11 1/4')	2 S.F.	2 S.F.	2 S.F.	2 S.F.	3 S.F.	5 S.F.
1/16 BEND (22 1/2')	2 S.F.	2 S.F.	3 S.F.	3 S.F.	4 S.F.	5 S.F.
1/8 BEND (45')	2 S.F.	2 S.F.	3 S.F.	5 S.F.	7 S.F.	12 S.F.
1/4 BEND (90')	3 S.F.	3 S.F.	6 S.F.	9 S.F.	12 S.F.	21 S.F.
TEE/PLUG	2 S.F.	3 S.F.	4 S.F.	6 S.F.	9 S.F.	16 S.F.

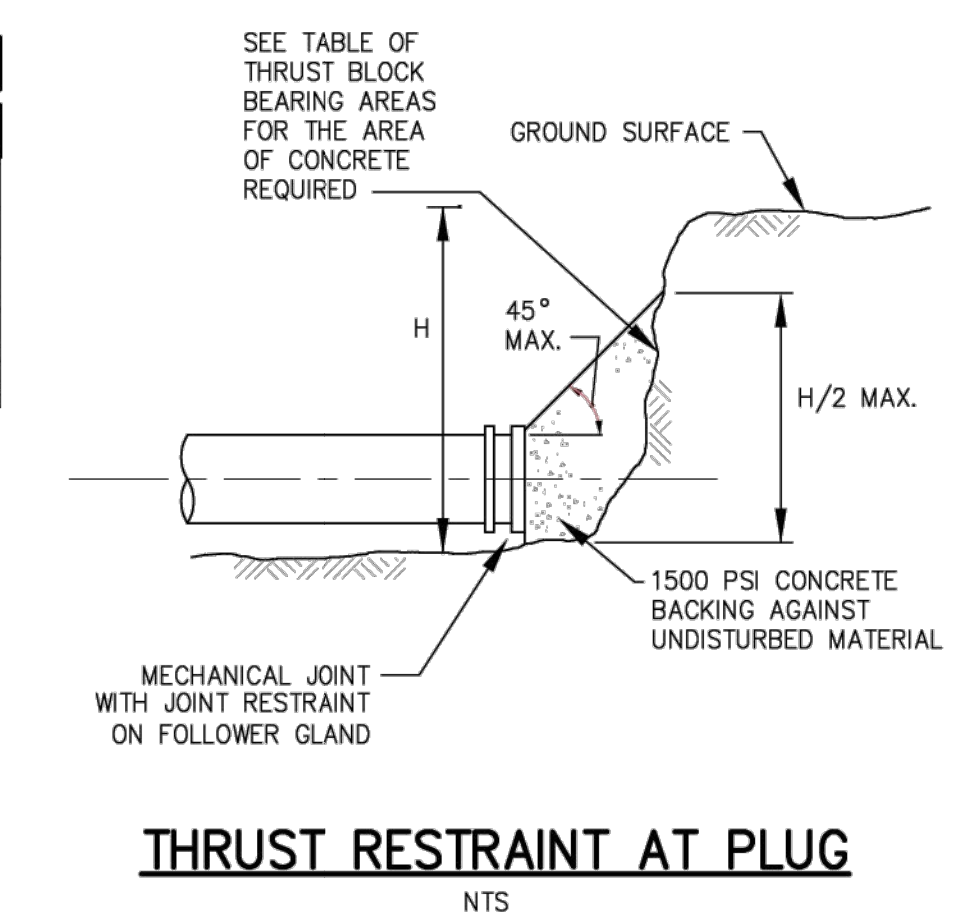
NOTES:

- ALL ELBOWS, BENDS, AND CAPS SHALL BE BRACED WITH CONCRETE THRUST BLOCKS. JOINTS SHALL NOT BE ENCASED IN CONCRETE.
- BEARING AREA IS AREA OF CONCRETE IN CONTACT WITH WALL OF TRENCH (H X L).
- HEIGHT AND LENGTH AS REQUIRED TO OBTAIN BEARING AREA SHOWN IN THE TABLE W/ H APPROX. 1/2 L.
- THRUST BLOCK SIZING BASED ON 150 PSI WATER PRESSURE AND 2000 PSI SOIL BEARING CAPACITY.



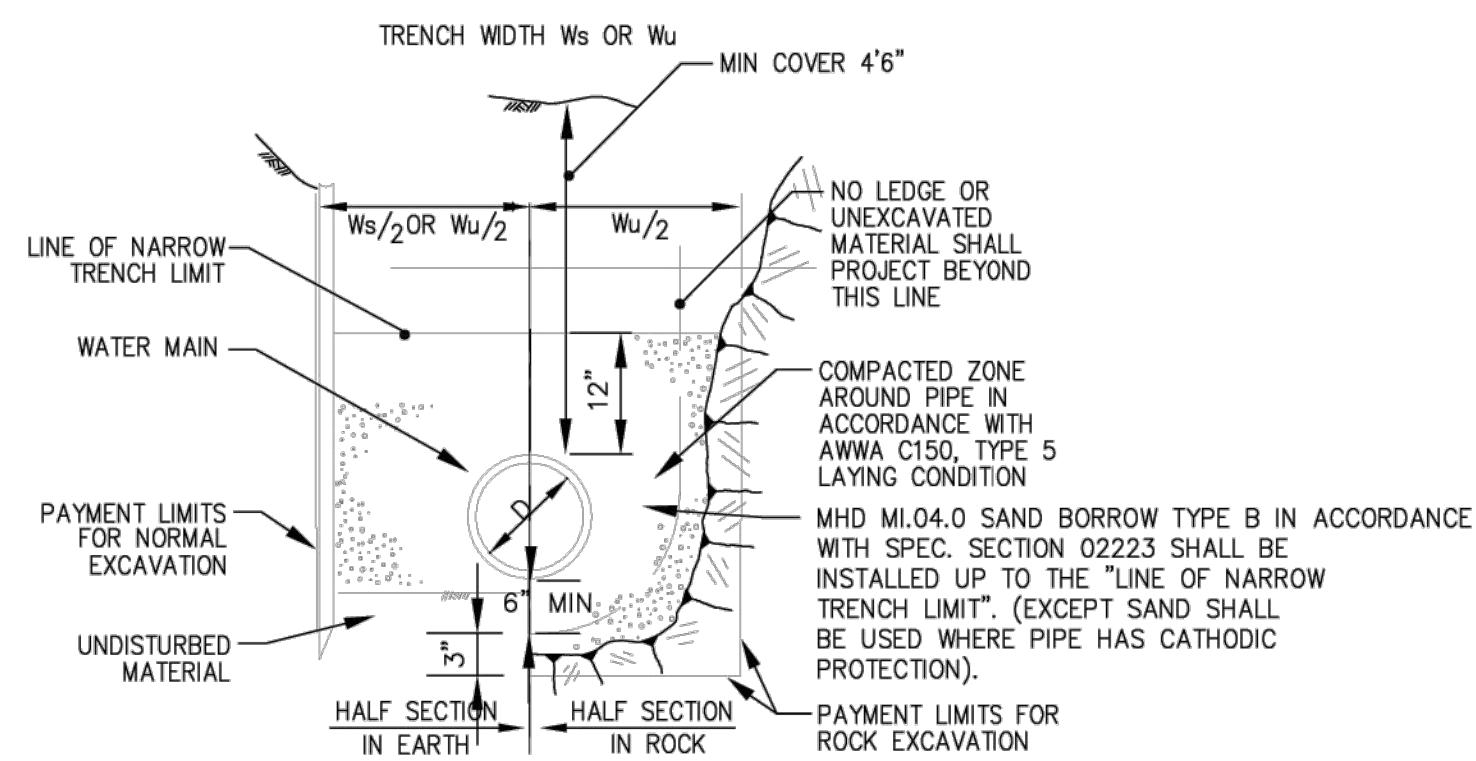
THRUST RESTRAINT AT FITTINGS

NTS



THRUST RESTRAINT AT PLUG

NTS



NOTES:

- TRENCHES MAY BE EXCAVATED WIDER THAN TRENCH WIDTH Ws ABOVE THE "LINE OF NARROW TRENCH LIMIT".
- BELOW THE "LINE OF NARROW TRENCH LIMIT" THE TRENCH SHALL NOT BE EXCAVATED BEYOND THE TRENCH WIDTH Ws.
- SHEETING, IF USED, IN ALL CASES SHALL BE LEFT IN PLACE BELOW A LINE 1'-0" ABOVE THE TOP OF THE PIPE, UNLESS OTHERWISE INDICATED OR DIRECTED.
- "COVER" AT ANY POINT SHALL BE DEFINED AS THE VERTICAL DISTANCE FROM THE UPPERMOST POINT OF THE PIPE TO A LINE WHICH CONNECTS THE SURFACE OF UNDISTURBED GROUND AT EITHER SIDE OF THE TRENCH AND IS AT RIGHT ANGLES TO THE DIRECTION OF THE PIPE.
- WHERE FUTURE EXTENSION OF A PLUGGED PIPE OR A PLUGGED BRANCH WILL ENTAIL ROCK EXCAVATION, TRENCH EXCAVATION IN ROCK SHALL BE EXTENDED FOR A DISTANCE OF 3'-0" BEYOND THE PLUG.
- BANK RUN GRAVEL OR EXCAVATED MATERIAL THAT MEETS SPEC. SECTION 02224 SHALL BE INSTALLED ABOVE THE LINE OF NARROW TRENCH LIMIT.
- WHERE SPECIFIED, CONTROLLED DENSITY FILL WILL BE USED FROM TOP OF SCREENED GRAVEL TO BOTTOM OF BITUMINOUS PAVEMENT.

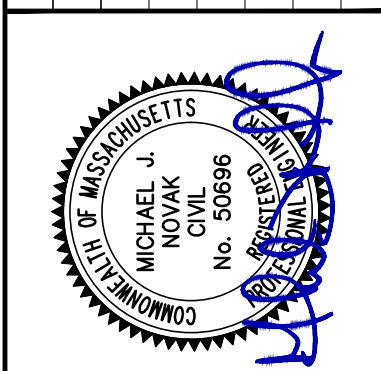
WATER MAIN TRENCH SECTION

NTS

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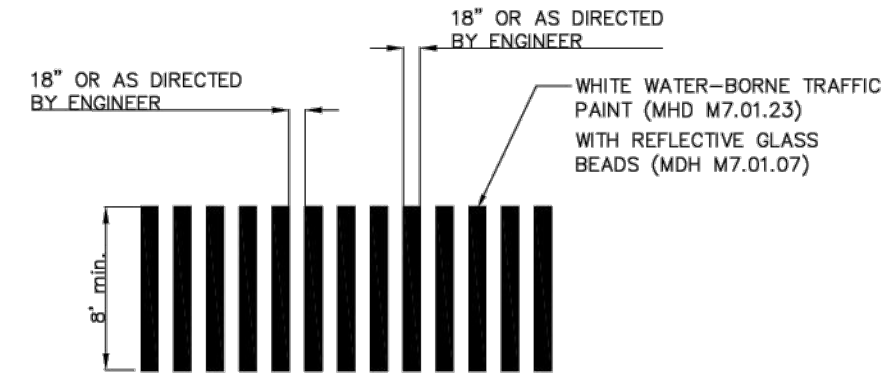


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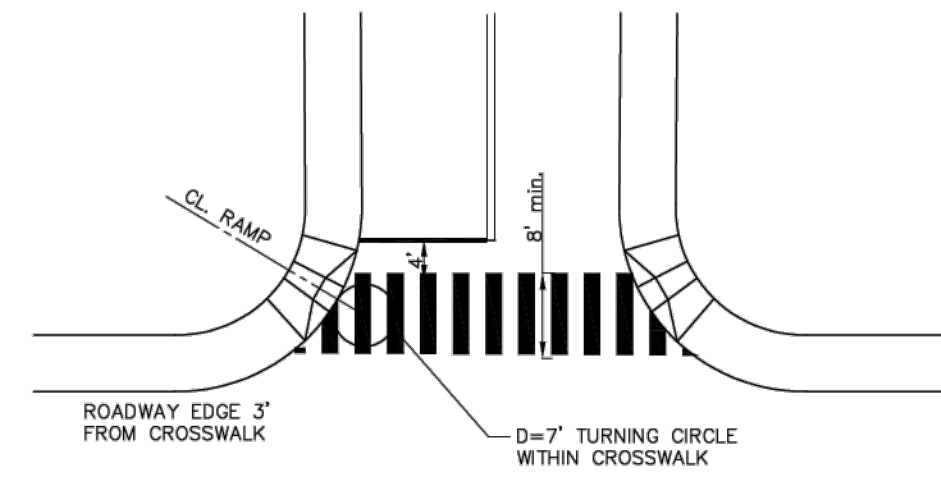


CROSSWALK ALL LOCATIONS

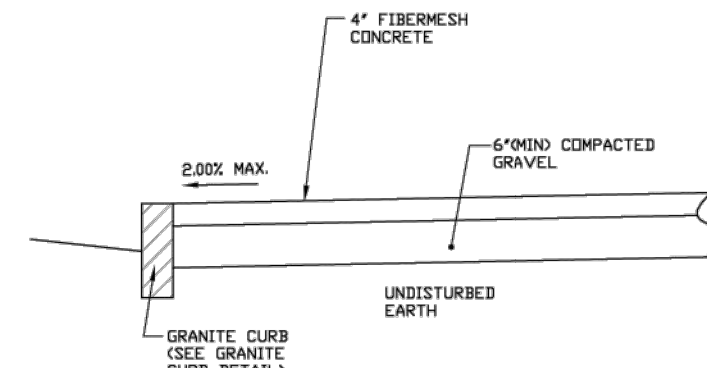
NOTES:

- WHERE PROVIDED, STOP LINES SHOULD BE PLACED NO LESS THAN 4 FEET BEHIND AN ADJACENT CROSSWALK LINE.
- MID-BLOCK CROSSWALKS SHALL NOT BE INSTALLED IN AREAS WITH THE SIGHT DISTANCE LESS THAN THAT SHOWN IN THE TABLE BELOW.

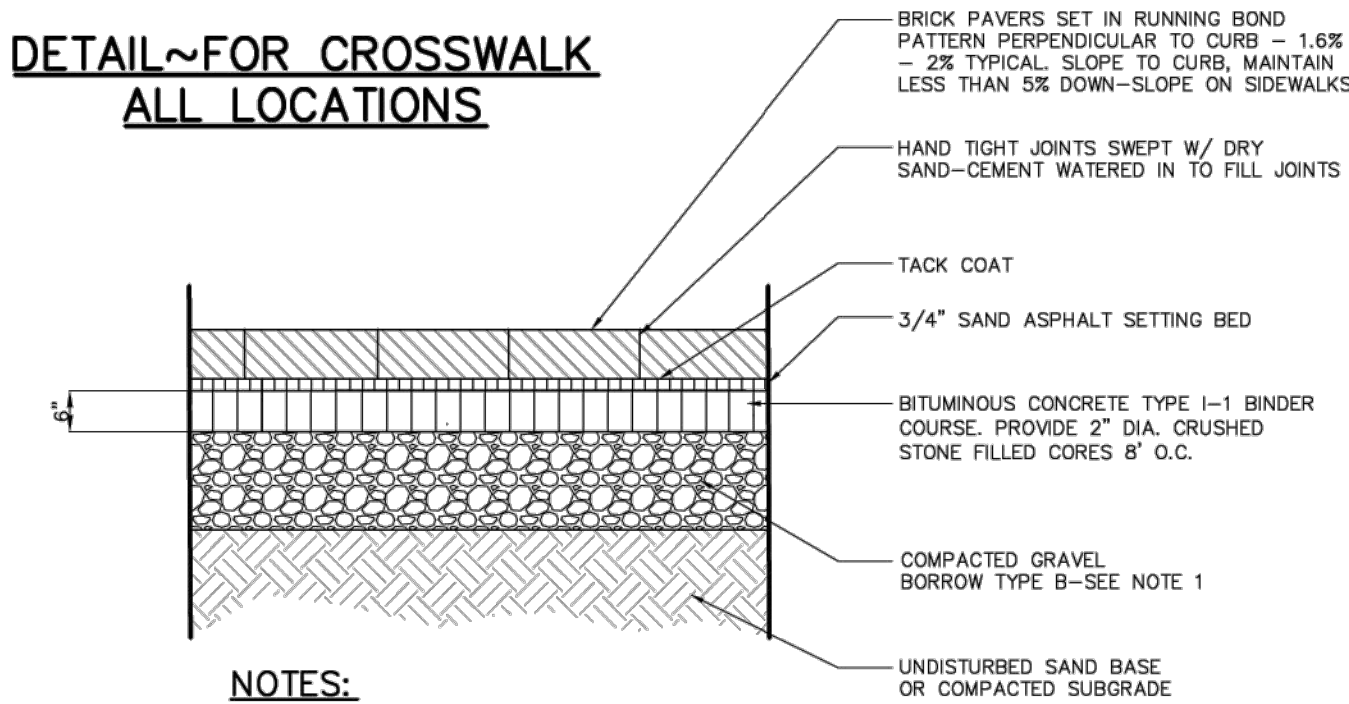
DESIGN SPEED	SIGHT DISTANCE
30	200
40	275
50	375
60	525
70	625



DETAIL~FOR CROSSWALK ALL LOCATIONS



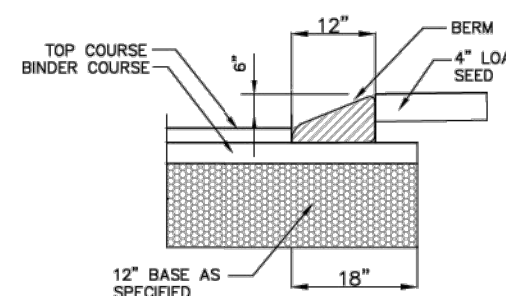
CONCRETE SIDEWALK



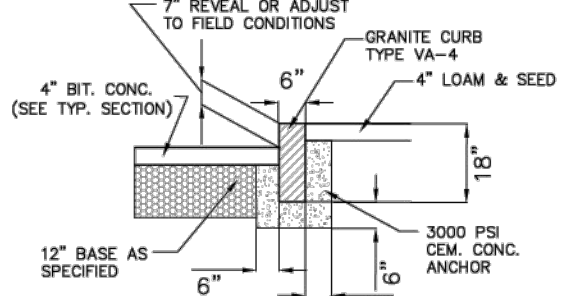
NOTES:

- DETAIL AS SHOWN SHALL BE USED ON TYPICAL BRICK SIDEWALKS. WHERE SHOWN ON PLANS AT LOCATIONS FOR "TREEWAY", GRAVEL BORROW SHALL BE SUBSTITUTED WITH COMPACTED DENSE GRADED CRUSHED STONE AND 2" DEPTH OF SAND BASED.

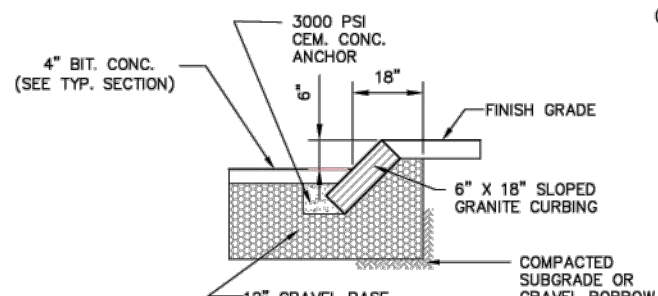
BRICK SIDEWALK PAVING



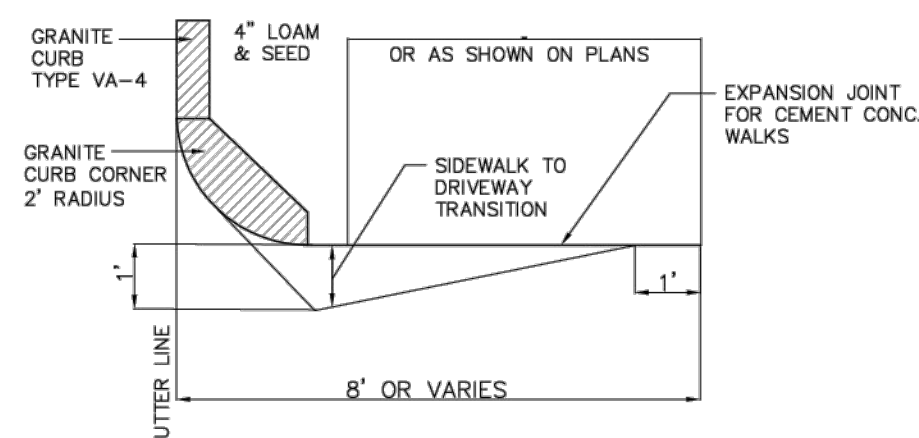
BIT. CONC. BERM



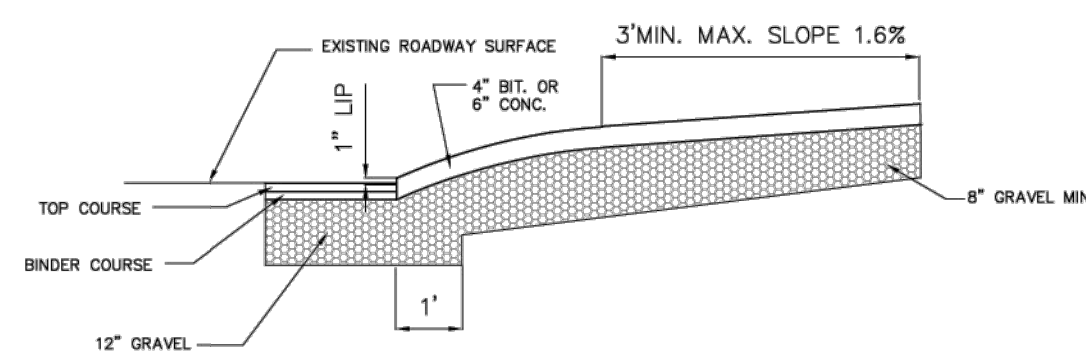
GRANITE CURB TYPE VA-4



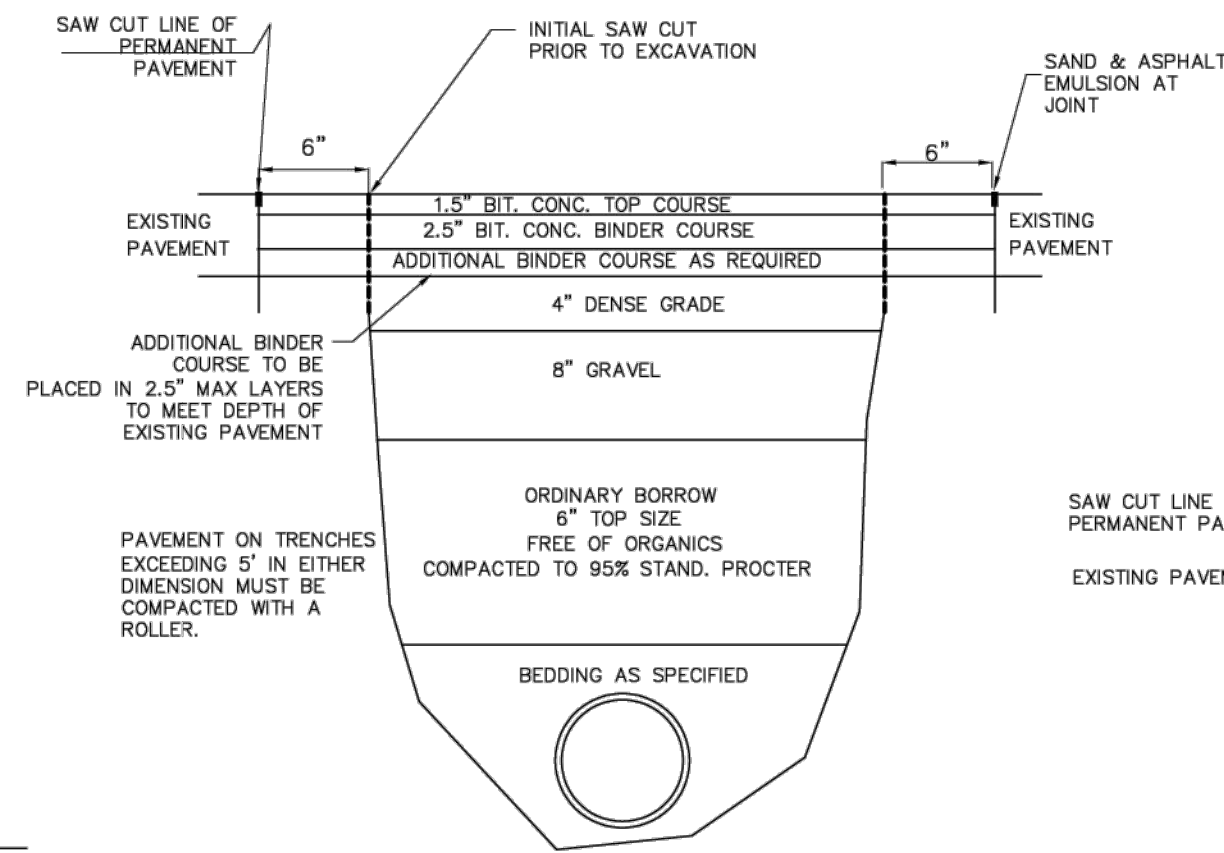
SLOPED GRANITE CURB DETAIL



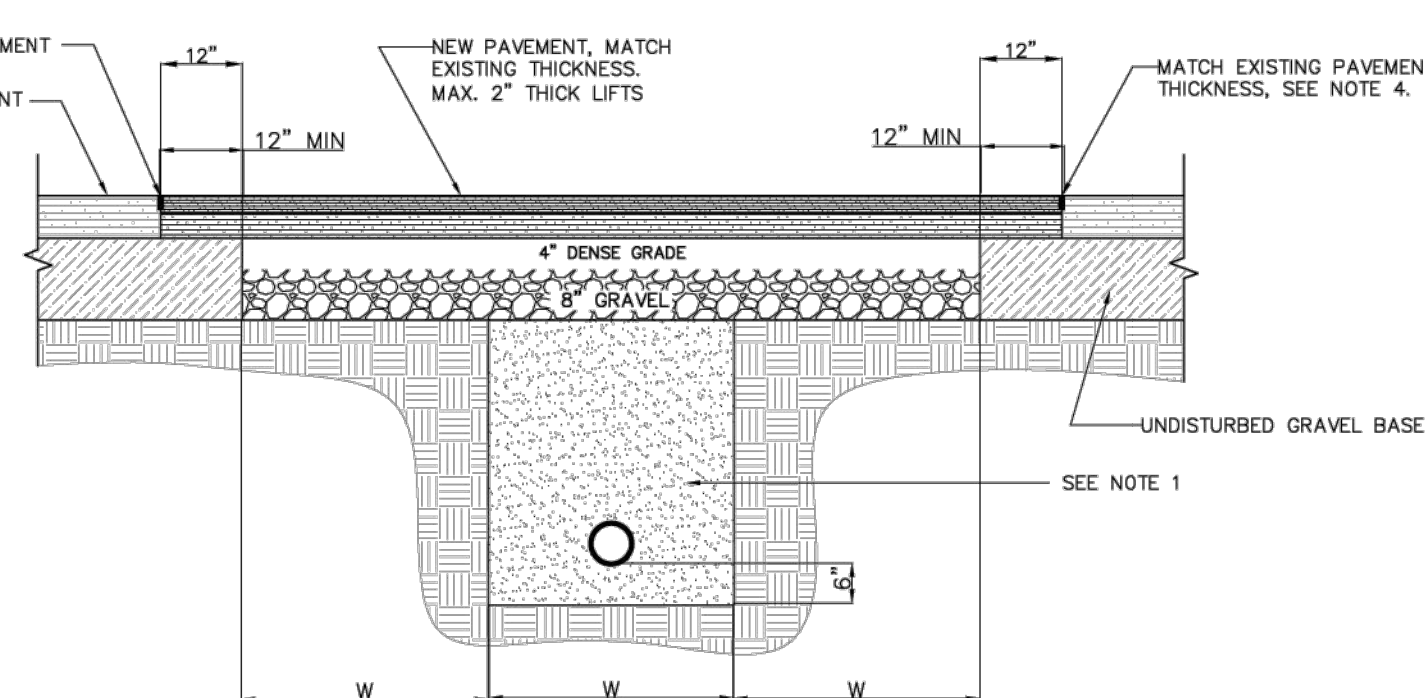
PLAN VIEW TYPICAL CURB RETURN DETAIL



DRIVEWAY SECTION



TRENCH RESTORATION

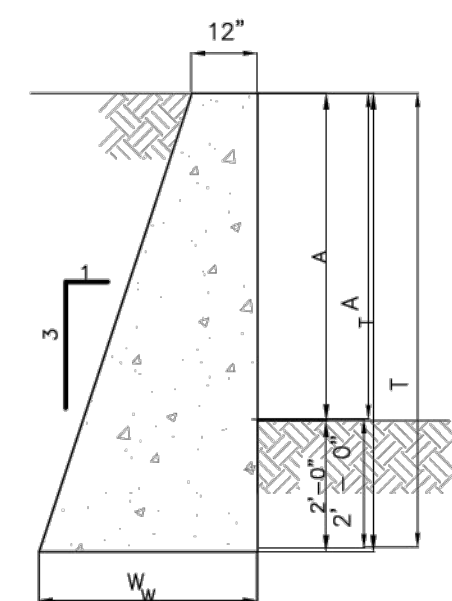


TYPICAL DETAIL TRENCH RESTORATION FOR MORATORIUM STREETS

NOTES:

- CLASS I CEMENT CONC. TO BE USED
- EXPANSION JOINTS TO BE PLACED 90' O.C. MAX. WITH INTERMEDIATE CONSTRUCTION JOINTS 30' O.C.
- ALL CONC. DIMENSIONS SHOWN ARE MINIMUM

HEIGHT A	T	WIDTH W	AREA SQ. FT.	CU. YDS. PER. LNI. FT.
2'-0"	4'-0"	2'-4"	6.667	0.247
2'-6"	4'-6"	2'-6"	7.875	0.292
3'-0"	5'-0"	2'-8"	9.165	0.339
3'-6"	5'-6"	2'-10"	10.541	0.390
4'-0"	6'-0"	3'-0"	12.000	0.444
4'-6"	6'-6"	3'-2"	13.541	0.502
5'-0"	7'-0"	3'-4"	15.162	0.562



LOW RETAINING WALL

ZONING OFFSETS

ZONING DISTRICT	DISTANCE FROM STREET INTERSECTION	DISTANCE FROM LOT LINE	WALL OF PRINCIPAL BUILDING
RS,R,RT	25	5	5
RD,RM	25	5	5
CR,O,CLO,CM	50	10	5
CRS,CS,CB,CN	10	NO REQUIREMENT	5

DRIVEWAY PLAN-RESIDENTIAL

NOTE:

NUMBER OF DRIVEWAYS PER LOT LINE IS LIMITED TO TWO. ZONING BY LAW SECTION 5.1.10.2

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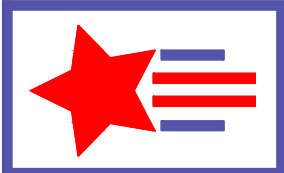
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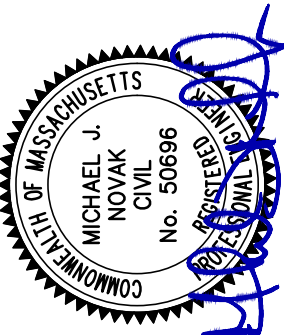
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AGENDA ITEM SUMMARY

LEXINGTON PLANNING BOARD

AGENDA ITEM TITLE:

Board Member & Staff Updates

PRESENTER:

**ITEM
NUMBER:**

SUMMARY:

SUGGESTED MOTION:

FOLLOW-UP:

DATE AND APPROXIMATE TIME ON AGENDA:

3/27/2025

AGENDA ITEM SUMMARY

LEXINGTON PLANNING BOARD

AGENDA ITEM TITLE:

Review of draft meeting minutes: 2/26/25 and 3/17/25

PRESENTER:

**ITEM
NUMBER:**

SUMMARY:

SUGGESTED MOTION:

FOLLOW-UP:

DATE AND APPROXIMATE TIME ON AGENDA:

3/27/2025

AGENDA ITEM SUMMARY

LEXINGTON PLANNING BOARD

AGENDA ITEM TITLE:

Upcoming Meetings

PRESENTER:

**ITEM
NUMBER:**

SUMMARY:

SUGGESTED MOTION:

FOLLOW-UP:

DATE AND APPROXIMATE TIME ON AGENDA:

3/27/2025

AGENDA ITEM SUMMARY

LEXINGTON PLANNING BOARD

AGENDA ITEM TITLE:

Adjourn – The meeting will continue until all items are finished. The estimated adjournment time is 8:15 pm.

PRESENTER:

ITEM NUMBER:

SUMMARY:

SUGGESTED MOTION:

FOLLOW-UP:

DATE AND APPROXIMATE TIME ON AGENDA:

3/27/2025

AGENDA ITEM SUMMARY

LEXINGTON PLANNING BOARD

AGENDA ITEM TITLE:

Zoom Details - <https://www.lexingtonma.gov/377/Access-Virtual-Meetings>

PRESENTER:

ITEM NUMBER:

SUMMARY:

Planning is inviting you to a scheduled Zoom meeting.

Topic: Planning Board Meeting

Time: Mar 27, 2025 06:00 PM Eastern Time (US and Canada)

Join Zoom Meeting

<https://lexingtonma.zoom.us/j/88051318742?pwd=6yqLUE10NhxHevFCh9upRkTnFrTdDz.1>

Meeting ID: 880 5131 8742

Passcode: 268339

One tap mobile

+16468769923,,88051318742#,,,,*268339# US (New York)

+16469313860,,88051318742#,,,,*268339# US

Dial by your location

- +1 646 876 9923 US (New York)
- +1 646 931 3860 US
- +1 301 715 8592 US (Washington DC)
- +1 305 224 1968 US
- +1 309 205 3325 US
- +1 312 626 6799 US (Chicago)
- +1 689 278 1000 US
- +1 719 359 4580 US
- +1 253 205 0468 US
- +1 253 215 8782 US (Tacoma)
- +1 346 248 7799 US (Houston)
- +1 360 209 5623 US
- +1 386 347 5053 US
- +1 408 638 0968 US (San Jose)
- +1 507 473 4847 US
- +1 564 217 2000 US
- +1 669 444 9171 US

• +1 669 900 6833 US (San Jose)

Meeting ID: 880 5131 8742

Passcode: 268339

Find your local number: <https://lexingtonma.zoom.us/j/kwV2kdyQc>

SUGGESTED MOTION:

FOLLOW-UP:

DATE AND APPROXIMATE TIME ON AGENDA:

3/27/2025