

AGENDA

Lexington Planning Board

Wednesday, February 26, 2025

Remote on Zoom: <https://www.lexingtonma.gov/377/Access-Virtual-Meetings>

6:00 PM

Development Administration & Zoning Amendments - NOTE: Items on the agenda may be taken out of order

- 1. 166 Spring Street - Public Hearing for a Limited Site Plan Review to convert the existing dwelling to the Muslim American Community Center**
Application is to expand and convert existing dwelling into a religious center with worship and study areas. The religious use is permitted under the Dover Amendment (MGL Chapter 40A, §3), and therefore shall go through the limited site plan review process.
- 2. Public Hearing: Article 31 Amend Zoning Bylaw for National Flood Insurance (NFI) District**
Public Hearing on Annual Town Meeting 2025 Article 31 Zoning Bylaw and Zoning Map – National Flood Insurance (NFI) District
- 3. Continued Public Hearing: Special Town Meeting Article 2 & Annual Town Meeting Article 34 to Amend Section 7.5 to Reduce Multi-Family Dwelling Unit Capacity in the Village & Multi-Family Overlay Districts**
Special Town Meeting Article 2 & Annual Town Meeting Article 34 to Amend Section 7.5 to Reduce Multi-Family Dwelling Unit Capacity in the Village & Multi-Family Overlay Districts
- 4. 217-219, 229, 233, & 241 Massachusetts Avenue – Public meeting for a preliminary subdivision**
Proposal is to subdivide the properties into 3 lots on a cul-de-sac
- 5. 336 Marrett Road - Approval Not Required (ANR) Plan**
Approval Not Required (ANR) Plan to create two lots
- 6. Review draft recommendation reports for Articles 29, 30, 32, 33 and presentation assignments**
Review draft recommendation reports for Articles 29, 30, 32, 33 and presentation assignments

Board Administration

1. **Board Member & Staff Updates**
2. **Review of Draft Meeting Minutes - 2/12/25**
3. **Upcoming Meetings**
Wednesday 3/5, 3/12; Thursday 3/27, 4/10.

Adjourn

1. **Adjourn – The meeting will continue until all items are finished. The estimated adjournment time is 10:30 pm.**

Zoom details

1. **Zoom Details - <https://www.lexingtonma.gov/377/Access-Virtual-Meetings>**
Recorded by Lex Media (<https://www.lexmedia.org>) and participation via Zoom.
Topic: Planning Board Meeting
Time: Feb 26, 2025 06:00 PM Eastern Time (US and Canada)
Join Zoom Meeting
[https://lexingtonma.zoom.us/j/87499344886?](https://lexingtonma.zoom.us/j/87499344886?pwd=n3dMD9oo8Svmpmw3NzU8aCN0CiaEbi.1)
[pwd=n3dMD9oo8Svmpmw3NzU8aCN0CiaEbi.1](https://lexingtonma.zoom.us/j/87499344886?pwd=n3dMD9oo8Svmpmw3NzU8aCN0CiaEbi.1)



Meeting broadcast by LexMedia

AGENDA ITEM SUMMARY

LEXINGTON PLANNING BOARD

AGENDA ITEM TITLE:

166 Spring Street - Public Hearing for a Limited Site Plan Review to convert the existing dwelling to the Muslim American Community Center

PRESENTER:

Applicant: Isam Hijazi

ITEM NUMBER:

SUMMARY:

Application is to expand and convert existing dwelling into a religious center with worship and study areas. The religious use is permitted under the Dover Amendment (MGL Chapter 40A, §3), and therefore shall go through the limited site plan review process.

Application materials may be viewed online at <https://lexingtonma.portal.opengov.com/records/99902>

Staff memos are attached.

The applicant will present, staff will summarize memo, board members will discuss, and then the Chair will open the meeting up to public comments. After public comments the applicant will have an opportunity to respond. At the end of the evening staff recommends the public hearing be continued to a future meeting date to allow time for the applicant to submit requested information and respond to comments.

SUGGESTED MOTION:

At the end of the night, staff recommends the Board vote to continue the hearing to a future meeting date that will allow time for the applicant to respond and provided requested information.

Move to recommend the public hearing for the limited site plan review for 166 Spring Street be continued to Thursday, March 27 at or after 6:00 pm on Zoom.

FOLLOW-UP:

DATE AND APPROXIMATE TIME ON AGENDA:

2/26/2025

ATTACHMENTS:

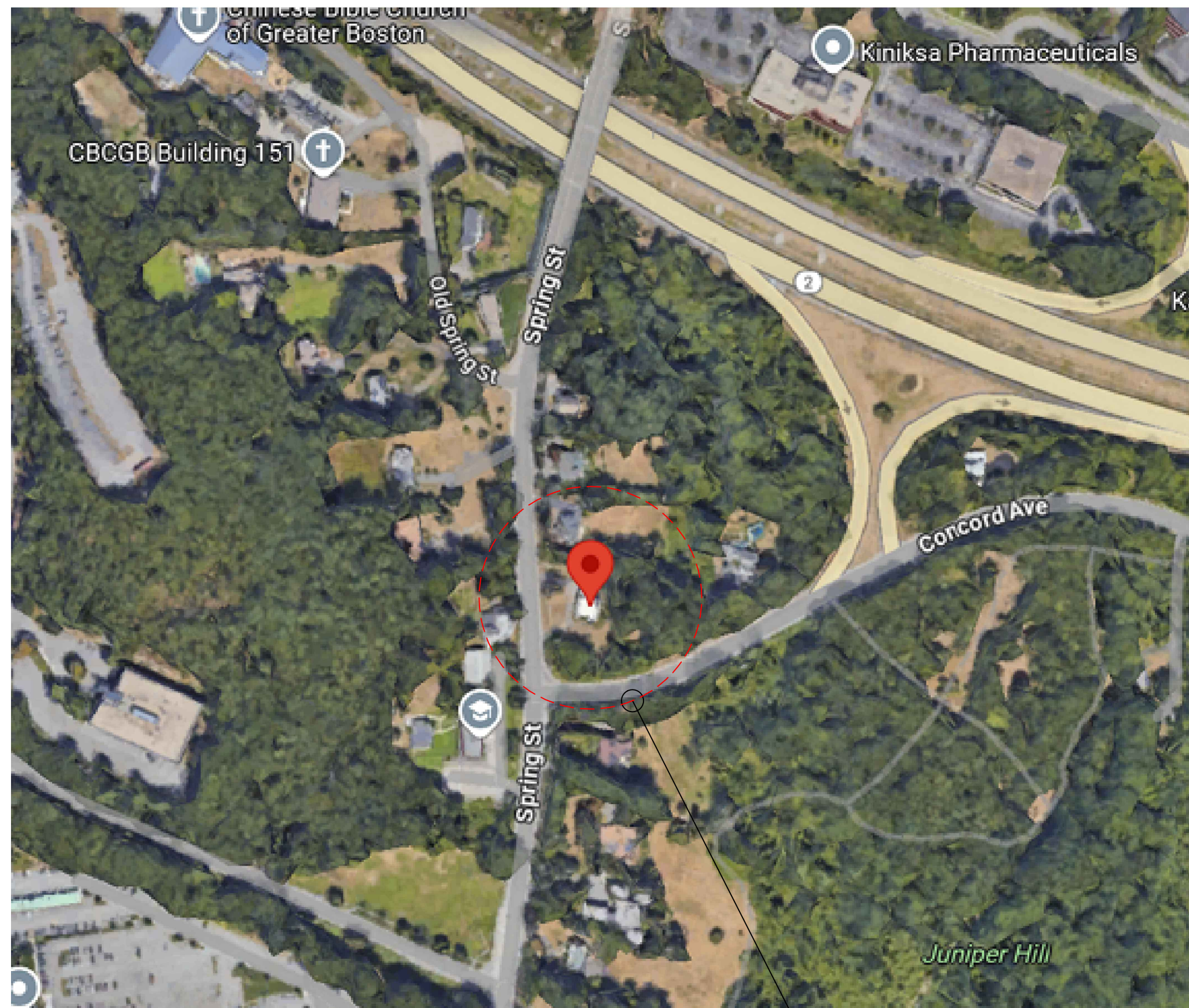
Description	Type
☐ Proposed plan set 166 Spring St	Cover Memo
☐ Planning Staff Memo	Cover Memo
☐ Engineering Memo	Cover Memo

PROPOSED IMPROVEMENTS FOR MUSLIM AMERICAN COMMUNITY CENTER OF LEXINGTON MASSACHUSETTS

166 SPRING STREET
LEXINGTON, MA

DRAWING INDEX
SHEET NO.

SHEET NO.	TITLE
C1	GENERAL NOTES
C2	SITE PREPARATION PLAN
C3	LAYOUT PLAN
C4	GRADING PLAN
C5	UTILITY AND DRAINAGE PLAN
C6	SITE WORK DETAILS I
C7	SITE WORK DETAILS II
C8	SITE WORK DETAILS III
C-9	RECHARGE SYSTEM DETAILS
E1	ELECTRICAL LEGEND AND NOTES
E2	ELECTRICAL SITE PLAN
E3	PHOTOMETRICS PLAN
F1	FIRE TRUCK TURNING PLAN



LOCUS PLAN
N.T.S

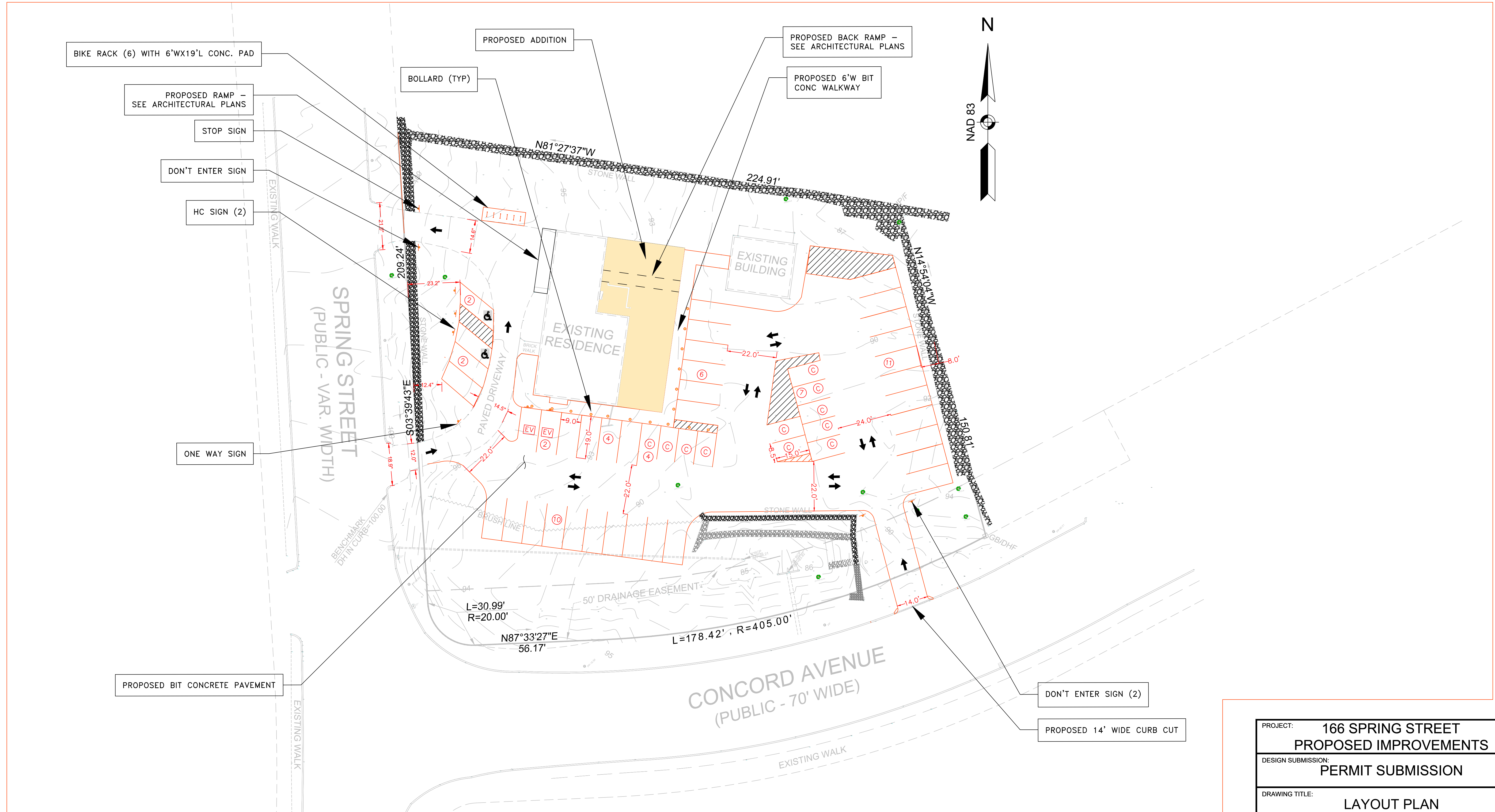
PROJECT AREA

PERMIT SET 1/17/2025

PREPARED BY:



BCD DESIGN GROUP
ISAM HIJAZI
617-799-1133



PROPOSED BIT CONCRETE PAVEMENT

DON'T ENTER SIGN (2)

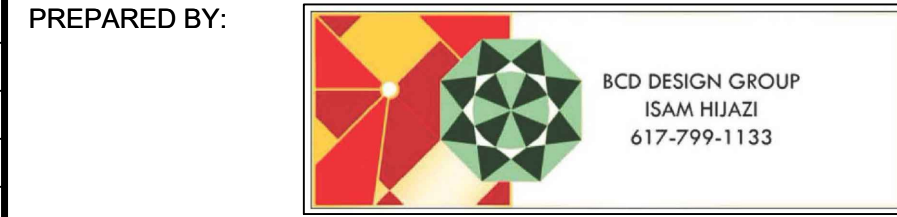
PROPOSED 14' WIDE CURB CUT

PROJECT: 166 SPRING STREET
PROPOSED IMPROVEMENTS

DESIGN SUBMISSION: PERMIT SUBMISSION

DRAWING TITLE: LAYOUT PLAN

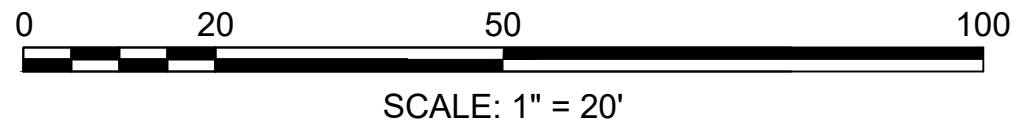
PREPARED FOR:
MACCLM
344 LOWELL
LEXINGTON, MASSACHUSETTS



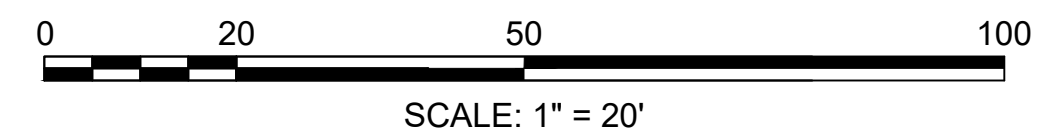
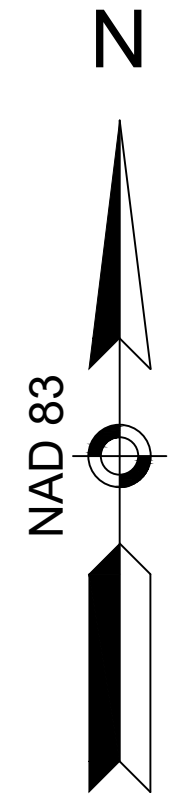
SCALE: AS NOTED
DATE: 11/24/2024
PROJECT NO. 24-001


DESIGNED BY: EY
DRAWN BY: EY
CHECKED BY: IH

SHEET NO. 3 OF 9

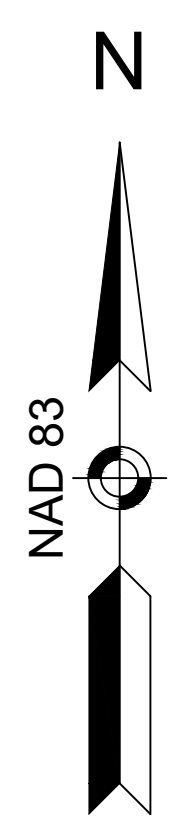
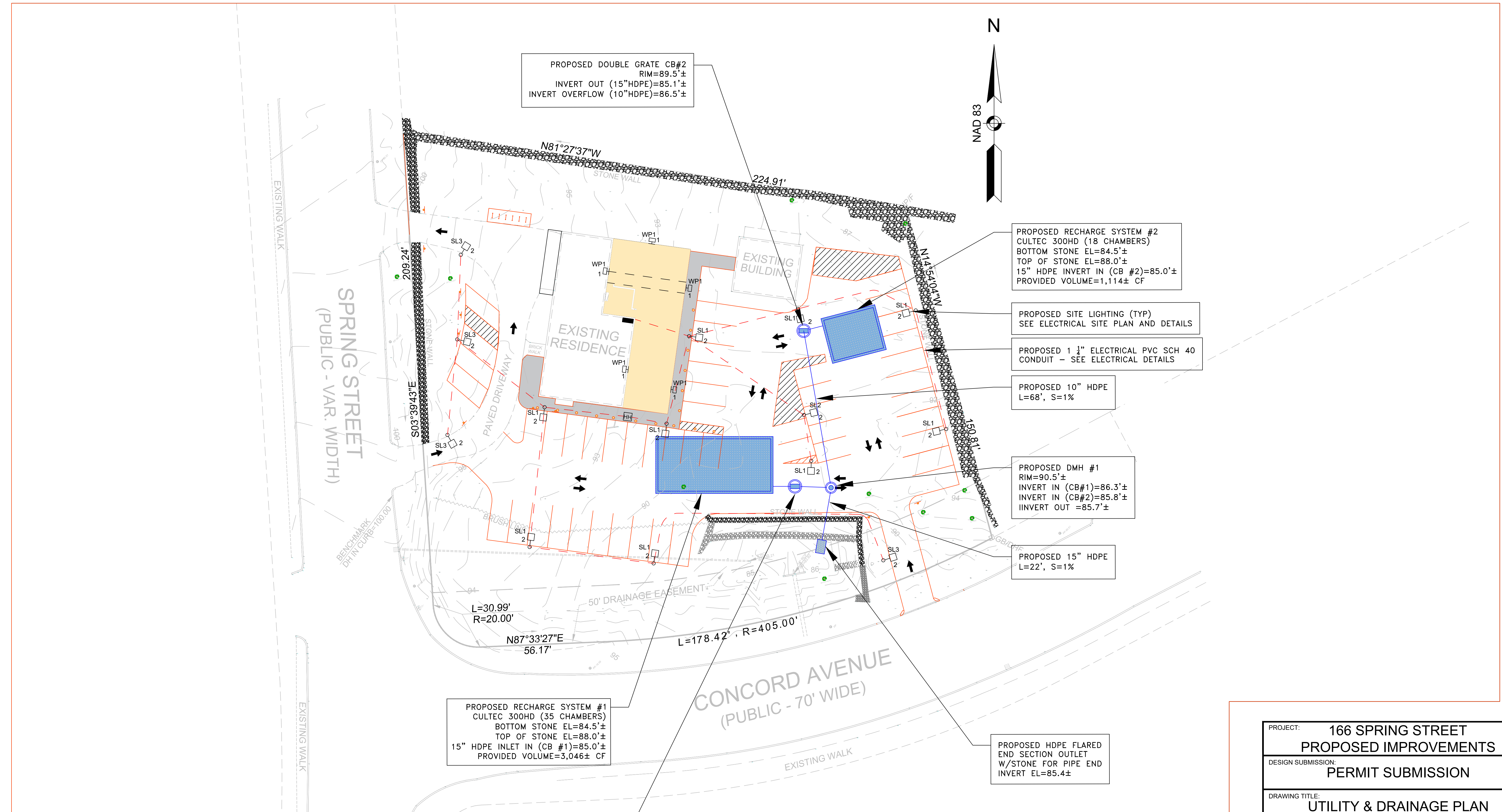


NO.	DATE	REVISIONS



PROJECT: 166 SPRING STREET PROPOSED IMPROVEMENTS	
DESIGN SUBMISSION: PERMIT SUBMISSION	
DRAWING TITLE: GRADING PLAN	
PREPARED FOR: MACCLM 344 LOWELL LEXINGTON, MASSACHUSETTS	
PREPARED BY:  BCD DESIGN GROUP ISAM HIJAZI 617-799-1133	
SCALE: AS NOTED	DESIGNED BY: EY
DATE: 11/24/2024	DRAWN BY: EY
PROJECT NO. 24-001	CHECKED BY: IH
SHEET NO. 4 OF 9	

NO.	DATE	REVISIONS



PROPOSED DOUBLE GRATE CB#2
 RIM=89.5'±
 INVERT OUT (15"HDPE)=85.1'±
 INVERT OVERFLOW (10"HDPE)=86.5'±

PROPOSED RECHARGE SYSTEM #2
 CULTEC 300HD (18 CHAMBERS)
 BOTTOM STONE EL=84.5'±
 TOP OF STONE EL=88.0'±
 15" HDPE INVERT IN (CB #2)=85.0'±
 PROVIDED VOLUME=1,114± CF

PROPOSED SITE LIGHTING (TYP)
 SEE ELECTRICAL SITE PLAN AND DETAILS

PROPOSED 1 1/4" ELECTRICAL PVC SCH 40
 CONDUIT - SEE ELECTRICAL DETAILS

PROPOSED 10" HDPE
 L=68', S=1%

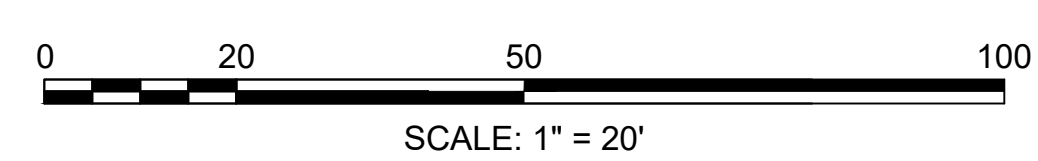
PROPOSED DMH #1
 RIM=90.5'±
 INVERT IN (CB#1)=86.3'±
 INVERT IN (CB#2)=85.8'±
 INVERT OUT =85.7'±


PROPOSED 15" HDPE
 L=22', S=1%

PROPOSED RECHARGE SYSTEM #1
 CULTEC 300HD (35 CHAMBERS)
 BOTTOM STONE EL=84.5'±
 TOP OF STONE EL=88.0'±
 15" HDPE INLET IN (CB #1)=85.0'±
 PROVIDED VOLUME=3,046± CF

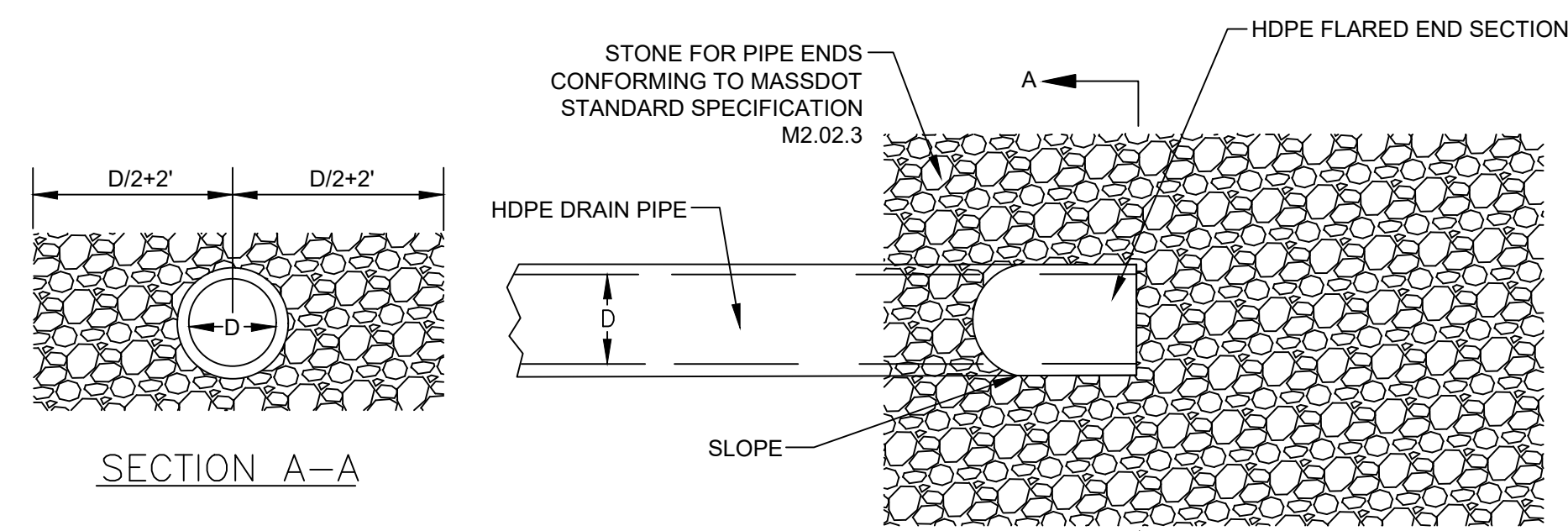
PROPOSED HDPE FLARED
 END SECTION OUTLET
 W/STONE FOR PIPE END
 INVERT EL=85.4±

PROPOSED DOUBLE GRATE CB#1
 RIM=90.3'±
 INVERT OUT (15"HDPE)=85.1'±
 INVERT OVERFLOW (15"HDPE)=86.5'±

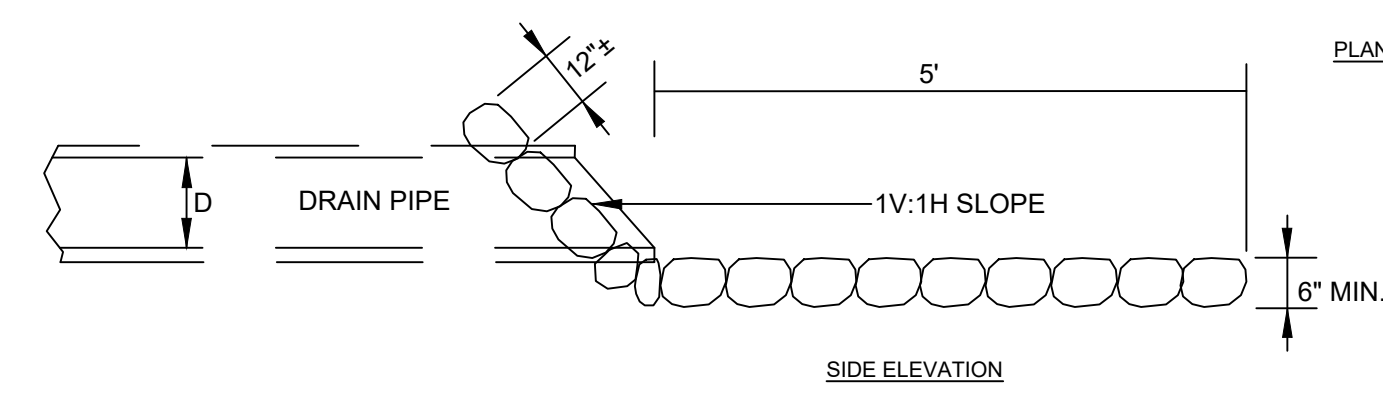


PROJECT:	166 SPRING STREET PROPOSED IMPROVEMENTS	
DESIGN SUBMISSION:	PERMIT SUBMISSION	
DRAWING TITLE:	UTILITY & DRAINAGE PLAN	
PREPARED FOR:	MACCLM 344 LOWELL LEXINGTON, MASSACHUSETTS	
PREPARED BY:	 BCD DESIGN GROUP ISAM HIJAZI 617-799-1133	
SCALE: AS NOTED	DESIGNED BY: EY	SHEET NO. 5 OF 9
DATE: 11/24/2024	DRAWN BY: EY	
PROJECT NO. 24-001	CHECKED BY: IH	

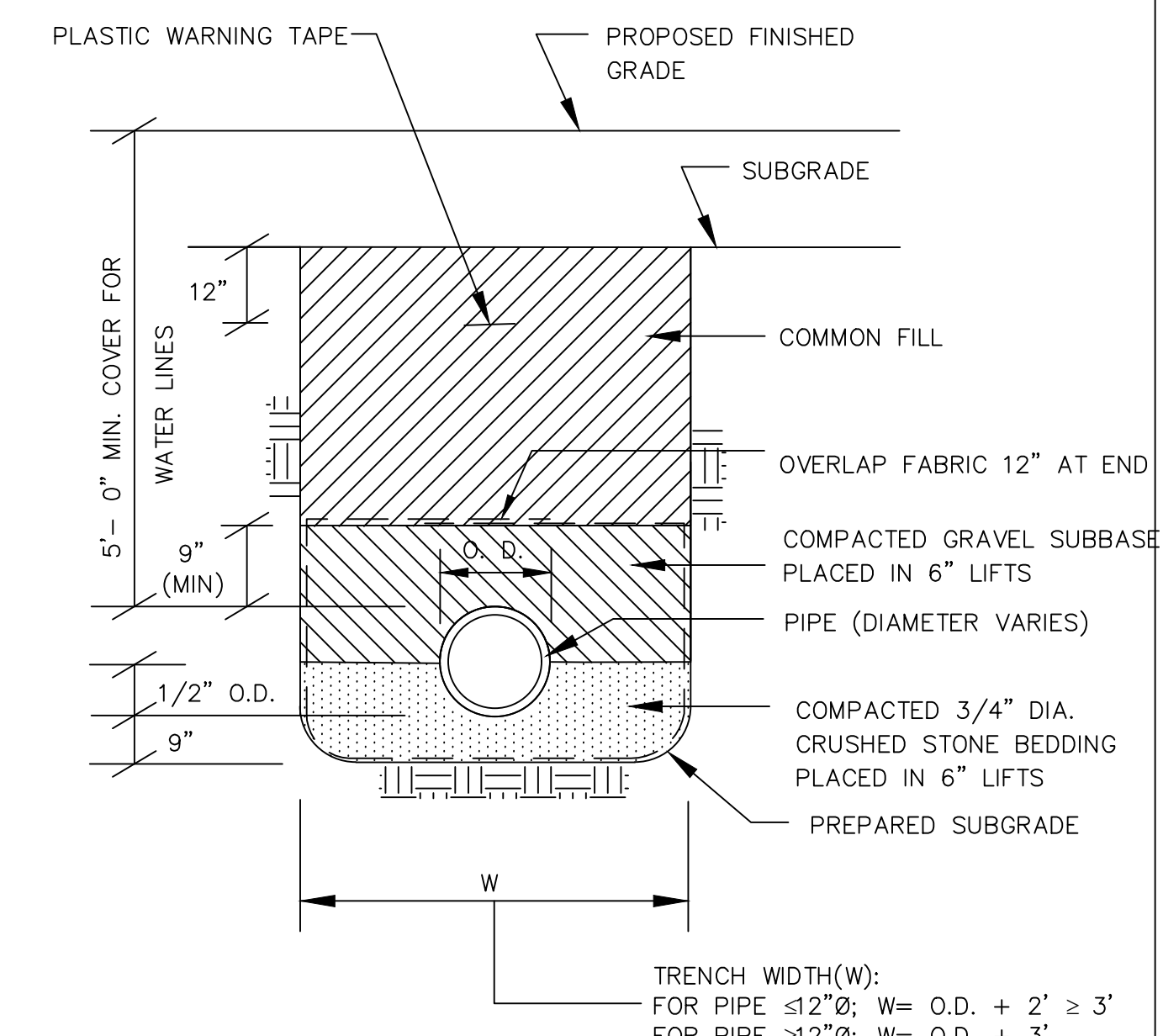
NO.	DATE	REVISIONS



SECTION A-A

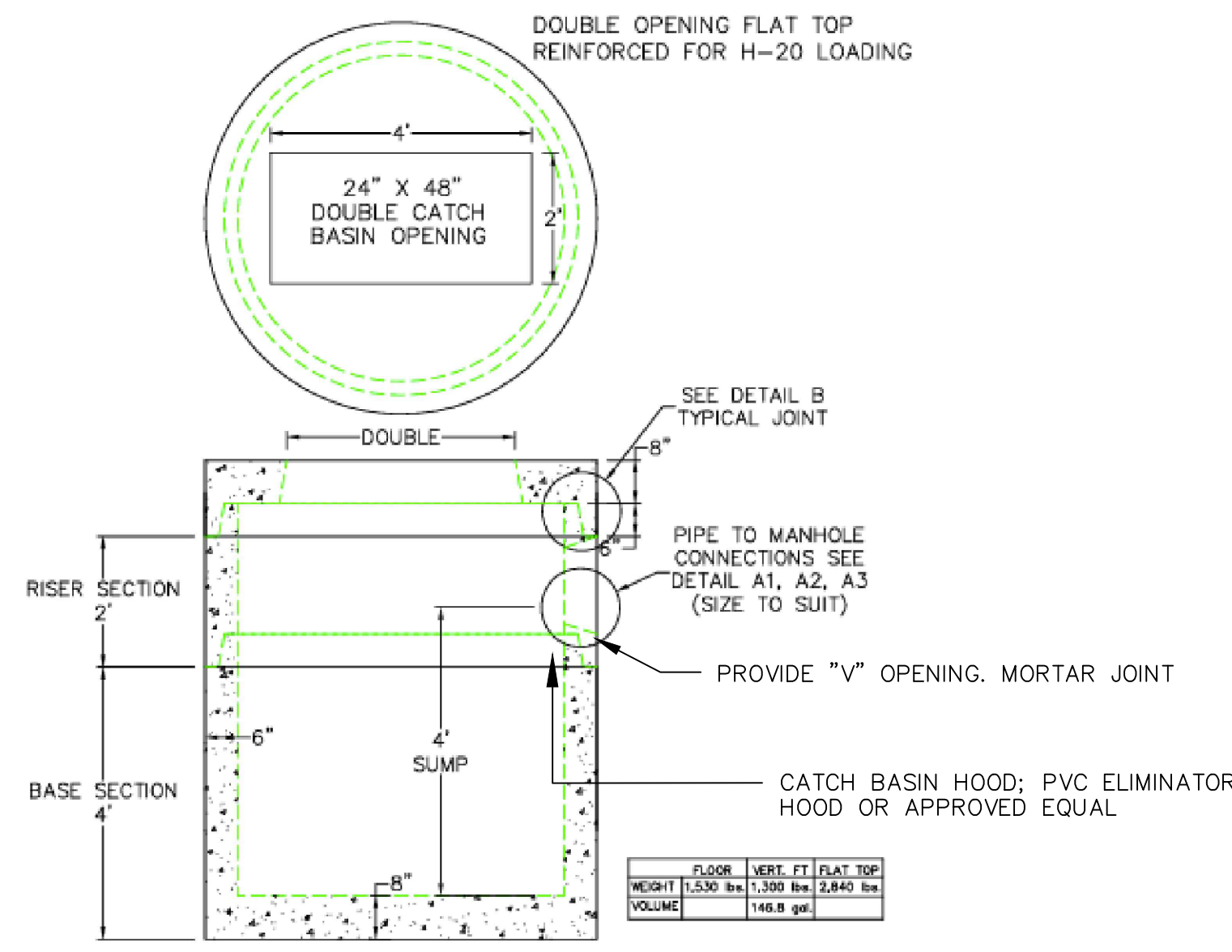


FLARED END SECTION DETAIL
NOT TO SCALE



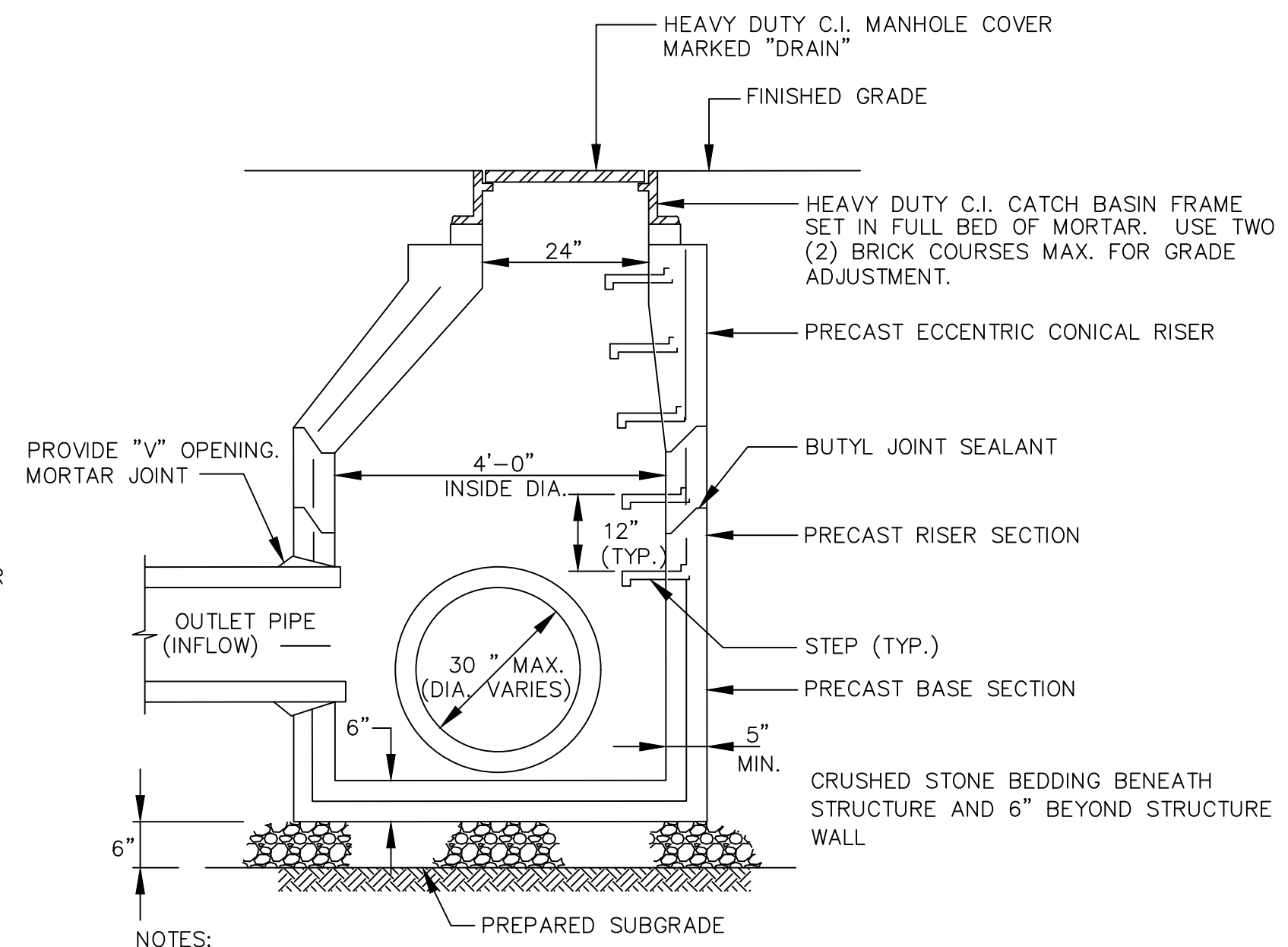
- TRENCH EXCAVATION AND BACKFILLING:
- EXCAVATE TRENCH BOTTOMS AS INDICATED. REMOVE STONES AND SHARP OBJECTS TO AVOID POINT LOADING. PLACE CRUSHED STONE PIPE BEDDING AS INDICATED.
 - PLACE AND COMPACT INITIAL BACKFILL OF SAND-GRAVEL MATERIAL, FREE OF PARTICLES GREATER THAN 1 INCH, TO A HEIGHT OF 12" ABOVE THE UTILITY LINE OR CONDUIT.
 - CAREFULLY COMPACT MATERIAL UNDER PIPE HAUNCHES AND BACKFILL EVENLY ON BOTH SIDES ALONG FULL LENGTH OF LINE TO AVOID DAMAGE OR DISPLACEMENT OF UTILITY SYSTEM.
 - COMPACT TRENCH BACKFILL IN 6" LIFTS WITH A HAND OPERATED (VIBRATOR PLATE) TAMPER AS FOLLOWS: UNDER PAVEMENT AND STRUCTURES; TO 95% MAX. DRY DENSITY PER ASTM D1557. UNDER LAWNS; 90% MAXIMUM DRY DENSITY PER ASTM D1557.

TYPICAL PIPE TRENCH DETAIL
NOT TO SCALE



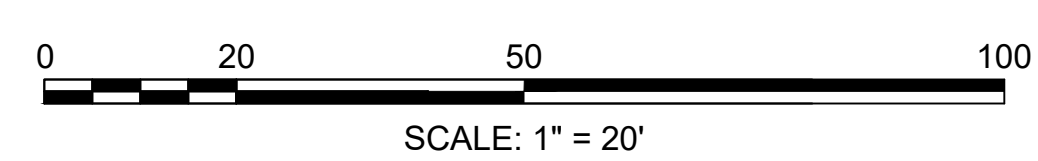
- DESIGN NOTES:
- MANUFACTURED TO MEET OR EXCEED: ASTM C-478 & AASHTO M 199 SPECS.
 - CONCRETE = 4,000 PSI; MINIMUM CEMENT PER ASTM C-478 (6.1)
 - REINFORCED STEEL CONFORMS TO LATEST ASTM A 185 SPECIFICATIONS. 0.15 SQ. IN / LINEAL FT. AND 0.15 SQ. IN (BOTH WAYS) BASE BOTTOM
 - STEEL REINFORCEMENT TO MEET OR EXCEED AASHTO HS-20 LOADING
 - MANHOLE STEPS MEET LATEST OSHA REGULATION 29 CFR 1910.27, SECTION 16 OF ASTM SPECIFICATION C478 AND SECTION 10 OF ASTM SPECIFICATION C497
 - BUTYL RUBBER JOINT SEALANT PER ASTM C-990 & ASHTO M-198
 - ONE POUR MONOLITHIC BASE


TYPICAL PRECAST CONCRETE DOUBLE CATCH BASIN DETAIL
NOT TO SCALE



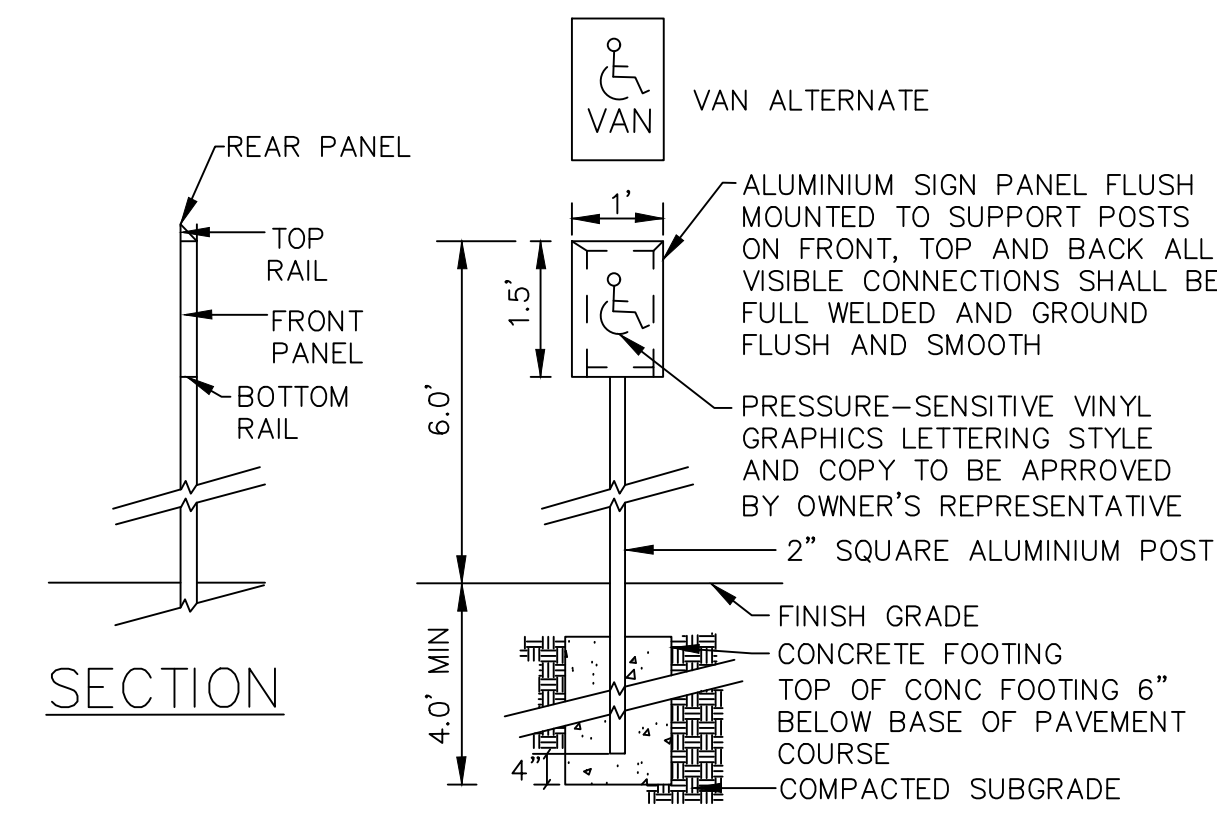
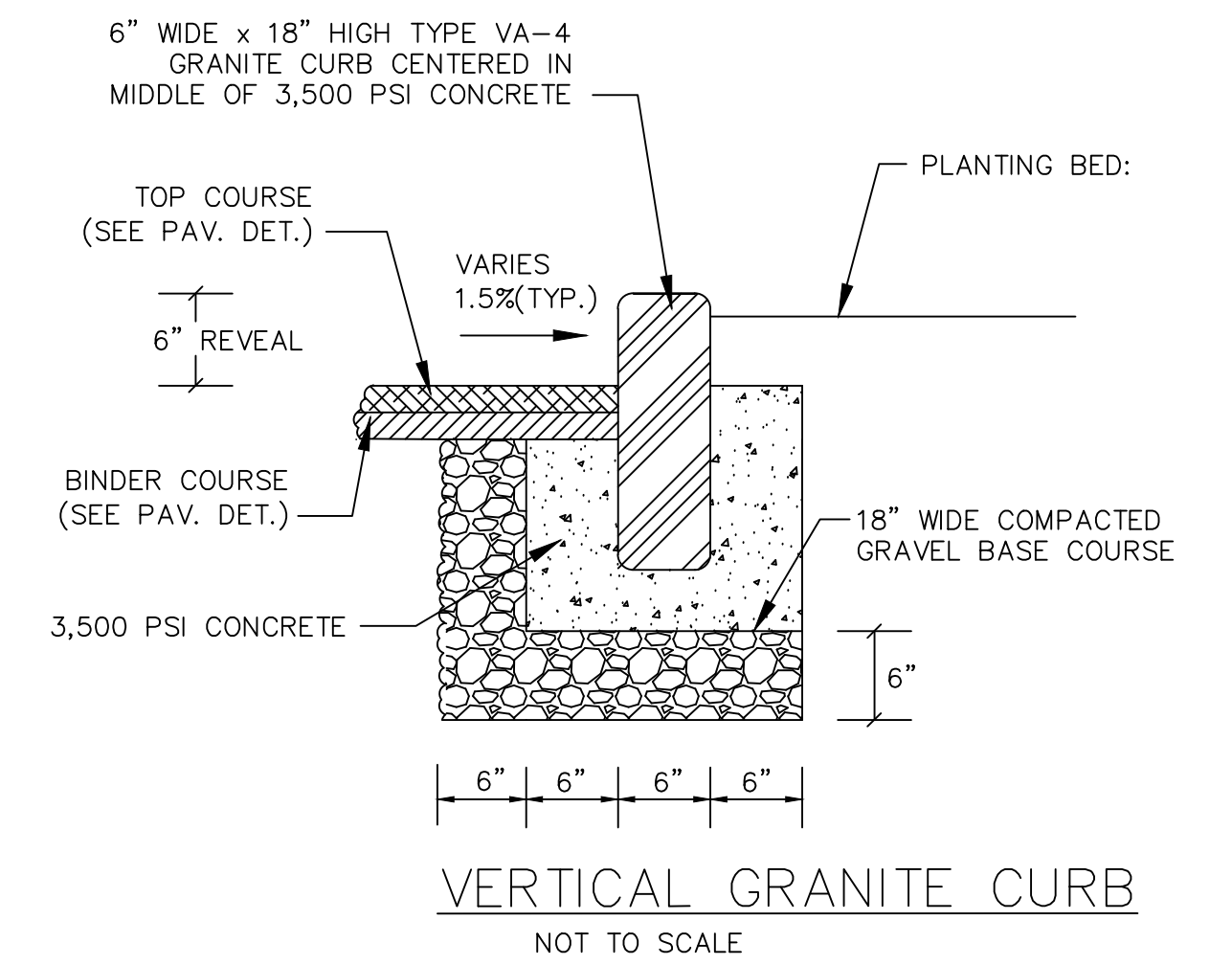
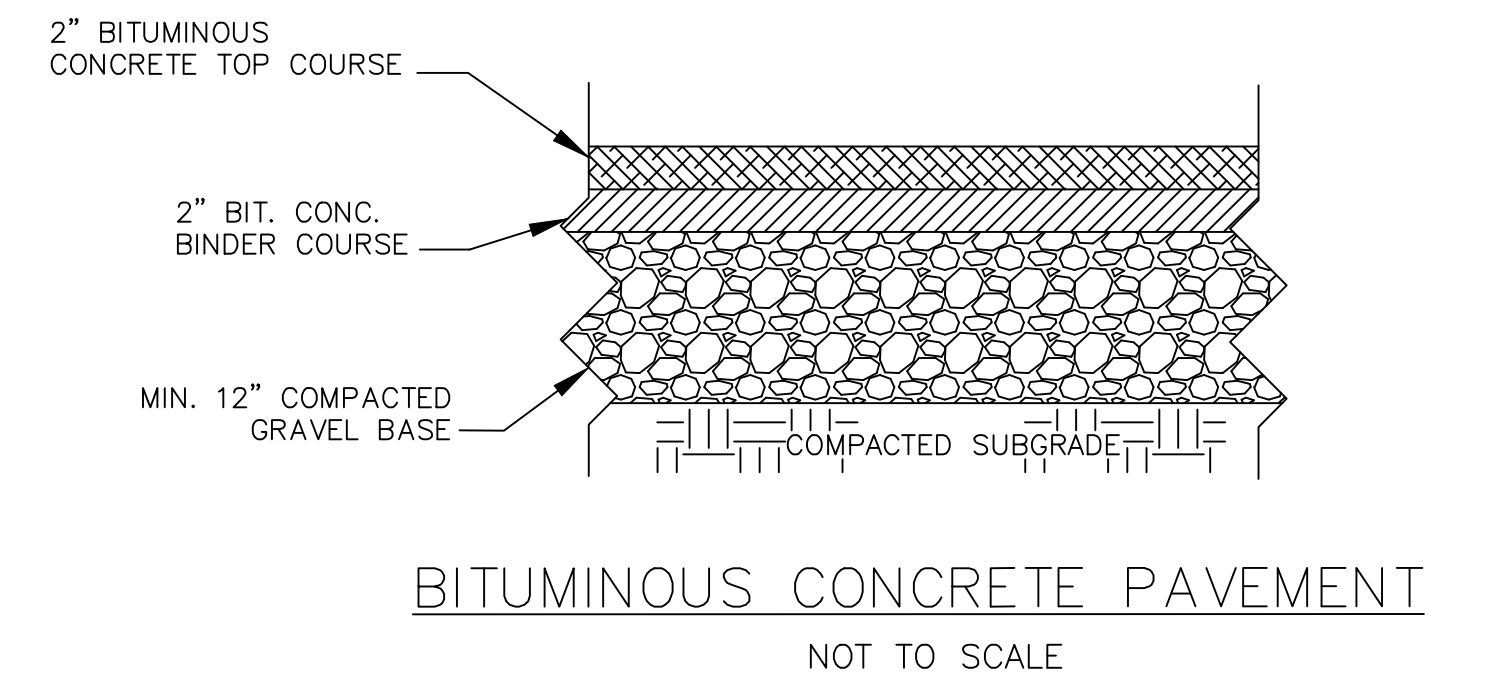
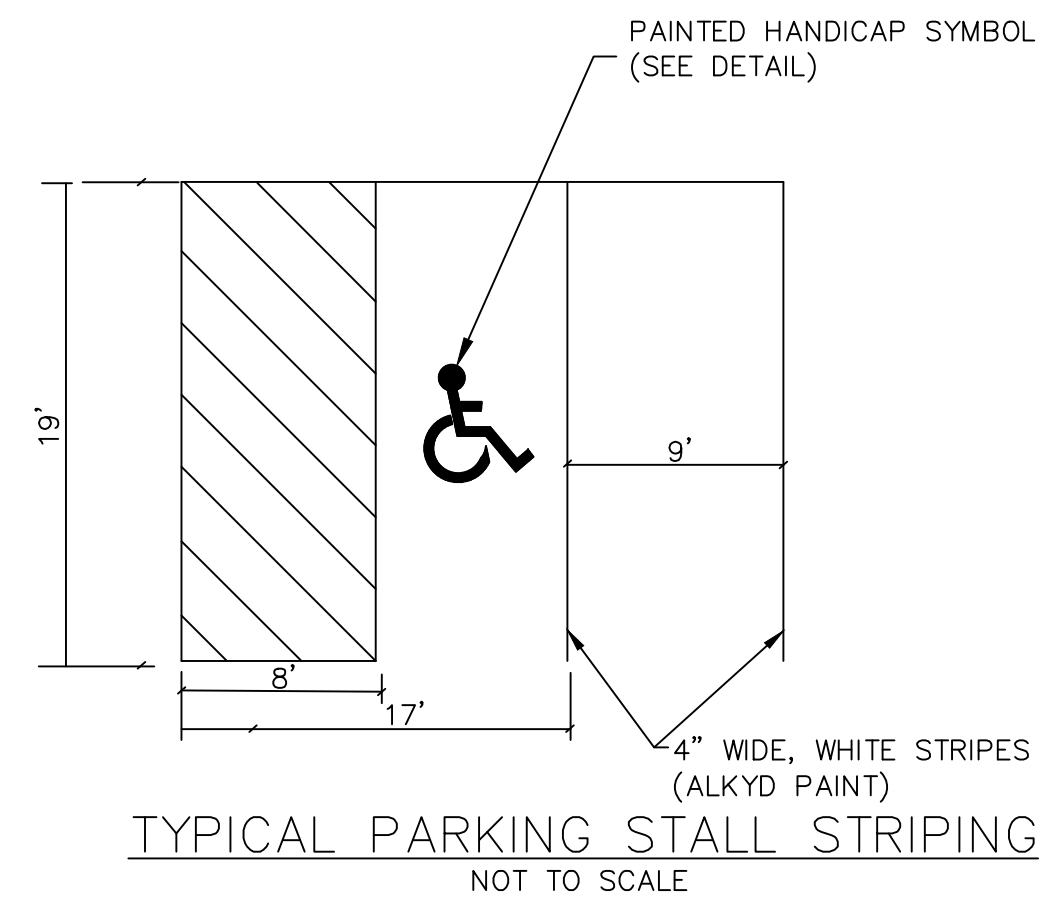
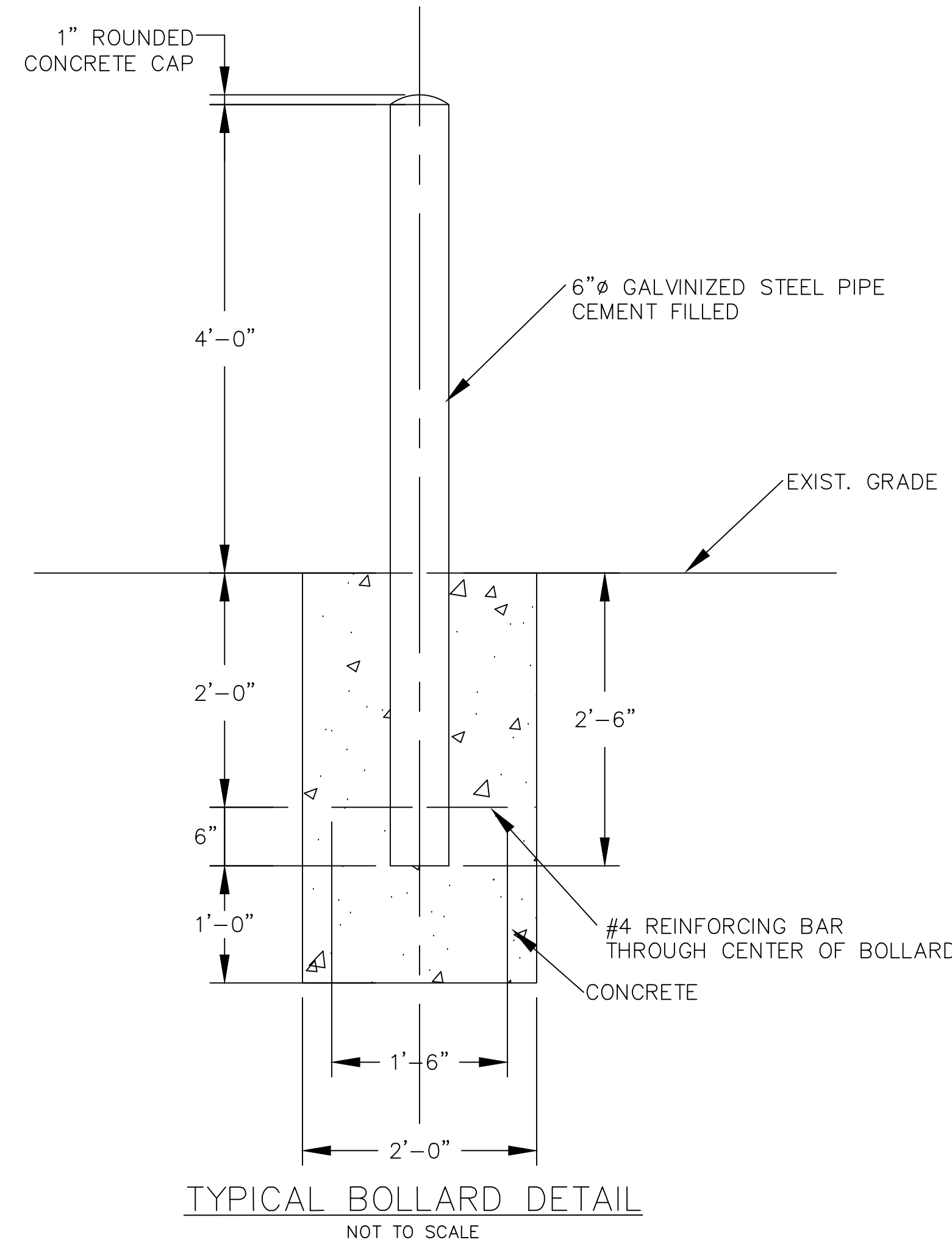
- NOTES:
- PRECAST CONCRETE SECTIONS SHALL CONFORM TO ASTM C-478
 - STEEL REINFORCING SHALL CONFORM TO ASTM A185
 - MANHOLE STEPS SHALL BE 14" WIDE STEEL REINFORCED COPOLYMER POLYPROPYLENE PLASTIC AND SHALL BE CAST INTO MANHOLE SECTIONS BY THE PRECAST MANHOLE MANUFACTURER
 - STRUCTURE SHALL MEET H-20 LOADING.

TYPICAL PRECAST CONCRETE DRAIN MANHOLE DETAIL
NOT TO SCALE



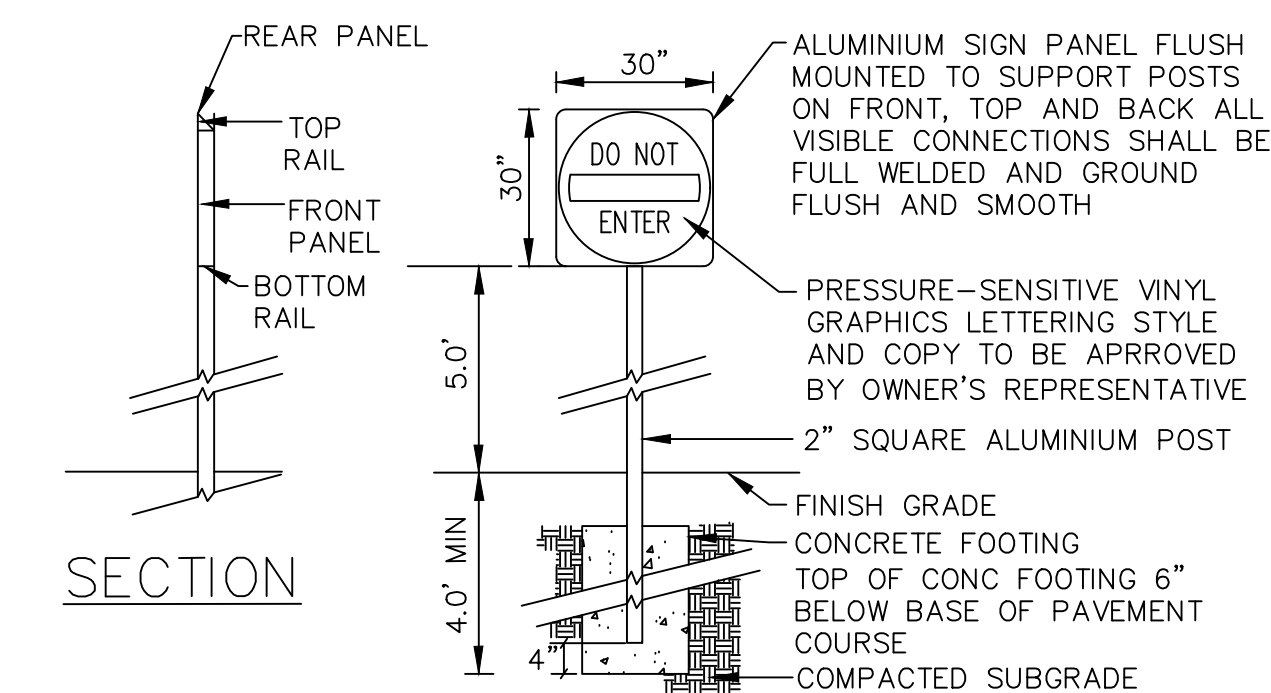
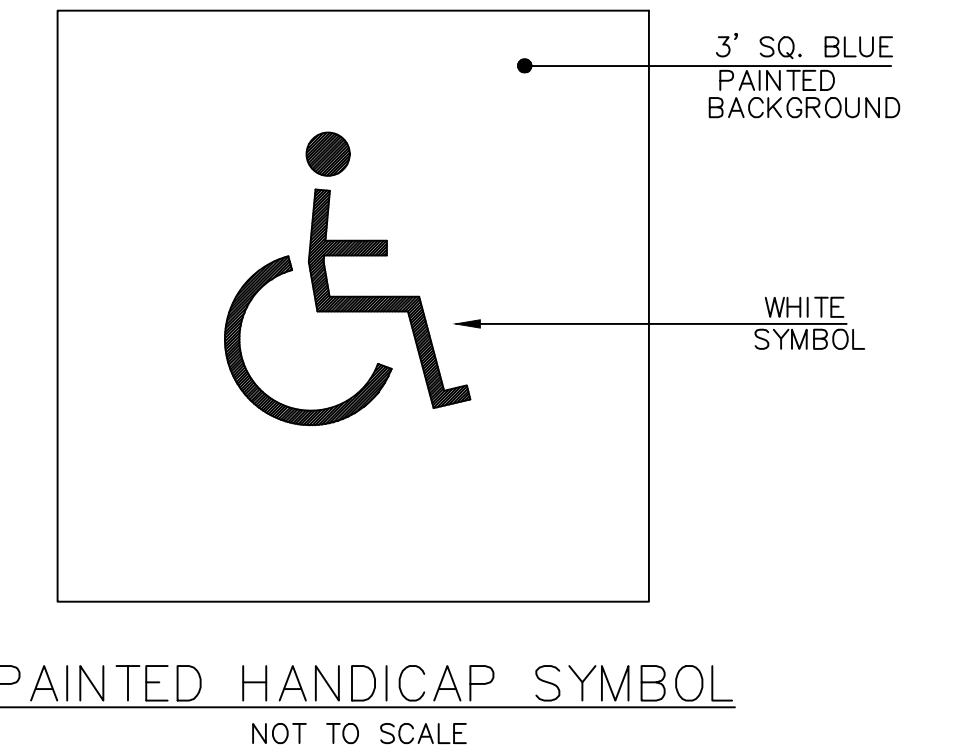
PROJECT:	166 SPRING STREET PROPOSED IMPROVEMENTS	
DESIGN SUBMISSION:	PERMIT SUBMISSION	
DRAWING TITLE:	SITE WORK DETAILS II	
PREPARED FOR:	MACCLM 344 LOWELL LEXINGTON, MASSACHUSETTS	
PREPARED BY:	 BCD DESIGN GROUP ISAM HIJAZI 617-799-1133	
SCALE: AS NOTED	DESIGNED BY: EY	SHEET NO. 7 OF 9
DATE: 11/24/2024	DRAWN BY: EY	
PROJECT NO. 24-001	CHECKED BY: IH	

NO.	DATE	REVISIONS



NOTE: ALL HANDICAP SIGNS MUST MEET 2009 MUTCD.

HANDICAP SIGN
NOT TO SCALE




NOTE: ALL DO NOT ENTER SIGNS MUST MEET 2009 MUTCD.

DO NOT ENTER SIGN
NOT TO SCALE



NO.	DATE	REVISIONS

PROJECT:	166 SPRING STREET PROPOSED IMPROVEMENTS		
DESIGN SUBMISSION:	PERMIT SUBMISSION		
DRAWING TITLE:	SITE WORK DETAILS III		
PREPARED FOR:	MACCLM 344 LOWELL LEXINGTON, MASSACHUSETTS		
PREPARED BY:	 BCD DESIGN GROUP ISAM HJAZI 617-799-1133		
SCALE: AS NOTED	DESIGNED BY: EY	SHEET NO. 8 OF 9	
DATE: 11/24/2024	DRAWN BY: EY		
PROJECT NO. 24-001	CHECKED BY: IH		

CULTEC RECHARGER® 300HD SPECIFICATIONS
GENERAL
 CULTEC RECHARGER® 300HD CHAMBERS ARE DESIGNED FOR UNDERGROUND STORMWATER MANAGEMENT. THE CHAMBERS MAY BE USED FOR RETENTION, RECHARGING, DETENTION OR CONTROLLING THE FLOW OF ON-SITE STORMWATER RUNOFF.

- CHAMBER PARAMETERS**
- THE CHAMBERS SHALL BE MANUFACTURED IN THE U.S.A. BY CULTEC, OF BROOKFIELD, CT (CULTEC.COM, 203-775-4416).
 - THE CHAMBERS SHALL BE DESIGNED AND TESTED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS". THE LOAD CONFIGURATION SHALL INCLUDE:
 - INSTANTANEOUS AASHTO DESIGN TRUCK LIVE LOAD AT MINIMUM COVER
 - MAXIMUM PERMANENT (50-YEAR) COVER LOAD
 - 1-WEEK PARKED AASHTO DESIGN TRUCK LOAD
 - THE CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418 "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
 - THE INSTALLED CHAMBER SYSTEM SHALL PROVIDE RESISTANCE TO THE LOADS AND LOAD FACTORS AS DEFINED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS SECTION 12.12, WHEN INSTALLED ACCORDING TO CULTEC'S RECOMMENDED INSTALLATION INSTRUCTIONS. THE STRUCTURAL DESIGN OF THE CHAMBERS SHALL INCLUDE THE FOLLOWING:
 - THE CREEP MODULUS SHALL BE 50-YEAR AS SPECIFIED IN ASTM F2418
 - THE MINIMUM SAFETY FACTOR FOR LIVE LOADS SHALL BE 1.75
 - THE MINIMUM SAFETY FACTOR FOR DEAD LOADS SHALL BE 1.95
 - THE INSTALLED CHAMBER SYSTEM SHALL BE STRUCTURALLY DESIGNED TO PROVIDE RESISTANCE TO LIVE LOADS AS DEFINED BY THE AASHTO H-20/HL-93 SPECIFICATION WHEN INSTALLED ACCORDING TO CULTEC'S RECOMMENDED INSTALLATION INSTRUCTIONS.
 - THE CHAMBER SHALL BE INJECTION MOLDED OF BLUE VIRGIN IMPACT-MODIFIED POLYPROPYLENE.
 - THE CHAMBER SHALL BE ARCHED IN SHAPE.
 - THE CHAMBER SHALL BE OPEN-BOTTOMED.
 - THE CHAMBER SHALL BE JOINED USING AN INTERLOCKING OVERLAPPING RIB METHOD. CONNECTIONS MUST BE FULLY SHOULDERED OVERLAPPING RIBS, HAVING NO SEPARATE COUPLINGS.
 - THE NOMINAL CHAMBER DIMENSIONS OF THE CULTEC RECHARGER® 300HD SHALL BE 30 INCHES (762 MM) TALL, 51 INCHES (1295 MM) WIDE AND 90.5 INCHES (2299 MM) LONG. THE INSTALLED LENGTH OF A JOINED RECHARGER® 300HD SHALL BE 7.08 FEET (2.159 M).
 - MULTIPLE CHAMBERS MAY BE CONNECTED TO FORM DIFFERENT LENGTH ROWS. EACH ROW SHALL BEGIN AND END WITH A SEPARATELY FORMED CULTEC RECHARGER® 300HD END CAP. MAXIMUM INLET OPENING ON THE END CAP IS 24 INCHES (600 MM) HDPE.
 - THE CHAMBER SHALL HAVE TWO SIDE PORTALS TO ACCEPT CULTEC HVLV™ FC-24 FEED CONNECTORS TO CREATE AN INTERNAL MANIFOLD. MAXIMUM ALLOWABLE PIPE SIZE IN THE SIDE PORTAL IS 10 INCHES (250 MM) HDPE AND 12 INCHES (300 MM) PVC.
 - THE NOMINAL CHAMBER DIMENSIONS OF THE CULTEC HVLV™ FC-24 FEED CONNECTOR SHALL BE 12 INCHES (305 MM) TALL, 16 INCHES (406 MM) WIDE AND 24.2 INCHES (615 MM) LONG.
 - THE NOMINAL STORAGE VOLUME OF THE RECHARGER® 300HD CHAMBER SHALL BE 6.53 FT³ / FT (607 M³ / M) - WITHOUT STONE. THE NOMINAL STORAGE VOLUME OF A JOINED RECHARGER® 300HD SHALL BE 46.27 FT³ / UNIT (1,310 M³ / UNIT) - WITHOUT STONE.
 - THE RECHARGER 300HD CHAMBER SHALL HAVE 14 CORRUGATIONS.
 - THE CHAMBER SHALL BE CAPABLE OF ACCEPTING A 6 INCH (150 MM) INSPECTION PORT OPENING AT THE TOP CENTER OF EACH CHAMBER, CENTERED ON THE CORRUGATION CREST.
 - THE CHAMBER SHALL BE MANUFACTURED IN A FACILITY EMPLOYING CULTEC'S QUALITY CONTROL AND ASSURANCE PROCEDURES.
 - MAXIMUM ALLOWABLE COVER OVER THE TOP OF THE CHAMBER SHALL BE 12.0 FEET (3.66 M).

- CULTEC HVLV FC-24 FEED CONNECTOR PRODUCT SPECIFICATIONS**
GENERAL
 CULTEC HVLV FC-24 FEED CONNECTORS ARE DESIGNED TO CREATE AN INTERNAL MANIFOLD FOR CULTEC RECHARGER MODEL 300HD STORMWATER CHAMBERS.
- CHAMBER PARAMETERS**
- THE CHAMBERS SHALL BE MANUFACTURED IN THE U.S.A. BY CULTEC, OF BROOKFIELD, CT. (203-775-4416 OR 1-800-428-5832)
 - THE CHAMBER SHALL BE VACUUM THERMOFORMED OF HIGH MOLECULAR WEIGHT HIGH DENSITY POLYETHYLENE (HMWHDPE) WITH A BLACK INTERIOR AND BLUE EXTERIOR.
 - THE CHAMBER SHALL BE ARCHED IN SHAPE.
 - THE CHAMBER SHALL BE OPEN-BOTTOMED.
 - THE NOMINAL CHAMBER DIMENSIONS OF THE CULTEC HVLV FC-24 FEED CONNECTOR SHALL BE 12 INCHES (305 mm) TALL, 16 INCHES (406 mm) WIDE AND 24.2 INCHES (614 mm) LONG.
 - THE HVLV FC-24 FEED CONNECTOR CHAMBER SHALL HAVE 2 CORRUGATIONS.
 - THE HVLV FC-24 FEED CONNECTOR MUST BE FORMED AS A WHOLE CHAMBER HAVING TWO OPEN END WALLS AND HAVING NO SEPARATE END PLATES OR SEPARATE END WALLS. THE UNIT SHALL FIT INTO THE SIDE PORTALS OF THE CULTEC RECHARGER STORMWATER CHAMBER AND ACT AS CROSS FEED CONNECTIONS CREATING AN INTERNAL MANIFOLD.
 - THE CHAMBER SHALL BE DESIGNED TO WITHSTAND TRAFFIC LOADS WHEN INSTALLED ACCORDING TO CULTEC'S RECOMMENDED INSTALLATION INSTRUCTIONS.
 - THE CHAMBER SHALL BE MANUFACTURED IN AN ISO 9001:2015 CERTIFIED FACILITY.
- CULTEC NO. 410™ NON-WOVEN GEOTEXTILE**
 CULTEC NO. 410™ NON-WOVEN GEOTEXTILE MAY BE USED WITH CULTEC CONTACTOR® AND RECHARGER® STORMWATER INSTALLATIONS TO PROVIDE A BARRIER THAT PREVENTS SOIL INTRUSION INTO THE STONE.
- GEOTEXTILE PARAMETERS**
- THE GEOTEXTILE SHALL BE PROVIDED BY CULTEC, OF BROOKFIELD, CT. (203-775-4416 OR 1-800-428-5832)
 - THE GEOTEXTILE SHALL BE BLACK IN APPEARANCE.
 - THE GEOTEXTILE SHALL HAVE A TYPICAL WEIGHT OF 4.5 OZ/SY (142 G/M).
 - THE GEOTEXTILE SHALL HAVE A TENSILE STRENGTH VALUE OF 120 LBS (533 N) PER ASTM D4632 TESTING METHOD.
 - THE GEOTEXTILE SHALL HAVE AN ELONGATION @ BREAK VALUE OF 50% PER ASTM D4632 TESTING METHOD.
 - THE GEOTEXTILE SHALL HAVE A MULLEN BURST VALUE OF 225 PSI (1551 KPA) PER ASTM D3786 TESTING METHOD.
 - THE GEOTEXTILE SHALL HAVE A PUNCTURE STRENGTH VALUE OF 65 LBS (289 N) PER ASTM D4833 TESTING METHOD.
 - THE GEOTEXTILE SHALL HAVE A CBR PUNCTURE VALUE OF 340 LBS (1513 N) PER ASTM D6241 TESTING METHOD.
 - THE GEOTEXTILE SHALL HAVE A TRAPEZOIDAL TEAR VALUE OF 50 LBS (222 N) PER ASTM D4533 TESTING METHOD.
 - THE GEOTEXTILE SHALL HAVE A AOS VALUE OF 70 U.S. SIEVE (0.212 MM) PER ASTM D4751 TESTING METHOD.
 - THE GEOTEXTILE SHALL HAVE A PERMITTIVITY VALUE OF 1.7 SEC-1 PER ASTM D4491 TESTING METHOD.
 - THE GEOTEXTILE SHALL HAVE A WATER FLOW RATE VALUE OF 135 GAL/MIN/SF (5500 LPM/M²) PER ASTM D491 TESTING METHOD.
 - THE GEOTEXTILE SHALL HAVE A UV STABILITY @ 500 HOURS VALUE OF 70% PER ASTM D4355 TESTING METHOD.

- CULTEC AFAB-HPF™ WOVEN GEOTEXTILE**
 CULTEC AFAB-HPF WOVEN GEOTEXTILE IS DESIGNED AS AN UNDERLAYMENT TO PREVENT SCOURING CAUSED BY WATER MOVEMENT WITHIN THE CULTEC CHAMBERS AND FEED CONNECTORS UTILIZING THE CULTEC MANIFOLD FEATURE. IT MAY ALSO BE USED AS A COMPONENT OF THE CULTEC SEPARATOR ROW TO ACT AS A BARRIER TO PREVENT SOIL/CONTAMINANT INTRUSION INTO THE STONE WHILE ALLOWING FOR MAINTENANCE AND TSS REMOVAL.
- GEOTEXTILE PARAMETERS**
- THE GEOTEXTILE SHALL BE PROVIDED BY CULTEC, OF BROOKFIELD, CT. (203-775-4416 OR 1-800-428-5832)
 - THE GEOTEXTILE SHALL BE BLACK AND WHITE IN APPEARANCE.
 - THE GEOTEXTILE SHALL HAVE A TENSILE STRENGTH OF 320 X 320 LBS (1,420 X 1,420 N) PER ASTM D4632 TESTING METHOD.
 - THE GEOTEXTILE SHALL HAVE AN ELONGATION @ BREAK RESISTANCE OF 15 X 15% PER ASTM D4632 TESTING METHOD.
 - THE GEOTEXTILE SHALL HAVE A WIDE WIDTH TENSILE RESISTANCE OF 3,563 X 3,563 LBS/FT (52 X 52 KN/M) PER ASTM D4595 TESTING METHOD.
 - THE GEOTEXTILE SHALL HAVE A CBR PUNCTURE RESISTANCE OF 1,500 LBS (6,670 N) PER ASTM D6241 TESTING METHOD.
 - THE GEOTEXTILE SHALL HAVE A TRAPEZOIDAL TEAR RESISTANCE OF 120 X 120 LBS (540 X 540 N) PER ASTM D4533 TESTING METHOD.
 - THE GEOTEXTILE SHALL HAVE AN APPARENT OPENING SIZE OF 30 US STD. SIEVE (0.60 MM) PER ASTM D4751 TESTING METHOD.
 - THE GEOTEXTILE SHALL HAVE A PERMITTIVITY RATING OF 0.2 SEC-1 PER ASTM D4491 TESTING METHOD.
 - THE GEOTEXTILE SHALL HAVE A WATER FLOW RATING OF 22 GPM/FT² (900 LPM/M²) PER ASTM D491 TESTING METHOD.
 - THE GEOTEXTILE SHALL HAVE A UV RESISTANCE OF 70% @ 500 HRS. PER ASTM D4355 TESTING METHOD.

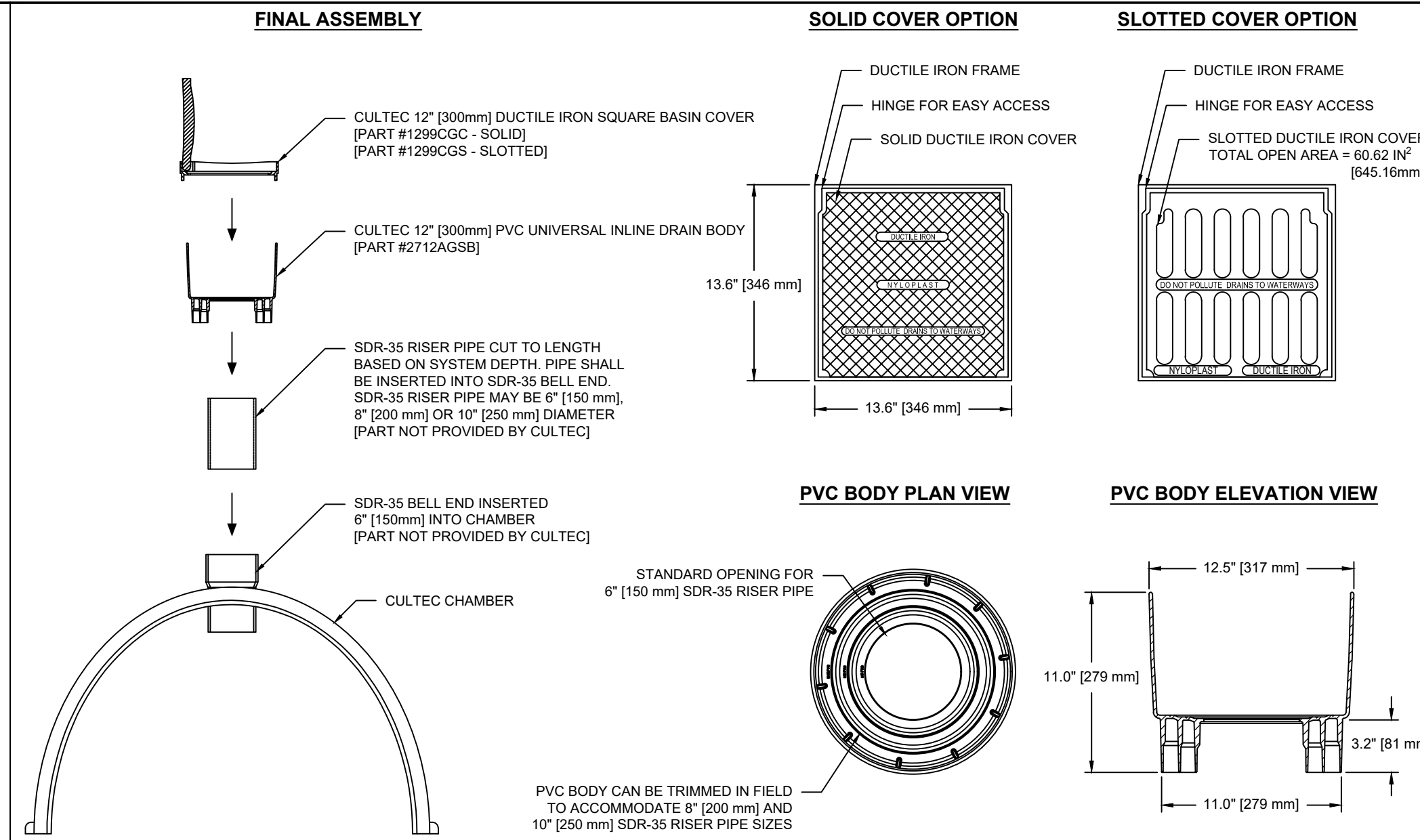
- END CAP PARAMETERS**
- THE CULTEC RECHARGER® 300HD END CAP (REFERRED TO AS 'END CAP') SHALL BE MANUFACTURED IN THE U.S.A. BY CULTEC, OF BROOKFIELD, CT (CULTEC.COM, 203-775-4416).
 - THE END CAP SHALL BE INJECTION MOLDED OF BLUE VIRGIN IMPACT-MODIFIED POLYETHYLENE COPOLYMERS.
 - THE END CAP SHALL BE ARCHED IN SHAPE.
 - THE END CAP SHALL BE JOINED AT THE BEGINNING AND END OF EACH ROW OF CHAMBERS USING AN INTERLOCKING OVERLAPPING RIB METHOD. CONNECTIONS MUST BE FULLY SHOULDERED OVERLAPPING RIBS, HAVING NO SEPARATE COUPLINGS.
 - THE NOMINAL DIMENSIONS OF THE END CAP SHALL BE 29.3 INCHES (744 MM) TALL, 45.9 INCHES (1166 MM) WIDE AND 12.2 INCHES (310 MM) LONG. WHEN JOINED WITH A RECHARGER 300HD CHAMBER, THE INSTALLED LENGTH OF THE END CAP SHALL BE 9.6 INCHES (244 MM). THE NOMINAL STORAGE VOLUME OF THE END CAP SHALL BE 3.32 FT³ / FT (0.31 M³ / M) - WITHOUT STONE. THE NOMINAL STORAGE VOLUME OF AN INTERLOCKED END CAP SHALL BE 2.66 FT³ / UNIT (0.08 M³ / UNIT) - WITHOUT STONE.
 - MAXIMUM INLET OPENING ON THE END CAP IS 24 INCHES (600 MM) HDPE.
 - THE CHAMBER SHALL BE MANUFACTURED IN A FACILITY EMPLOYING CULTEC'S QUALITY CONTROL AND ASSURANCE PROCEDURES.
 - THE END CAP SHALL PROVIDE RESISTANCE TO THE LOADS AND LOAD FACTORS AS DEFINED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS SECTION 12.12.

GENERAL NOTES

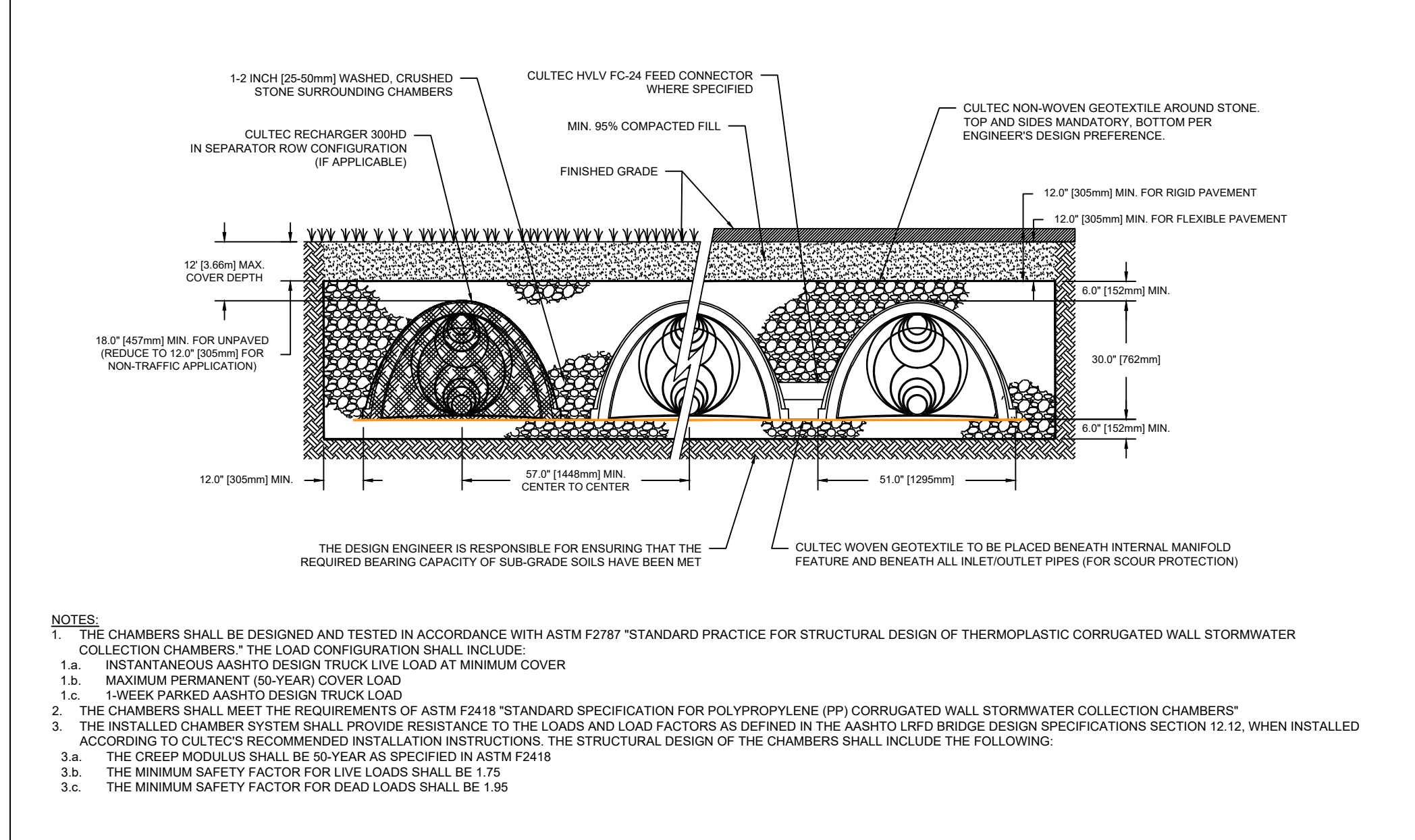
PIPE	A	B
6" [150 mm]	18.50" [470 mm]	0.50" [13 mm]
8" [200 mm]	16.50" [420 mm]	0.75" [20 mm]
10" [250 mm]	14.50" [369 mm]	1.00" [26 mm]
12" [300 mm]	12.50" [318 mm]	1.25" [32 mm]
15" [375 mm]	9.00" [229 mm]	1.50" [38 mm]
18" [450 mm]	5.00" [127 mm]	1.75" [45 mm]
24" [600 mm]	N/A	2.50" [64 mm]

*THE TYPICAL INVERT TABLE ABOVE IS BASED ON THE INSIDE DIAMETER OF STANDARD CORRUGATED PLASTIC PIPE. THE HEAVY DUTY END CAP HAS PRE-MARKED TRIM LINES FOR PIPE DIAMETERS 6" (150mm), 8" (200mm), 10" (250mm), 12" (300mm), 15" (375mm), 18" (450mm) AND 24" (600mm). PIPES OF ANY SIZE AND MATERIAL, UP TO 24" (600mm) MAY BE PLACED AT CUSTOM LOCATIONS AND CUSTOM INVERTS. THE CROWN OF THE PIPE MUST REMAIN A MINIMUM OF 3" (75mm) FROM THE EDGE OF THE HEAVY DUTY END CAP.

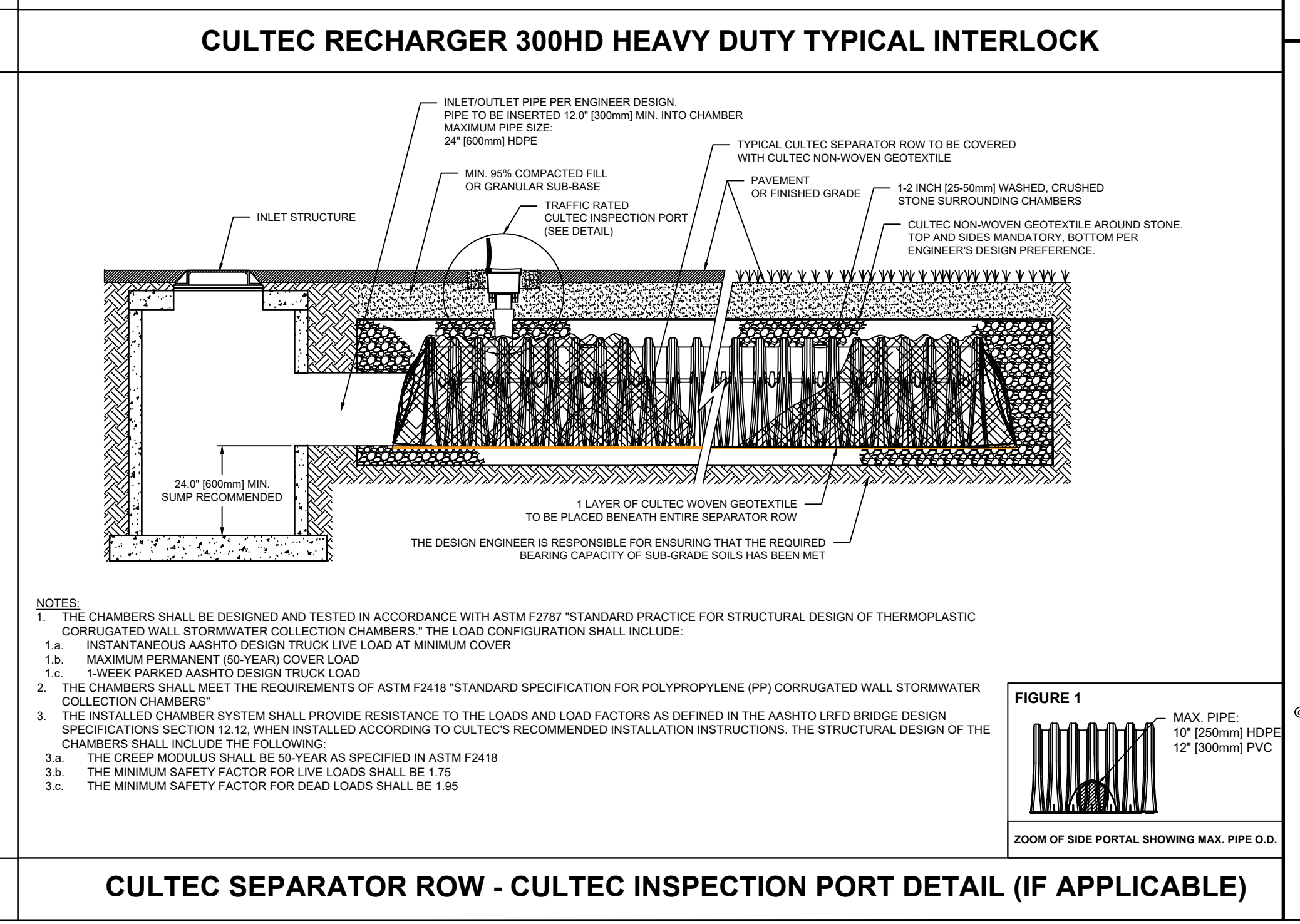
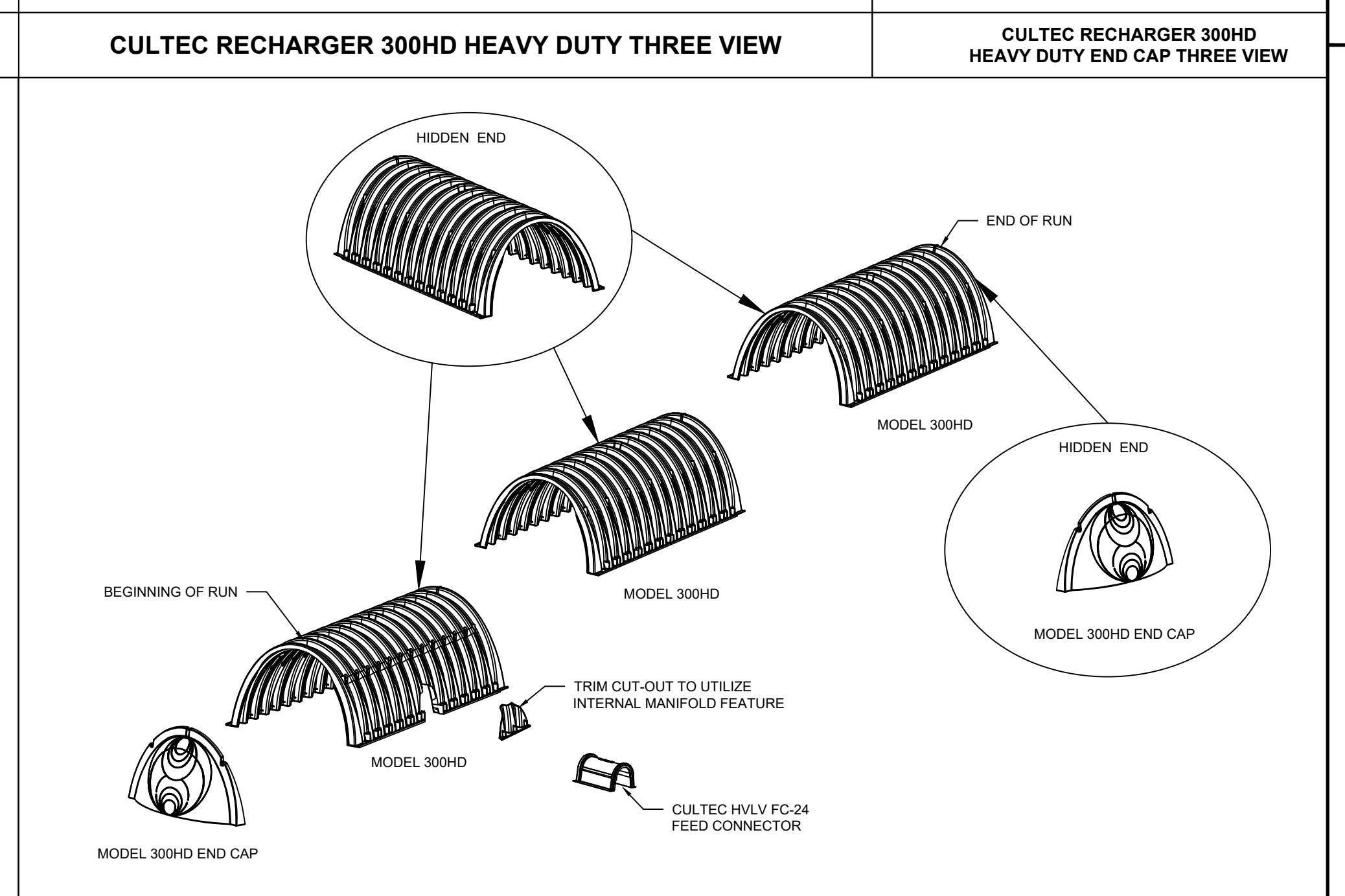
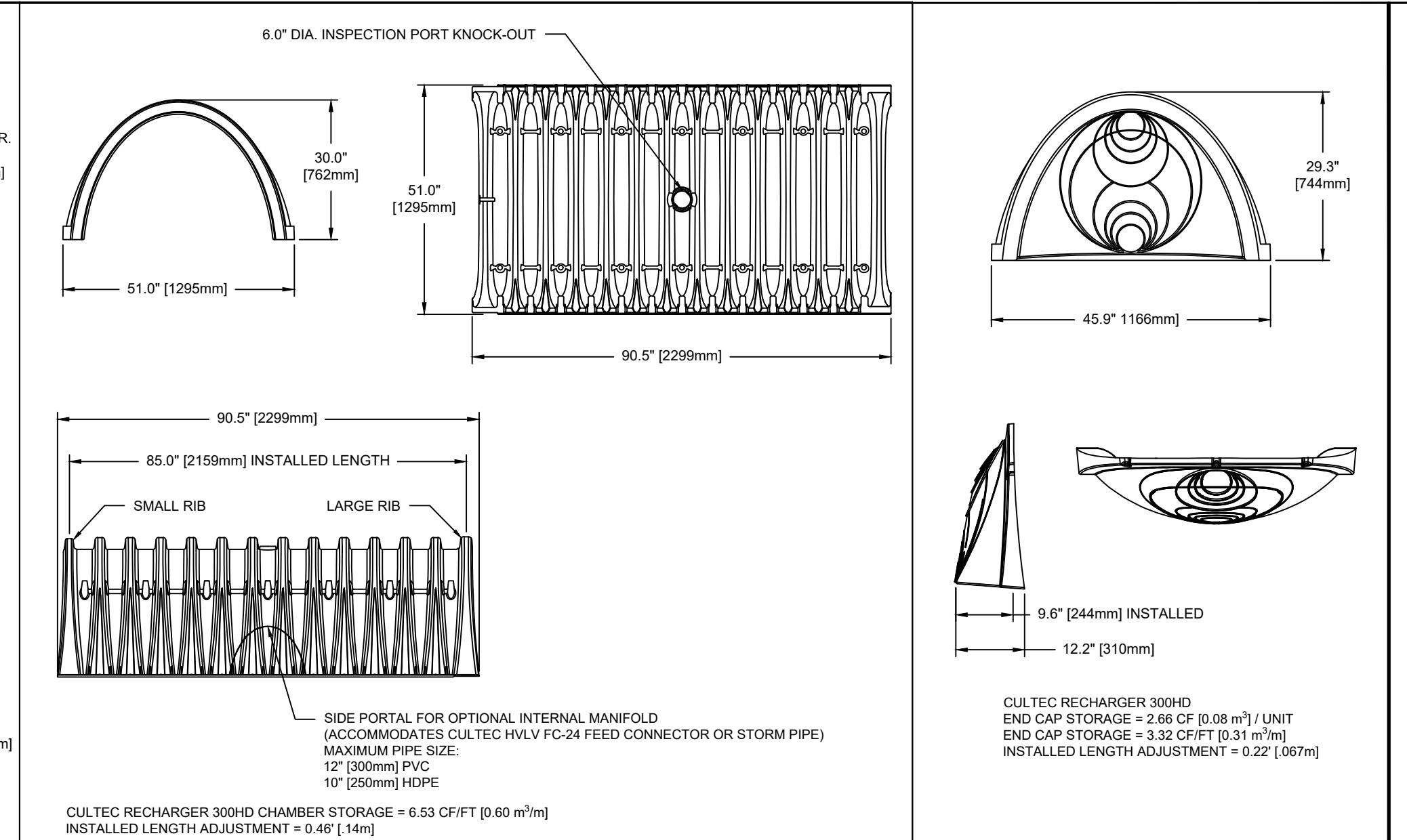
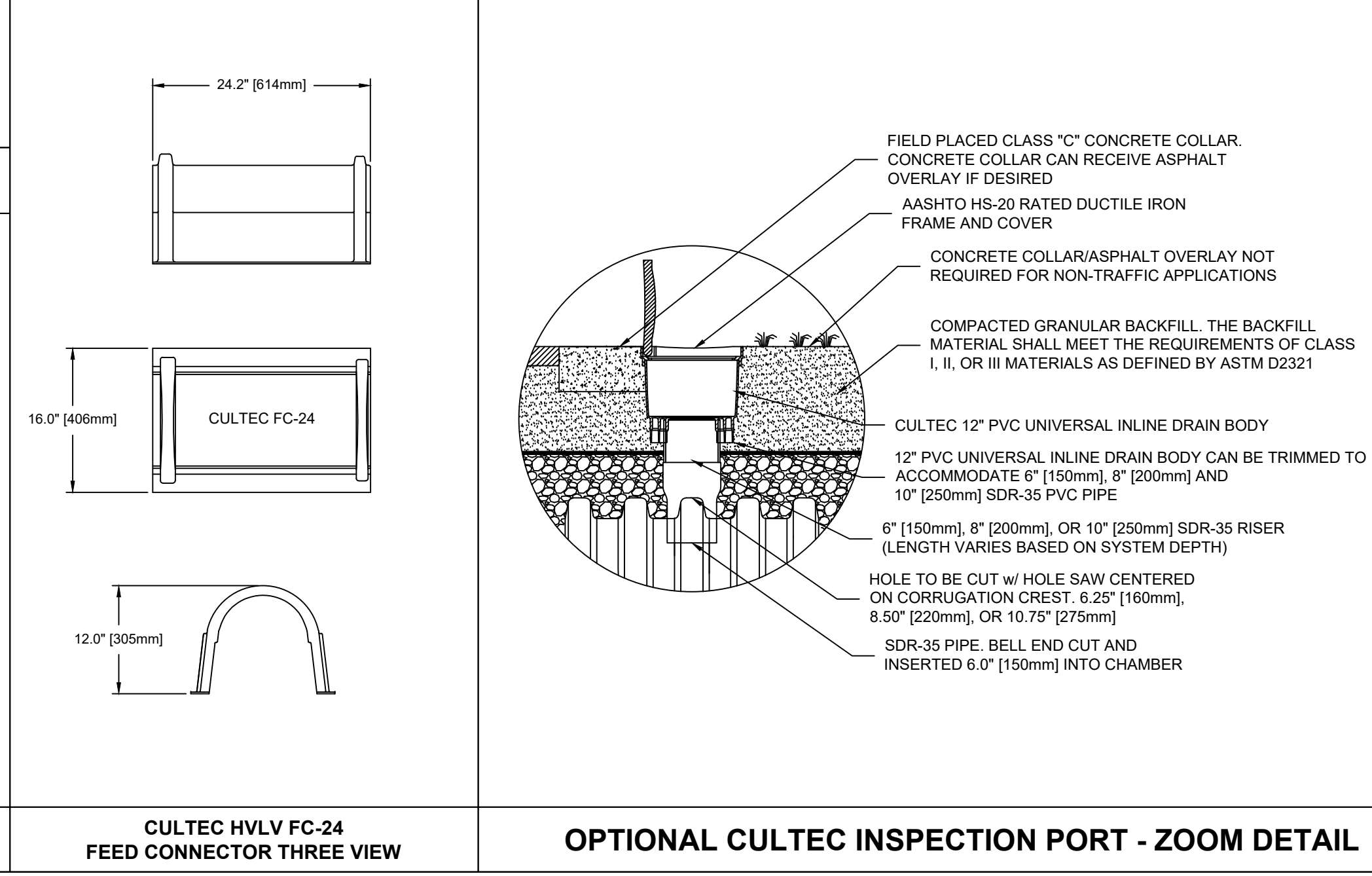
CULTEC RECHARGER 300HD TYPICAL PIPE INVERTS



CULTEC UNIVERSAL INSPECTION PORT KIT DETAIL



CULTEC RECHARGER 300HD HEAVY DUTY CROSS SECTION



CULTEC STORMWATER CHAMBER

DATE: 06/2024
 CHECKED BY: DPG
 SHEET NO.: 1 OF 1

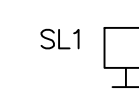
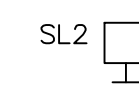
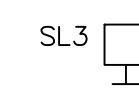
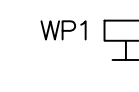

RECHARGER 300HD

PROJECT NO.:
 DESIGNED BY: TECH
 SCALE: N.T.S.

CULTEC
 Subsurface Stormwater Management Systems
 P.O. Box 280
 878 Federal Road
 Brookfield, CT 06804
 www.cultec.com
 PH: 1(203) 775-4416
 PH: 1(800) 4-CULTEC
 CT-tech@cultec.com

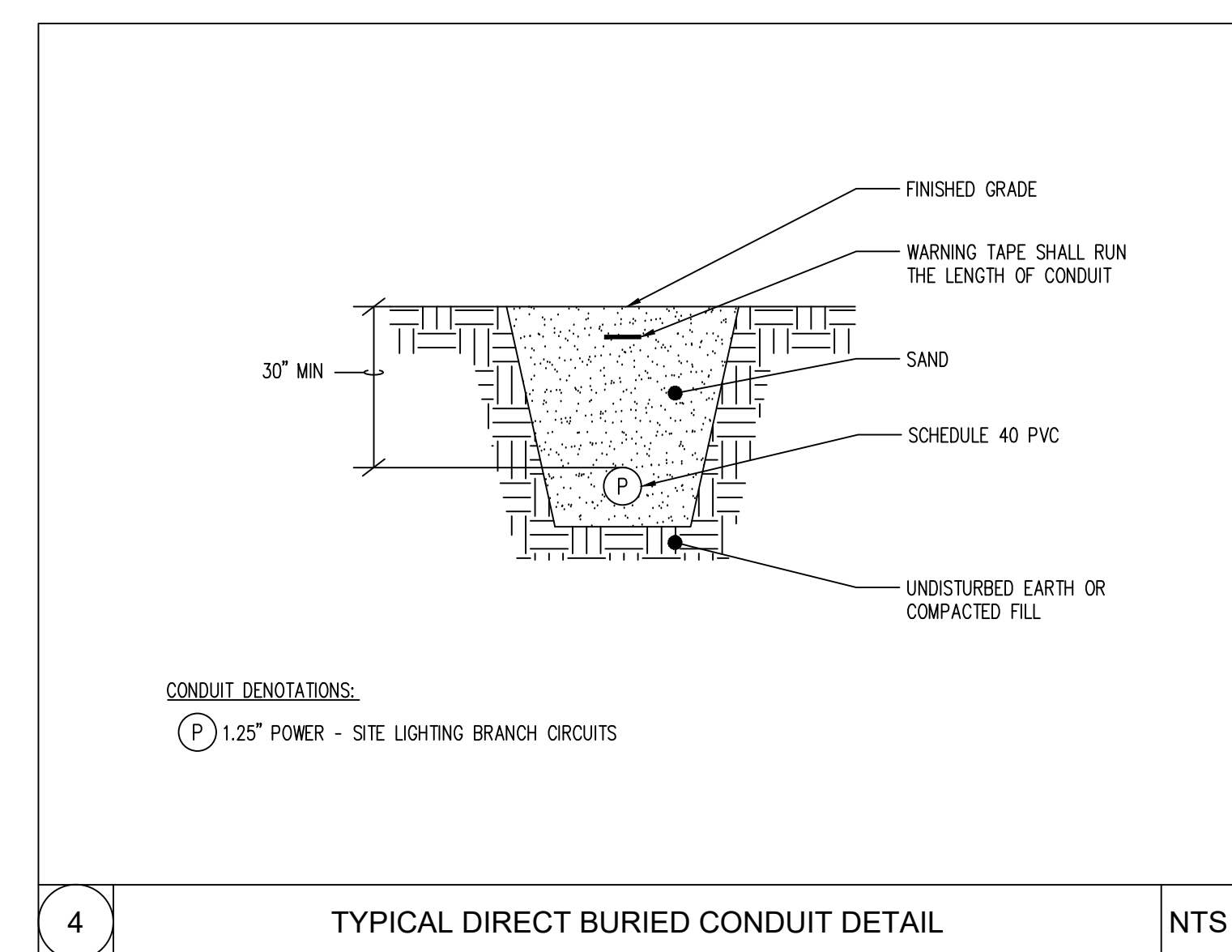
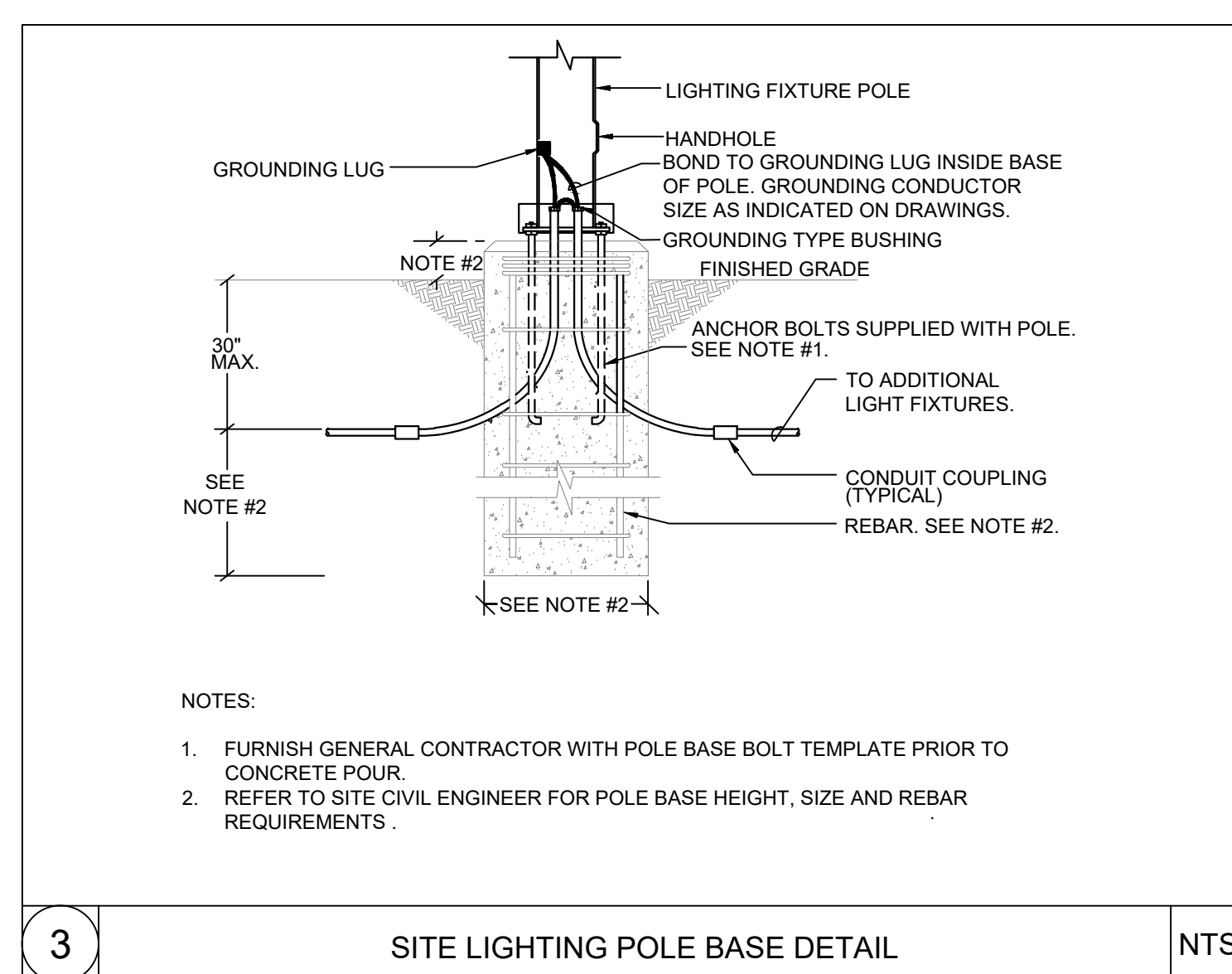
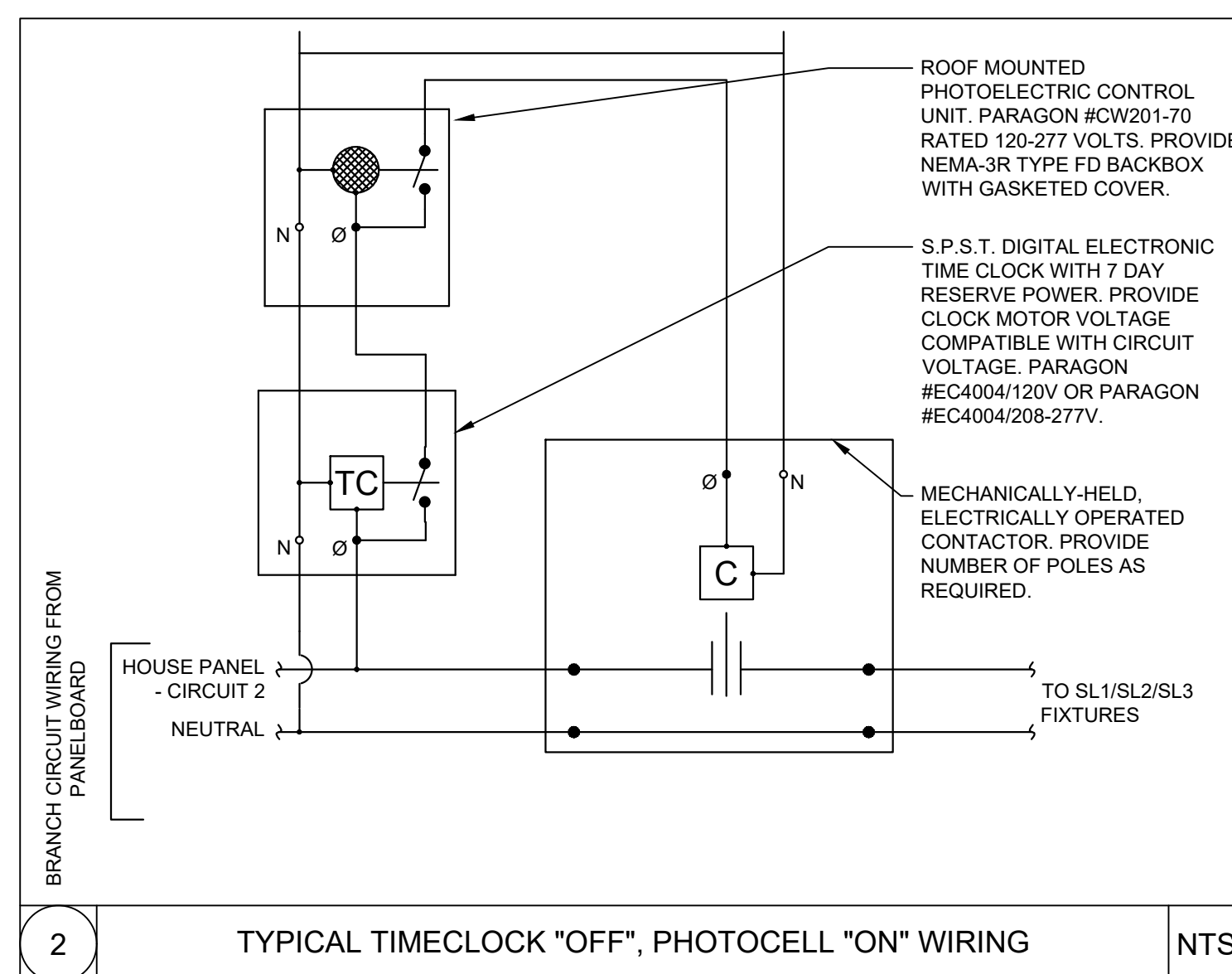
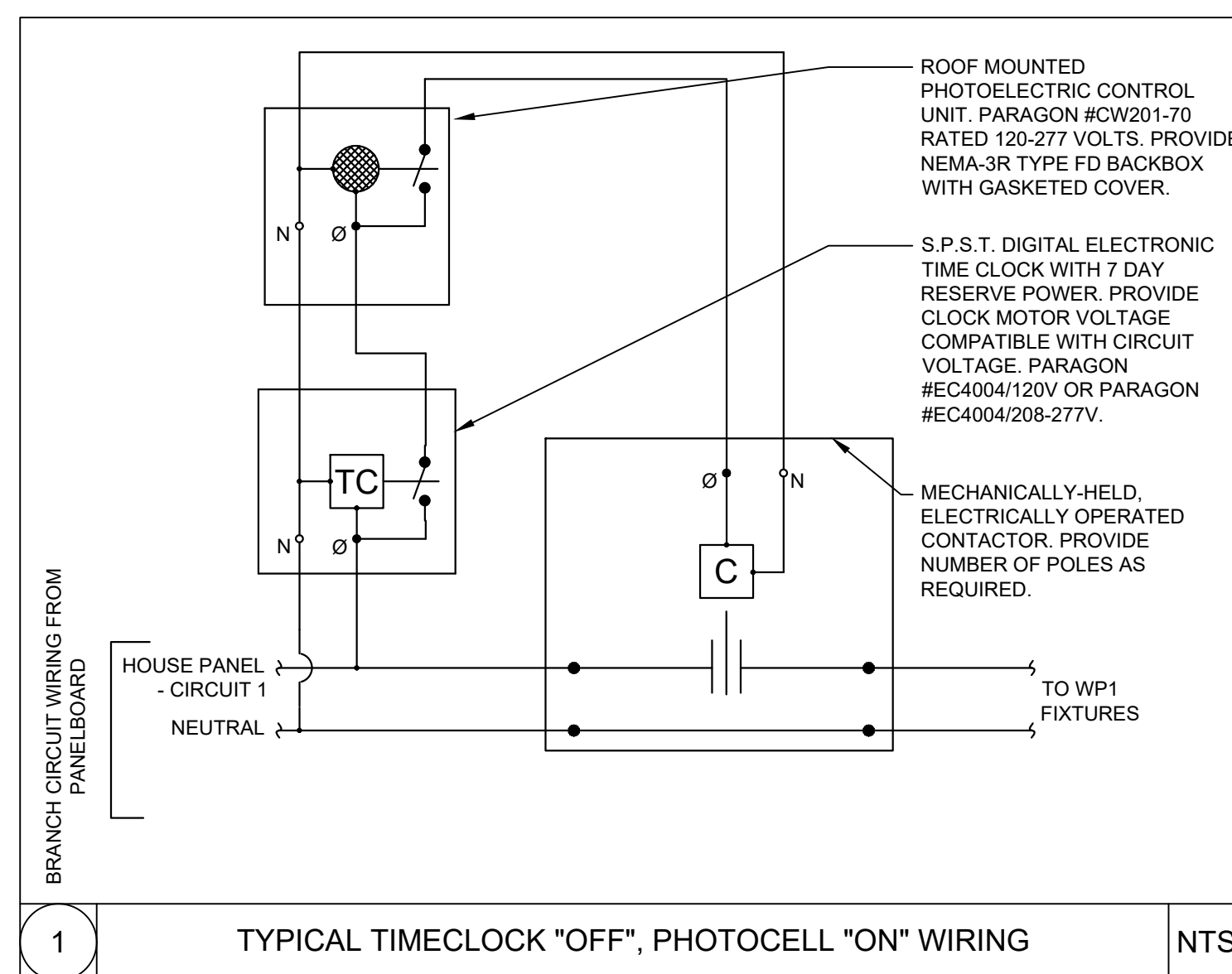
THIS DRAWING IS THE PROPERTY OF CULTEC. IT IS TO BE USED ONLY FOR THE PROJECT AND LOCATION SPECIFICALLY IDENTIFIED HEREON. CULTEC ASSUMES NO LIABILITY FOR ANY ERRORS OR OMISSIONS. THE DESIGN ENGINEER HAS BEEN PREPARED BASED ON INFORMATION PROVIDED TO CULTEC UNDER THE DIRECTION OF THE PROJECT ENGINEER OR RECORD DRAWING ENGINEER. CULTEC SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS. THE DESIGN ENGINEER SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT. CULTEC SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS. THE DESIGN ENGINEER SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT.

PLAN SYMBOLS - ELECTRICAL

- SL1  SITE LIGHTING LUMINAIRE TYPE SL1 AND POLE LUMINAIRE SHALL BE BEACON #VP-1-160L-35-3K7-4W-HSS-90-B POLE SHALL BE BEACON #RSS-B-9/11-4-A-1-UDP-RBC
- SL2  SITE LIGHTING LUMINAIRE TYPE SL2 AND POLE LUMINAIRE SHALL BE BEACON #VP-1-160L-35-3K7-50W POLE SHALL BE BEACON #RSS-B-9/11-4-A-1-UDP-RBC
- SL3  SITE LIGHTING LUMINAIRE TYPE SL3 AND POLE LUMINAIRE SHALL BE BEACON #VP-1-160L-35-3K7-3-BC POLE SHALL BE BEACON #RSS-B-9/11-4-A-1-UDP-RBC
- WP1  WALL PACK LUMINAIRE TYPE WP1 LUMINAIRE SHALL BE BEACON #OSP1-24L-20-3K7-3-UNV MOUNTED AT 10-FT AFG
- HH  HANDHOLE - PROVIDE QUANTITY AND LOCATIONS AS NEEDED. HUBBELL QUAZITE TYPE SIZED AND RATED AS REQUIRED

ELECTRICAL SITE PLAN NOTES

1. CONTRACTOR SHALL COORDINATE SITE POLE LAYOUTS, HANDHOLE LOCATIONS AND CONDUIT RUNS WITH CIVIL DRAWINGS.
2. ALL CONDUITS PENETRATING INTO THE BUILDING SHALL BE SEALED WITH THRU-WALL FITTINGS.
3. ALL SITE LIGHTING POLE FIXTURES SHALL BE PROVIDED WITH CONCRETE BASES AND WITH MINIMUM 2#10 & 1#10G IN 1 1/4" C. FOR BRANCH CIRCUIT WIRING.
4. CONCRETE BASES SHALL BE PROVIDED FOR ALL SITE POLES. COORDINATE BASES SIZES WITH POLE BOLT LAYOUT FROM POLE MANUFACTURER. CONCRETE BASES SHALL BE 12" ABOVE FINISHED GRADE (AFG) IN NON-DRIVING AREAS AND 36" AFG IN DRIVING AREAS AS NOTED ON SITE PLAN.
5. CONTRACTOR SHALL PROVIDE HANDHOLES AS REQUIRED FOR EXTERIOR UNDERGROUND BRANCH CIRCUIT WIRING. HANDHOLES SHALL BE RATED FOR VEHICLE TRAFFIC PER FIELD CONDITIONS AND SIZED AS REQUIRED.
6. ALL MATERIALS UNDERGROUND SHALL BE NON-METALLIC TYPE INCLUDING ALL ACCESSORIES AND HARDWARE. CONDUIT SHALL BE SCHEDULE 40 PVC DIRECT BURIED IN DEPTHS AS REQUIRED PER THE NATIONAL ELECTRIC CODE. PROVIDE COMPACTED CLEAN FILL FOR DIRECT BURIED TRENCHES.
7. SITE LIGHTING POLE FIXTURES AND WALLPACK FIXTURES SHALL BE CONTROLLED BY A TIMECLOCK/PHOTOCELL. PROVIDE 24/7 PROGRAMMABLE DIGITAL TIMECLOCK AND PHOTOCELL MOUNTED ON BUILDING. PROVIDE SEPARATE CONTROL FOR SITE POLE LIGHTING (FIXTURES SL1/SL2/SL3) AND FOR BUILDING WALLPACK FIXTURES (WP1) TO ALLOW DIFFERENT SCHEDULE CONTROL. TIMECLOCK/PHOTOCELL CONTROL SHALL BE PHOTOCELL-ON; AND TIMECLOCK-OFF CONTROL. REFER TO DETAIL ON THIS DRAWING.
8. THE CONTRACTOR SHALL FURNISH LABOR, MATERIALS, TOOLS AND OTHER EQUIPMENT REQUIRED TO INSTALL THE WORK SHOWN AND SPECIFIED. THE CONTRACTOR SHALL FURNISH AND INSTALL ITEMS NECESSARY FOR A COMPLETE ELECTRICAL SYSTEM. MATERIALS SHALL BE NEW AND SHALL BEAR THE REGISTERED UL MARK. WORK SHALL CONFORM WITH THE NATIONAL FIRE PROTECTION ASSOCIATION STANDARD 70 (NEC), THE NATIONAL ELECTRICAL CODE (NEC), AND APPLICABLE FEDERAL, STATE AND LOCAL CODES. CONTRACTOR SHALL SECURE PERMITS AND PAY THE FEES REQUIRED TO CARRY OUT HIS WORK. THE CONTRACTOR SHALL FURNISH COPIES OF CERTIFICATES AND PERMITS TO THE ENGINEER AND OWNER.




PROJECT: **166 SPRING STREET
PROPOSED IMPROVEMENTS**

DESIGN SUBMISSION: **PERMIT SUBMISSION**

DRAWING TITLE: **ELECTRICAL LEGEND & NOTES**

PREPARED FOR: **MACCLM
344 LOWELL
LEXINGTON, MASSACHUSETTS**

PREPARED BY:  **BCD DESIGN GROUP
ISAM HIJAZI
617-799-1133**

SCALE: AS NOTED

DESIGNED BY: MT

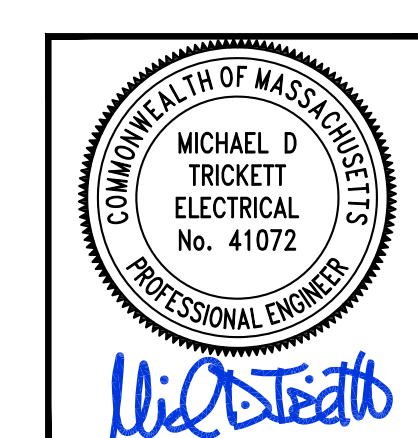
DATE: 12/20/2024

DRAWN BY: MT

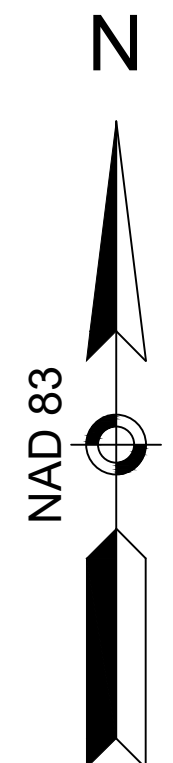
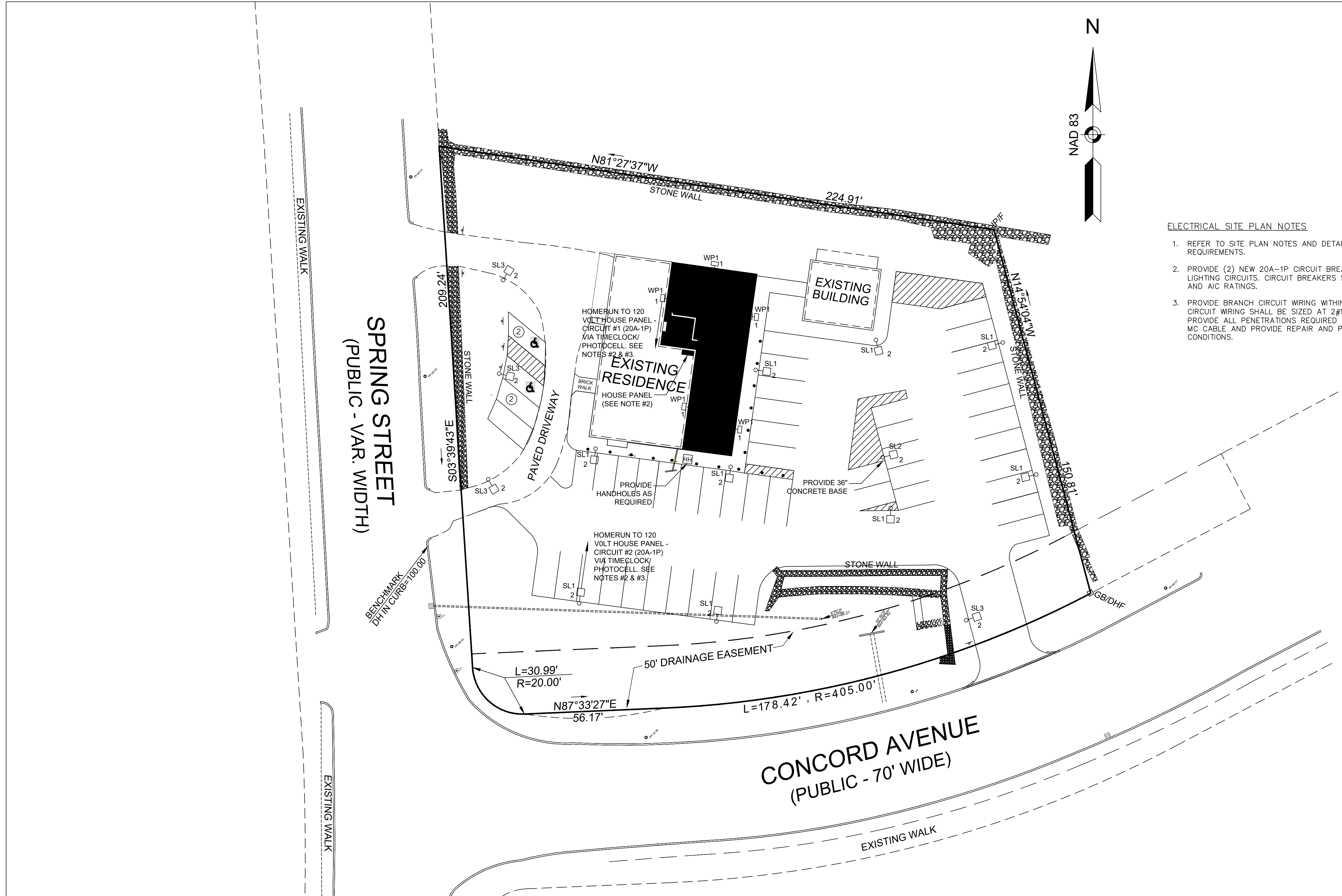
PROJECT NO. 24-001

CHECKED BY: MT

SHEET NO. **E1 OF 3**

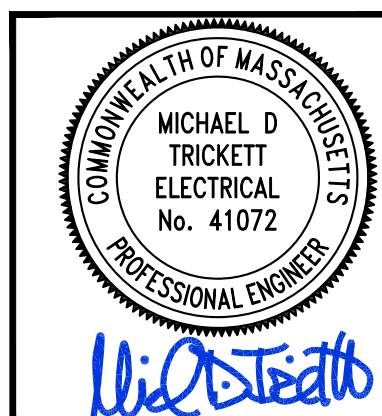
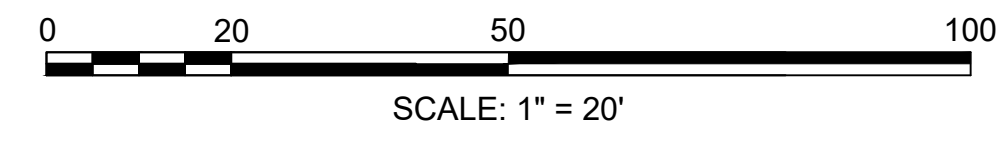


NO.	DATE	REVISIONS




ELECTRICAL SITE PLAN NOTES

1. REFER TO SITE PLAN NOTES AND DETAILS ON DRAWING E1 FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
2. PROVIDE (2) NEW 20A-1P CIRCUIT BREAKERS IN EXISTING HOUSE PANEL TO FEED NEW SITE LIGHTING CIRCUITS. CIRCUIT BREAKERS SHALL MATCH THE EXISTING CIRCUIT BREAKERS IN TYPE AND AIC RATINGS.
3. PROVIDE BRANCH CIRCUIT WIRING WITHIN THE BUILDING CONSISTING OF TYPE MC CABLE. BRANCH CIRCUIT WIRING SHALL BE SIZED AT 2#10 & 1#10 G. - 3/4" C. INSTALL MC CABLE PER CODE. PROVIDE ALL PENETRATIONS REQUIRED IN THE EXISTING STRUCTURE TO INSTALL AND ROUTE THE MC CABLE AND PROVIDE REPAIR AND PATCHING OF ALL PENETRATIONS TO MATCH EXISTING CONDITIONS.

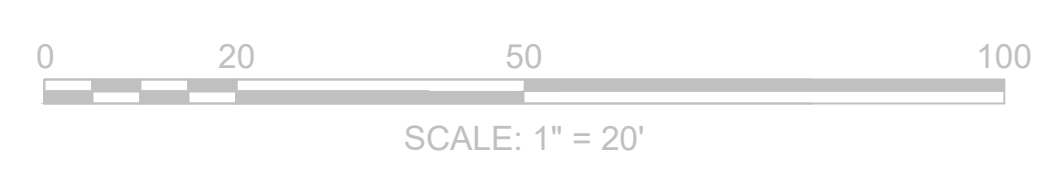


NO.	DATE	REVISIONS

PROJECT: 166 SPRING STREET PROPOSED IMPROVEMENTS		
DESIGN SUBMISSION: PERMIT SUBMISSION		
DRAWING TITLE: ELECTRICAL SITE PLAN		
PREPARED FOR: MACCLM 344 LOWELL LEXINGTON, MASSACHUSETTS		
PREPARED BY:		
 BCD DESIGN GROUP ISAM HIJAZI 617-799-1133		SCALE: AS NOTED DATE: 12/20/2024 PROJECT NO.: 24-001
DESIGNED BY: MT	DRAWN BY: MT	SHEET NO. E2 OF 3
CHECKED BY: MT	PROJECT NO.: 24-001	



Symbol	Qty	Label	Arrangement	LLF	Description	Lum. Watts	Lum. Lumens
SL1	9	SL1	SINGLE	1.000	VP-1-160L-35-3K7-4W-HSS-90-B	35	4623
SL2	1	SL2	SINGLE	1.000	VP-1-160L-35-3K7-50W	35	4936
SL3	4	SL3	SINGLE	1.000	VP-1-160L-35-3K7-3-BC	36.8	3643




PROJECT: 166 SPRING STREET
PROPOSED IMPROVEMENTS

DESIGN SUBMISSION:
PERMIT SUBMISSION

DRAWING TITLE:
PHOTOMETRICS PLAN

PREPARED FOR:
MACCLM
344 LOWELL
LEXINGTON, MASSACHUSETTS

PREPARED BY:



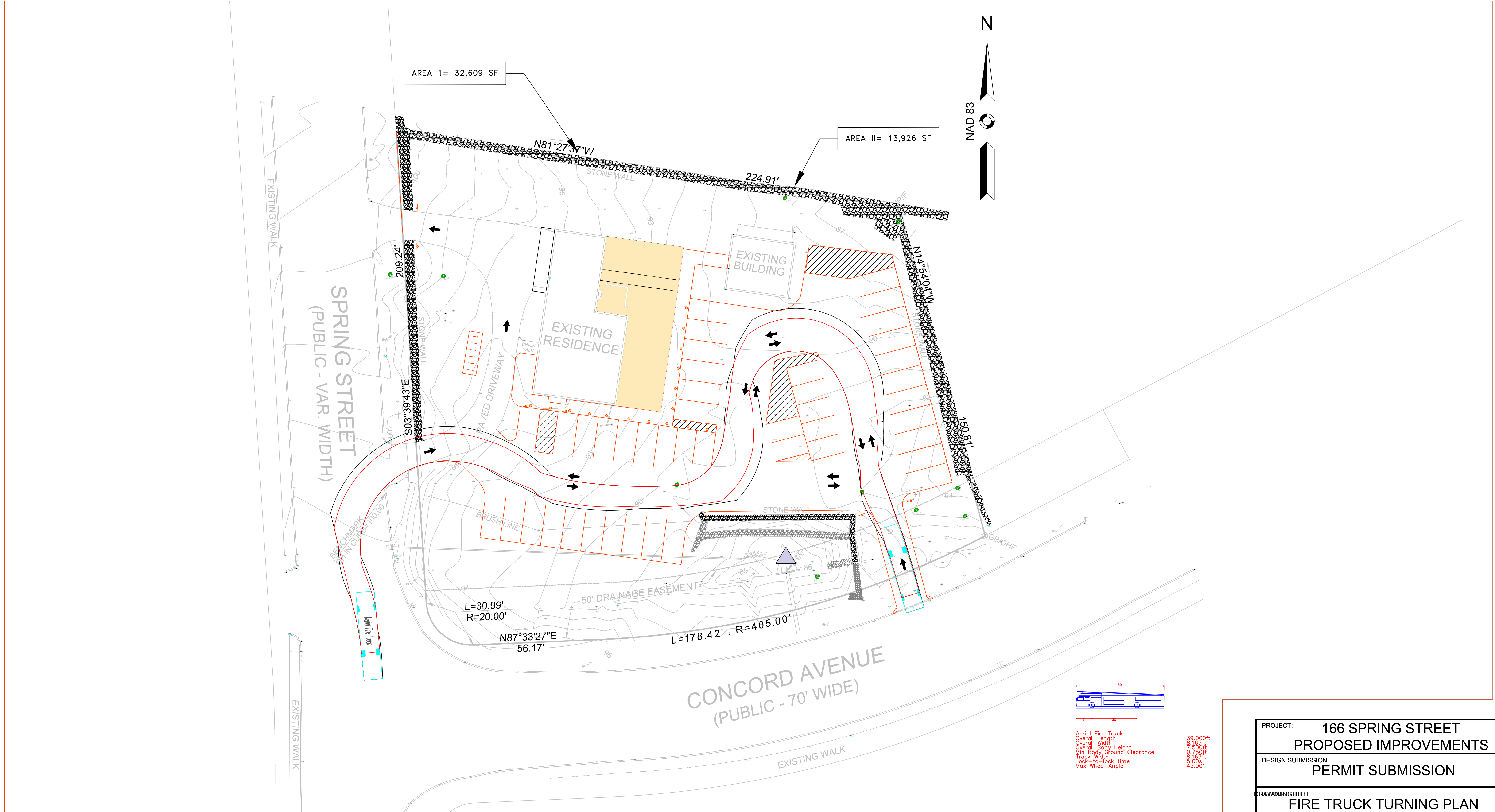
BCD DESIGN GROUP
ISAM HIJAZI
617-799-1133

SCALE: AS NOTED
DATE: 12/20/2024
PROJECT NO. 24-001

DESIGNED BY: MT
DRAWN BY: MT
CHECKED BY: MT

SHEET NO.
E3 OF 3

NO.	DATE	REVISIONS




PROJECT: 166 SPRING STREET
PROPOSED IMPROVEMENTS

DESIGN SUBMISSION:
PERMIT SUBMISSION

PREPARED FOR:
FIRE TRUCK TURNING PLAN

PREPARED FOR:
MACCLM
344 LOWELL
LEXINGTON, MASSACHUSETTS

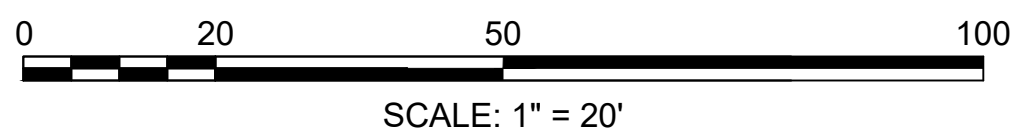
PREPARED BY:



BCD DESIGN GROUP
 ISAM HJAZI
 617-799-1133

SCALE: AS NOTED	DESIGNED BY: EY	SHEET NO. F1 OF
DATE: 1/24/2024	DRAWN BY: EY	
PROJECT NO. 24-001	CHECKED BY: IH	

NO.	DATE	REVISIONS





TOWN OF LEXINGTON
PLANNING OFFICE

1625 Massachusetts Avenue
 Lexington, Massachusetts 02420
 Tel: 781-698-4560
planning@lexingtonma.gov
www.lexingtonma.gov/planning

Abby McCabe, Planning Director
 Meghan McNamara, Assistant Director
 Aaron Koepper, Planner
 Carolyn Morrison, Planning Coordinator

To: Planning Board Members

From: Aaron Koepper, Planner

Re: Project Review for 166 Spring Street: Limited Site Plan Review

Date: February 20, 2025

Property Information	
Project Address	166 Spring Street
Parcel ID	Map 12, Lot 8B
Permit #	PLAN-5
Applicant/Owner Name	Isam Hijazi on behalf of the Muslim American Community Center of Lexington, Massachusetts
Type of Review	Limited Site Plan Review
Zoning District	RO – Single Family
Property Size	49,602 square feet or 1.14 acres
Existing Conditions	The lot currently holds one (1) single family house, an attached garage with a paved driveway, and one (1) stand-alone brick building located behind the house. Majority of landscaping and vegetation on the lot has been cleared; some tree growth is present around the periphery of the property. Located at the corner of Spring Street and Concord Avenue.
Environmental Conditions	The property is within Surface Water Protection Zones B and C. There is wetland resource area on this site and needs to be evaluated by a professional wetland scientist for delineating the resource areas on and near the site to determine next steps with the Conservation Commission. Based on aerial imagery, significant tree cutting was preformed on the site within the last year.

Important Dates/Timelines	
Public Meeting	February 26, 2025
Filed with Town Clerk	February 5, 2025
Decision Deadline 150 days following submittal to Town Clerk	July 5, 2025

Approval Information	
Action Required at Decision Deadline	The Planning Board may approve an application subject to such reasonable conditions as may be necessary or appropriate to:

	<ol style="list-style-type: none"> 1. Enforce compliance with substantive requirements of this chapter, unless waived; and 2. Protect the health, safety, convenience, and general welfare of the inhabitants of the Town of Lexington.
Applicability	Site plan review of uses protected under § 135-9.5.6 shall require only limited review. Site plan review shall be limited in such circumstances to the imposition of reasonable regulations concerning the bulk and height of structures, yard sizes, lot area, setbacks, open space, off-street parking, and building coverage requirements.
Waivers	No waivers are requested.

Project Summary	
<p>The proposed project would typically fall under a major site plan review, but because of the religious use of the site, the project is subject to only a limited site plan review due to the Dover Amendment (MGL Chapter 40A, Section 3) which prohibits the regulation or restriction of land or structures used for religious or educational purposes apart from:</p> <ul style="list-style-type: none"> • Bulk and height of structures • Lot area • Yard size and setbacks • Open space • Parking • Building coverage • Stormwater management, pursuant to §181 consolidated into the Planning Board’s Site Plan Review approval <p>A limited site plan review is allowable but must not regulate beyond the bulleted list above.</p> <p>The Applicant proposes changing the use of the existing single family to a place of worship / community building with exterior parking for forty-six (46) cars, as well as two (2) ADA accessible, totaling forty-eight (48) spaces. The applicant proposes the constructing of two (2) ADA ramps, a second means of egress, and an emergency exit on the building, as well as the installation of subsurface stormwater management systems, lighting, site grading, a bicycle rack and stone walls.</p> <p>Project narrative references future two (2) story building expansion without affecting the existing structure, but plans show a large increase in building footprint. Applicant may need to return to the Planning Board for future expansion if they plan to change expand the existing building structure beyond what is shown for the future addition.</p>	

Site Photos

Photo 1: GIS Map showing 166 Spring Street lot and surrounding area.

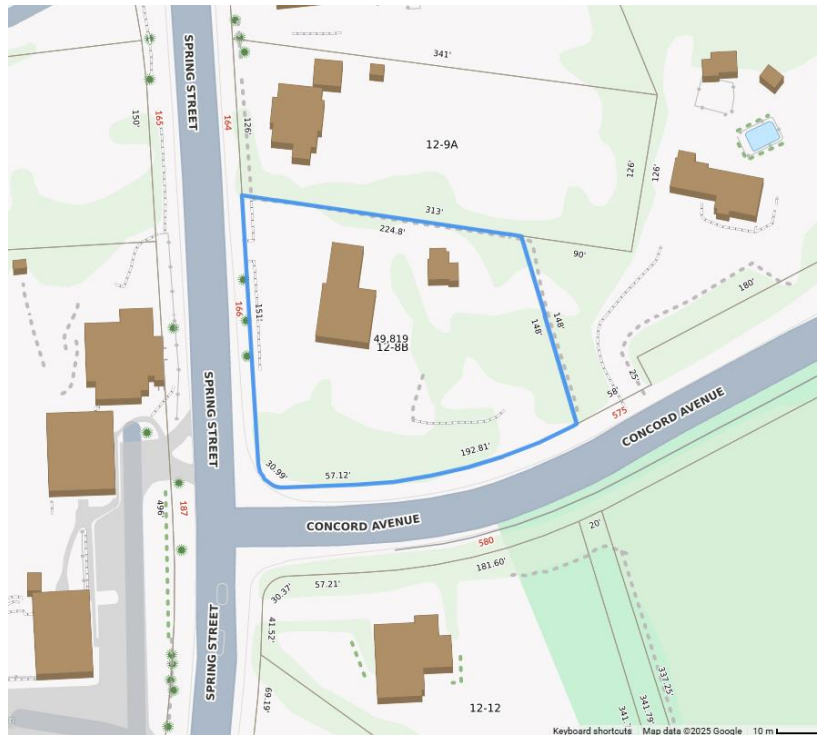


Photo 2: View from Spring Street showing current single-family house and driveway.



Photo 3: Staff site visit, 2/20/2025, 1 of 3



Photo 4: Staff site visit, 2/20/2025, 2 of 3



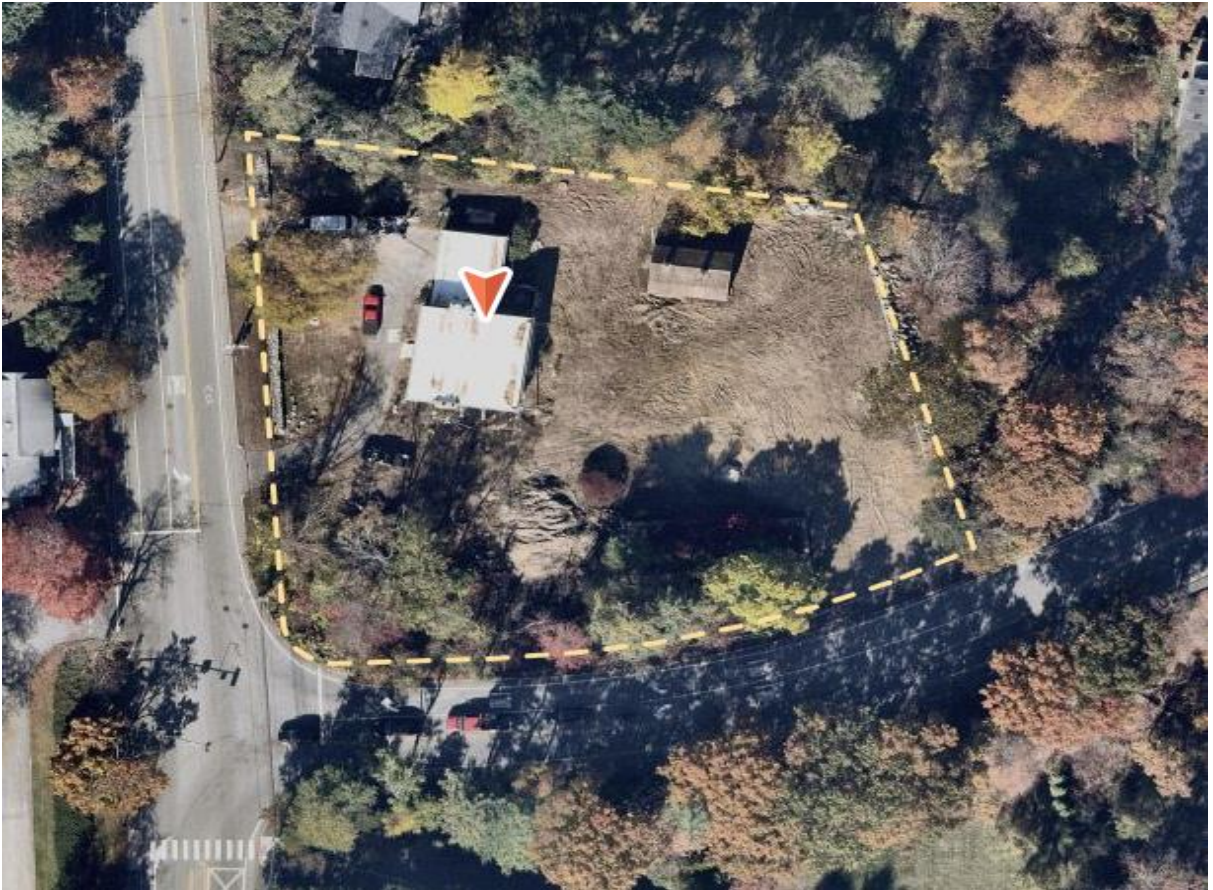
Photo 5: Staff site visit, 2/20/2025, 3 of 3



Photo 6: Arial photo, 10/2/2023



Photo 7: Arial photo, 10/19/2024



Staff Comments

Planning

- Provide a more detailed project narrative noting the phasing of project (parking first, expansion in a few years, etc.).
- Engineering Staff will review the application, and we will want to make sure the new curb cut is OK over the drainage easement.
- Applicant proposing parking spaces in a residential neighborhood, we recommend best efforts towards eliminating noise, automobile headlight, and other neighborhood impacts.
- Institutional, Educational and Recreational use buildings require 1 parking space per 6 seats in the largest assembly area. Plans show the largest assembly area being 115 prayer places, which would require minimum 20 parking spaces. Plans show 48, this complies.
- Per §135-5.1.13.2, applicant cannot have more than 13 compact spaces with proposed parking, current plans show 11, this complies.
- Plans show 6-8 bicycle parking spaces, we recommend parking be 6' by 2' and located away from vehicular traffic.
- Per §135-5.1.13.11, a parking lot with 25 or more new parking spaces shall include minimum 4% Level 2 EV charging stations. 2 Spaces required. And shall be constructed with appropriate conduits and space to allow for future installation of EV charging stations at 50% of spaces.
- Per §135-5.1.13.12, no surface parking is permitted between a building and street except if screened, or required for accessible and temporary parking. Request landscaping screening to minimize glare of headlights and parking lot lighting.
- The four parking spaces in front of the building do not appear to meet the required 22' maneuvering aisle required. Applicant will need to update the plans to meet requirement, or request a special permit.
- The setback distance of the Spring Street parking spaces from the right of way line is shown as 12.4', shall be minimum 25'. Applicant will need to update the plans to meet requirement, or request a special permit.
- Per §135-4.3.1.2, show that a setback distance for stone walls equal to height on rear and side lot lines.
- Stone walls are shown on plans, however, no heights provided. Per §135-4.3.1, if greater than 4' in height, the retaining wall will need to be setback a distance equal to height on front lot line.
- Show on plans the locations for snow storage. Per §135-5.1.13.6, "A strip of land not less than five feet in width shall be provided on at least two sides of a parking lot or loading area and designated on the off-street parking and loading plan for the storage of snow plowed or removed from the surface area of the parking lot or loading area; such snow storage area may not encroach on the area required for off-street parking or loading but may be located in the area of required setback from a lot line or building."
- Plans do not show location of a dumpster. If a dumpster is needed in the future we recommend that it is placed in an enclosure and screened from view.
- Provide stamped stormwater management report that meets the MassDEP stormwater standards and Town of Lexington Stormwater Bylaw for an above threshold project. When disturbing more than 10,000 SF the stormwater permit is consolidated into the Planning Board's Site Plan Review approval. **Report is present but not stamped.**
- We recommend planting at least one tree for every 8 parking spaces abutting the perimeter of the parking area and trees be planted every 30 ft. along streets. Planning Board's preferred Planting list is here: <https://www.lexingtonma.gov/DocumentCenter/View/1862/Amended-Section-12-Lexington-Preferred-Planting-List---Amended-October-6-2021-PDF?bidId=>

- Allowable height in the RO zone is 40' or 2.5 stories, architectural plans provided appear to satisfy regulation but the building commissioner will review prior to issuing building permit.
- Applicant shall comply with §135-5.2 for any proposed signage.

Conservation

- There are depressions on the site that may meet isolated wetlands definition under local code or that may meet isolated land subject to flooding under state or local code or that may actually flow into a larger bordering vegetated wetland system on 164 Spring and/or 575 Concord Ave, and thus meeting state and local bordering wetlands.
- If no wetlands are found on site, there are wetlands offsite that appear to fall within 100 feet of some areas of the property that would need be considered for future development, and a work zone established outside the jurisdictional 100-foot buffer zone. Unfortunately, it is not a clear response without having a field evaluation performed on site.
- Based on the plan set dated 11/24/2024 attached, the topography and existing drainage pipe (within a drain easement) along Spring Street confirms there is wetland resource area on this site and the site needs to be evaluated by a professional wetland scientist for delineating the resource areas on and near the site to determine next steps with the Conservation Commission.

Engineering

- Engineering released a memo under separate letterhead, see attached.
- Will review and provide comments once stamped plans and design calculations are received.

Submitted Documents

166 Spring Street Project Narrative 1, dated January 25, 2025

Planset titled “Proposed Improvements for Muslim American Community Center of Lexington Massachusetts, 166 Spring Street Lexington, Ma” prepared by BCD Design Group, prepared for the Muslim American Community Center of Lexington, Massachusetts, consisting of 14 pages, dated January 17, 2025

1. Cover Sheet
2. Plan titled “General Notes” prepared by BCD Design Group, prepared for the Muslim American Community Center of Lexington, Massachusetts, dated November 24, 2024 **(missing stamp and signature)**
3. Plan titled “Site Preparation Plan” prepared by BCD Design Group, prepared for the Muslim American Community Center of Lexington, Massachusetts, dated November 24, 2024 **(missing stamp and signature)**
4. Plan titled “Layout Plan” prepared by BCD Design Group, prepared for the Muslim American Community Center of Lexington, Massachusetts, dated November 24, 2024 **(missing stamp and signature)**
5. Plan titled “Grading Plan” prepared by BCD Design Group, prepared for the Muslim American Community Center of Lexington, Massachusetts, dated November 24, 2024 **(missing stamp and signature)**
6. Plan titled “Utility & Drainage Plan” prepared by BCD Design Group, prepared for the Muslim American Community Center of Lexington, Massachusetts, dated November 24, 2024 **(missing stamp and signature)**
7. Plan titled “Site Work Details I” prepared by BCD Design Group, prepared for the Muslim American Community Center of Lexington, Massachusetts, dated November 24, 2024 **(missing stamp and signature)**

8. Plan titled "Site Work Details II" prepared by BCD Design Group, prepared for the Muslim American Community Center of Lexington, Massachusetts, dated November 24, 2024 **(missing stamp and signature)**
9. Plan titled "Site Work Details III" prepared by BCD Design Group, prepared for the Muslim American Community Center of Lexington, Massachusetts, dated November 24, 2024 **(missing stamp and signature)**
10. Page titled "Cul Tec Stormwater Chamber" dated June, 2024
11. Plan titled "Electrical Legend & Notes" prepared by BCD Design Group, prepared for the Muslim American Community Center of Lexington, Massachusetts, signed and stamped by Professional Engineer, Michael D. Trickett, No.41072, dated December 20, 2024
12. Plan titled "Electrical Site Plan" prepared by BCD Design Group, prepared for the Muslim American Community Center of Lexington, Massachusetts, signed and stamped by Professional Engineer, Michael D. Trickett, No.41072, dated December 20, 2024
13. Plan titled "Photometrics Plan" prepared by BCD Design Group, prepared for the Muslim American Community Center of Lexington, Massachusetts, dated November 24, 2024 **(missing stamp and signature)**
14. Plan titled "Fire Truck Turning Plan" prepared by BCD Design Group, prepared for the Muslim American Community Center of Lexington, Massachusetts, dated November 24, 2024 **(missing stamp and signature)**

166_Spring_St_02.01.25, titled "Proposed Improvements for Muslim American Community Center of Lexington Massachusetts, 166 Spring Street Lexington, Ma BCD Design Group, prepared for the Muslim American Community Center of Lexington, Massachusetts, consisting of 8 sheets, revised to February 1, 2025

1. Plan titled "Title" prepared by BCD Design Group, prepared for the Muslim American Community Center of Lexington, Massachusetts
2. Plan titled "Existing Floor Plans" prepared by BCD Design Group, prepared for the Muslim American Community Center of Lexington, Massachusetts
3. Plan titled "Proposed Basement Plan" prepared by BCD Design Group, prepared for the Muslim American Community Center of Lexington, Massachusetts
4. Plan titled "Proposed Ground Floor Plan" prepared by BCD Design Group, prepared for the Muslim American Community Center of Lexington, Massachusetts
5. Plan titled "Proposed Upper Floor Plan" prepared by BCD Design Group, prepared for the Muslim American Community Center of Lexington, Massachusetts
6. Plan titled "Proposed Elevations" prepared by BCD Design Group, prepared for the Muslim American Community Center of Lexington, Massachusetts
7. Plan titled "Proposed Elevations" prepared by BCD Design Group, prepared for the Muslim American Community Center of Lexington, Massachusetts
8. Plan titled "General Notes" prepared by BCD Design Group, prepared for the Muslim American Community Center of Lexington, Massachusetts

Stormwater Management for 166 Spring Street Lexington, Massachusetts, prepared by BCD Design Group, prepared for the Muslim American Community Center of Lexington, Massachusetts, dated November 24, 2024 **(missing stamp and signature)**

Owner Authorization Letter, dated November 9, 2024



MEMORANDUM

TO: Planning Director, Planning

FROM: Marissa Liggiero, Engineering

DATE: February 12, 2025

SUBJECT: 166 Spring Street Comments

The Engineering Division has reviewed the Site Plans at 166 Spring Street. We submit the following:

General Comment:

Engineering will review and provide comments once stamped plans and design calculations are received

Stormwater note:

- Full review of the stormwater will be reviewed upon receipt of the full application to Conservation. As designed, the stormwater management design and calculations do not meet the Lexington Standards.
- If not under conservation jurisdiction, then the Lexington Stormwater Above Threshold regulations should be followed. Phosphorous removal calculations should be shown and TSS removal should be 90%.
- Project name on the second page of the O&M plan shows a different address. There is no PE stamp on the report.

Utility note:

- Water and sewer utilities not shown on plan set.

Roadway note:

See general comments above



MEMORANDUM

TO: Planning Director, Planning
FROM: Marissa Liggiero, Engineering
DATE: February 12, 2025
SUBJECT: 166 Spring Street Comments

The Engineering Division has reviewed the Site Plans at 166 Spring Street. We submit the following:

General Comment:

Engineering will review and provide comments once stamped plans and design calculations are received

Stormwater note:

- Full review of the stormwater will be reviewed upon receipt of the full application to Conservation. As designed, the stormwater management design and calculations do not meet the Lexington Standards.
- If not under conservation jurisdiction, then the Lexington Stormwater Above Threshold regulations should be followed. Phosphorous removal calculations should be shown and TSS removal should be 90%.
- Project name on the second page of the O&M plan shows a different address. There is no PE stamp on the report.

Utility note:

- Water and sewer utilities not shown on plan set.

Roadway note:

See general comments above

AGENDA ITEM SUMMARY

LEXINGTON PLANNING BOARD

AGENDA ITEM TITLE:

Public Hearing: Article 31 Amend Zoning Bylaw for National Flood Insurance (NFI) District

PRESENTER:

Planning Staff

ITEM NUMBER:

SUMMARY:

Public hearing for article 31. This article would amend Section 7.1 of the Zoning Bylaw for National Flood Insurance (NFI) District and the Zoning Map to reference updated FEMA Flood Insurance Rate Maps (FIRMs); update Section 10.0 of the Zoning Bylaw for Definitions, and update various Section of 7.1 to comply with FEMA's Standards and Regulations, including permit requirements and to reference the updated FEMA maps going into effect July 8, 2025.

FEMA has notified all communities in Middlesex County that the new FEMA flood hazard determinations in the Flood Insurance Rate Maps (FIRM) are now final and will become effective on July 8, 2025. In order for Lexington to continue in the National Flood Insurance Program (NFIP) the community must adopted the new maps. Attached is an update zoning motion to meet FEMA's updated standards and the 2025 FIRM maps.

FEMA's Preliminary Maps to go into effect on July 8, 2025:

[/DocumentCenter/View/13619](#) [/DocumentCenter/View/13614](#) [/DocumentCenter/View/13608](#)

[/DocumentCenter/View/13618](#) [/DocumentCenter/View/13613](#)

[/DocumentCenter/View/13617](#) [/DocumentCenter/View/13612](#)

[/DocumentCenter/View/13616](#) [/DocumentCenter/View/13611](#)

[/DocumentCenter/View/13615](#) [/DocumentCenter/View/13610](#)

[Link to FEMA's Flood Map Service Center](#)

You may view these changes by visiting [FEMA's Map Changes Viewer](#)

SUGGESTED MOTION:

If the Board is ready to close the hearing and make a recommendation to Town Meeting, staff suggests the following motion:

Move to close the public hearing on Annual Town Meeting Article 31 relative to the National Flood Insurance District amendments.

Move to recommend approval of the proposed zoning and favorable action by Town Meeting.

FOLLOW-UP:

DATE AND APPROXIMATE TIME ON AGENDA:

2/26/2025

ATTACHMENTS:

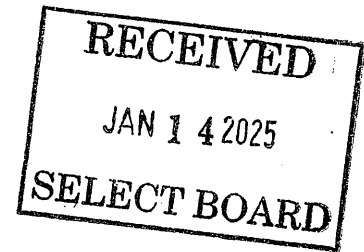
Description	Type
☐ FEMA Notification Letter	Cover Memo
☐ Proposed Zoning Amendment Motion	Exhibit
☐ Presentation Slides	Presentation



Federal Emergency Management Agency

Washington, D.C. 20472

January 08, 2025



CERTIFIED MAIL
RETURN RECEIPT REQUESTED

IN REPLY REFER TO:
19P

Chairperson Douglas Lucente
Chair, Town of Lexington Selectboard
Town Office Building
1625 Massachusetts Avenue
Lexington, MA 02420

Community Name: Town of Lexington,
Middlesex County,
MA
Community No.: 250198
Map Panels See FIRM Index
Affected:

Dear Douglas Lucente:

This is to notify you of the final flood hazard determination for Middlesex County, Massachusetts (All Jurisdictions), in compliance with Title 44, Chapter I, Part 67, Section 67.11, Code of Federal Regulations (CFR). This section requires that notice of final flood hazards shall be sent to the Chief Executive Officer of the community, all individual appellants, and the State Coordinating Agency, and shall be published in the *Federal Register*.

The statutory 90-day appeal period that was initiated for your community when the Department of Homeland Security's Federal Emergency Management Agency (FEMA) published a notice of proposed flood hazard determinations for your community in the local newspaper has elapsed.

FEMA did not receive any appeals of the proposed flood hazard determinations or submittals regarding the Revised Preliminary Flood Insurance Study (FIS) report and Flood Insurance Rate Map (FIRM) during that time.

Accordingly, the flood hazard determinations for your community are considered final. The final notice for flood hazard determinations will be published in the *Federal Register* as soon as possible. The FIS report and FIRM for your community will become effective on July 08, 2025. Before the effective date, we will send your community final printed copies of the FIS report and FIRM. For insurance purposes, the community number and new suffix code for the panels being revised are indicated on the FIRM and must be used for all new policies and renewals.

Because the FIS report for your community has been completed, certain additional requirements must be met under Section 1361 of the National Flood Insurance Act of 1968, as amended, within 6 months from the date of this letter.

It must be emphasized that all the standards specified in 44 CFR Part 60.3 (d) of the National Flood Insurance Program (NFIP) regulations must be enacted in a legally enforceable document.

FINAL SUMMARY OF MAP ACTIONS

Community: LEXINGTON, TOWN OF

Community No: 250198

To assist your community in maintaining the Flood Insurance Rate Map (FIRM), we have summarized below the effect of the enclosed revised FIRM panel(s) on previously issued Letter of Map Change (LOMC) actions (i.e., Letters of Map Revision (LOMRs), Letter of Map Revision based on Fill (LOMR-Fs), and Letters of Map Amendment (LOMAs)) that will be affected when the revised FIRM becomes effective on July 8, 2025.

1. LOMCs Incorporated

The modifications effected by the LOMCs listed below have been reflected on the Preliminary copies of the revised FIRM panels. In addition, these LOMCs will remain in effect until the revised FIRM becomes effective.

LOMC	Case No.	Date Issued	Project Identifier	Original Panel	Current Panel
			NO CASES RECORDED		

2. LOMCs Not Incorporated

The modifications effected by the LOMCs listed below are either not located on revised FIRM panels, or have not been reflected on the Preliminary copies of the revised FIRM panels because of scale limitations or because the LOMC issued had determined that the lot(s) or structure(s) involved were outside the Special Flood Hazard Area, as shown on the FIRM. These LOMCs will be revalidated free of charge 1 day after the revised FIRM becomes effective through a single revalidation letter that reaffirms the validity of the previous LOMCs.

2A. LOMCs on Revised Panels

FINAL SUMMARY OF MAP ACTIONS

Community: LEXINGTON, TOWN OF

Community No: 250198

LOMC	Case No.	Date Issued	Project Identifier	Original Panel	Current Panel
LOMA	199500490R01	11/29/1995	22 Saddle Club Road	2501980005C	25017C0404F
LOMA	98-01-990A	8/26/1998	FARMINGTON RISE SUBDIVISION - LOT 10	2501980005C	25017C0412F
LOMA	00-01-0294A	5/2/2000	5 BROOKWOOD ROAD	2501980005C	25017C0404F
LOMR-F	03-01-1518A	7/29/2003	3 SOUTH RINDGE AVENUE	2501980005C	25017C0412F
LOMA	04-01-0380A	1/15/2004	6 SOUTH RINDGE AVENUE	2501980005C	25017C0412F
LOMA	05-01-0761A	8/30/2005	FARMINGTON RISE, LOT 8 -- 5 SOUTH RINDGE AVENUE	2501980005C	25017C0412F
LOMA	05-01-0650A	1/17/2006	FARMINGTON RISE, LOT 9 -- 7 SOUTH RINDGE AVENUE	2501980005C	25017C0412F
LOMA	07-01-0298A	2/13/2007	LOCKE VILLAGE OF LEXINGTON CONDOMINIUM, PHASES I, II, & III -- 661-663-665 LOWELL STREET (MA)	2501980005C	25017C0404F
LOMA	07-01-0746A	5/31/2007	PLAN 23539U, LOT 236 -- 255 WORTHEN ROAD EAST (MA)	2501980005C	25017C0412F
LOMA	08-01-0685A	5/27/2008	FARMINGTON RISE, LOT 21 -- 4 SOUTH RINDGE AVENUE	2501980005C	25017C0412F
LOMA	09-01-1506A	9/3/2009	Lot 12, Farmington Rise, Bk 26054, pg 40--15 South Rindge Ave	2501980005C	25017C0412F
LOMA	10-01-1548A	6/28/2010	LOT 114 & 115----31 BRANDON STREET	25017C0412E	25017C0412F
LOMA	10-01-1613A	7/27/2010	Lots 73 & 74 -- 32 Brandon Street	25017C0412E	25017C0412F
LOMA	11-01-0735A	1/28/2011	LOT 12, RIDGE ESTATES II -- 209 EAST EMERSON ROAD	25017C0404E	25017C0404F
LOMR-FW	13-01-2771A	11/19/2013	LOT 181 -- 233 Worthen Road East	25017C0411E	25017C0411F 25017C0412F
LOMA	17-01-0773A	3/1/2017	BURNHAM FARMS, SECTION TWO, LOT 23 -- 6 ALCOTT ROAD	25017C0404E	25017C0404F
LOMA	17-01-2171A	8/16/2017	126 NORTH STREET	25017C0404E	25017C0404F
LOMR-FW	20-01-1207A	9/24/2020	PLAN 23539U, LOT 240 -- 2 BARRETT ROAD	25017C0412E	25017C0412F

2B. LOMCs on Unrevised Panels

FINAL SUMMARY OF MAP ACTIONS

Community: LEXINGTON, TOWN OF

Community No: 250198

LOMC	Case No.	Date Issued	Project Identifier	Original Panel	Current Panel
			NO CASES RECORDED		

3. LOMCs Superseded

The modifications effected by the LOMCs listed below have not been reflected on the Preliminary copies of the revised FIRM panels because they are being superseded by new or revised flood hazard information or the information available was not sufficient to make a determination. The reason each is being superseded is noted below. These LOMCs will no longer be in effect when the revised FIRM becomes effective.

LOMC	Case No.	Date Issued	Project Identifier	Reason Determination Will be Superseded
LOMA	23-01-0300A	3/31/2023	127 NORTH STREET	2

1. Insufficient information available to make a determination.
2. Lowest Adjacent Grade and Lowest Finished Floor are below the proposed Base Flood Elevation.
3. Lowest Ground Elevation is below the proposed Base Flood Elevation.
4. Revised hydrologic and hydraulic analyses.
5. Revised topographic information.
6. Superseded by another LOMC.

4. LOMCs To Be Redetermined

The LOMCs in Category 2 above will be revalidated through a single revalidation letter that reaffirms the validity of the determination in the previously issued LOMC. For LOMCs issued for multiple lots or structures where the determination for one or more of the lots or structures is no longer valid, the LOMC cannot be revalidated through this administrative process. Therefore, we will review the data previously submitted for the LOMC requests listed below and issue a new determination for the affected properties after the effective date of the revised FIRM.

LOMC	Case No.	Date Issued	Project Identifier	Original Panel	Current Panel
			NO CASES RECORDED		

This includes adoption of the current effective FIS report and FIRM to which the regulations apply and other modifications made by this map revision. Some of the standards should already have been enacted by your community in order to establish initial eligibility in the NFIP. Your community can meet any additional requirements by taking one of the following actions in this Paragraph of the NFIP regulations:

1. Amending existing regulations to incorporate any additional requirements of 44 CFR Part 60.3 (d);
2. Adopting all the standards of 44 CFR Part 60.3 (d) into one new, comprehensive set of regulations; or
3. Showing evidence that regulations have previously been adopted that meet or exceed the minimum requirements of 44 CFR Part 60.3 (d).

Also, prior to the effective date, your community is required, as a condition of continued eligibility in the NFIP, to adopt or show evidence of adoption of the floodplain management regulations that meet the standards of 44 CFR Part 60.3 (d) of the NFIP regulations by the effective date of the FIRM. These standards are the minimum requirements and do not supersede any State or local requirements of a more stringent nature.

Many states and communities have adopted building codes based on the International Codes (I-Codes); the model I-Codes (2009 and more recent editions) contain flood provisions that either meet or exceed the minimum requirements of the NFIP for buildings and structures. The model codes also contain provisions, currently found in an appendix to the International Building Code, that apply to other types of development and NFIP requirements. In these cases, communities should request review by the NFIP State Coordinator to ensure that local floodplain management regulations are coordinated (not duplicative or inconsistent) with the State or Local building code. FEMA's resource, *Reducing Flood Losses through the International Code: Coordinating Building Codes and Floodplain Management Regulations, 5th Edition (2019)*, provides some guidance on this subject and is available at <https://www.fema.gov/emergency-managers/risk-management/building-science/building-codes/flood>.

Communities that fail to enact the necessary floodplain management regulations will be suspended from participation in the NFIP and subject to the prohibitions contained in Section 202(a) of the Flood Disaster Protection Act of 1973 (Public Law 93-234) as amended, and 44 CFR Part 59.24.

To assist your community in maintaining the FIRM, we have enclosed a Summary of Map Actions (SOMA) to document previous Letters of Map Change (LOMC) actions (i.e., Letters of Map Amendment, Letters of Map Revision) that will be affected when the revised FIRM panels referenced above become effective. If no LOMCs were issued previously for your community, you are receiving a SOMA for informational purposes only.

Once the FIS report and FIRM are printed and distributed, the digital files containing the flood hazard data for the entire county can be provided for use in a computer mapping system. These

files can be used in conjunction with other thematic data for floodplain management purposes, insurance requirements, and many other planning applications. Copies of the digital files of the FIRM panels may be obtained by calling our FEMA Mapping and Insurance eXchange (FMIX), toll free, at (877) 336-2627 (877-FEMA MAP) or by visiting the Map Service Center at <https://www.msc.fema.gov>. In addition, your community may be eligible for additional credits under our Community Rating System if you implement your activities using digital mapping files.

For assistance with your floodplain management ordinance or enacting the floodplain management regulations, please contact Joy Duperault, NFIP State Coordinator for Massachusetts, by telephone at (857) 286-0326 or by email at joy.duperault@mass.gov. If you should require any additional information, we suggest that you contact the Director, Risk Analysis Branch of FEMA, Region I at (617) 956-7576 or kerry.bogdan@fema.dhs.gov for assistance. If you have any questions concerning mapping issues in general or the enclosed SOMA, please call our FMIX at the telephone number shown above. Additional information and resources you may find helpful regarding the NFIP and floodplain management can be found on our website at <https://www.fema.gov/flood-maps>. Copies of these documents may also be obtained by calling our FMIX.

Sincerely,



Luis Rodriguez, P.E.
Engineering and Modeling Division
Risk Management Directorate | Resilience

Enclosure:
Final SOMA

cc: Community Map Repository
Jim Kelly, Building Commissioner, Town of Lexington

U.S. Department of Homeland Security
500 C Street, SW
Washington, DC 20472 - _____



FEMA

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SELECT BOARD

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Douglas Lucente
Chair, Town of Lexington
1625 Massachusetts Avenue
Lexington MA 02420-3801

02420-383399



Town of Lexington
Motion
2025 Annual Town Meeting

**ARTICLE 31 AMEND ZONING BYLAW -NATIONAL FLOOD INSURANCE
(NFI) DISTRICT**

MOTION:

That the Zoning Bylaw, Chapter 135 of the Code of the Town of Lexington, be amended as follows, where struck through text is to be removed and underlined text is to be added, and further that non-substantive changes to the numbering of this Bylaw be permitted to comply with the numbering format of the Code of the Town of Lexington.

1) Amend § 135-7.1 as follows:

7.1 NATIONAL FLOOD INSURANCE (NFI) DISTRICT.

7.1.1 Purpose. ~~The purpose of this district is to insure public safety through reducing the threats to life and personal injury; eliminate new hazards to emergency response officials; prevent the occurrence of public emergencies resulting from water quality, contamination, and pollution due to flooding; avoid the loss of utility services which if damaged by flooding would disrupt or shut down the utility network and impact regions of the community beyond the site of flooding; eliminate costs associated with the response and cleanup of flooding conditions, and reduce damage to public and private property resulting from flooding waters.~~

1. Ensure public safety through reducing the threats to life and personal injury;

2. Eliminate new hazards to emergency response officials;

3. Prevent the occurrence of public emergencies resulting from water quality, contamination, and pollution due to flooding;

4. Avoid the loss of utility services which if damaged by flooding would disrupt or shut down the utility network and impact regions of the community beyond the site of flooding;

5. Eliminate costs associated with the response and cleanup of flooding conditions, and

6. Reduce damage to public and private property resulting from flooding waters.

7.1.2 Overlay District. The NFI District shall not supersede other zoning districts but shall be deemed to be superimposed over these other zoning districts.

7.1.3 Location. The NFI District includes all special flood hazard areas within the Town of Lexington designated as Zone A and AE on the Middlesex County, Massachusetts Flood Insurance Rate Map (FIRM) dated July 8, 2025 issued by the Federal Emergency Management Agency (FEMA) for the administration of the National Flood Insurance Program. ~~The map panels of the Middlesex County FIRM that are wholly or partially within the Town of Lexington are panel~~

Town of Lexington
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2025 Annual Town Meeting

numbers 0382F, 0384F, 0392E, 0401E, 0402E, 0403E, 0404E, 0408E, 0411E, 0412E, 0414E, and 0416E, in effect as of July 6, 2016. The exact boundaries of the District may be defined by the 1%-change (one-hundred-year) base flood elevations shown on the FIRM and further defined by the Middlesex County Flood Insurance Study (FIS) report, in effect dated July 8, 2025 6, 2016. The FIRM and FIS report are incorporated herein by reference and are on file with the Town Clerk, Planning Board, Building Official, Conservation Commission, and Engineering office and available on the Town website.

7.1.4 Base Flood Elevation and Floodway Data.

1. Floodway data. In Zones A and AE, along watercourses within the Town of Lexington that have not had a regulatory floodway designated, the best available federal, state, local, or other floodway data shall be used to prohibit encroachments in floodways which would result in any increase in flood levels within the community during the occurrence of the base flood discharge.

2. Base flood elevation data. Base flood elevation data is required for subdivision proposals or other developments greater than 50 lots or five acres (whichever is less), the proponent must provide technical data to determine base flood elevations for each developable parcel shown on the design plans. ~~-, whichever is the lesser, within unnumbered A Zones.~~

7.1.5 Notification of Watercourse Alteration. In a riverine situation, the Conservation Floodplain Administrator shall notify the following of any alteration or relocation of a watercourse: ~~adjacent communities, NFIP State Coordinator, and NFIP Program Specialist.~~

1. Adjacent communities,

2. NFIP State Coordinator, Massachusetts Department of Conservation and Recreation, and

3. NFIP Program Specialist, Federal Emergency Management Agency, Region I.

7.1.6 Use Regulations.

1. All man-made changes to improved or unimproved real estate, including but not limited to building or other structures, mining, dredging, filling, grading, paving, excavation or drilling operations in the NFI District, including structural and nonstructural activities, whether permitted by right or by special permit must be in compliance with MGL c. 131, § 40 and with the following:

a. Sections of the Massachusetts State Building Code (780 CMR) which address floodplain and coastal high hazard areas;

b. Wetlands Protection Regulations, Department of Environmental Protection (DEP) (currently 310 CMR 10.00);

c. Inland Wetlands Restriction, DEP (currently 310 CMR 13.00);

d. Minimum Requirements for the Subsurface Disposal of Sanitary Sewage, DEP

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(currently 310 CMR 15, Title 5);

2. Any variances from the provisions and requirements of the above-referenced state regulations may only be granted in accordance with the required variance procedures of these state regulations.
3. In Zones AE, along watercourses within the Town of Lexington that have a regulatory floodway designated on the Middlesex County FIRM Map, encroachments are prohibited in the regulatory floodway including fill, new construction, substantial improvements, and other development within the adopted regulatory floodway unless it has been demonstrated through hydrologic and hydraulic analyses performed in accordance with standard engineering practice that the proposed encouragement would not ~~which would~~ result in any increase in flood levels within the community during the occurrence of the base flood discharge.
4. All subdivision proposals must be designed to assure that:
 - a. Such proposals minimize flood damage;
 - b. All public utilities and facilities are located and constructed to minimize or eliminate flood damage; and
 - c. Adequate drainage is provided to reduce exposure to flood hazards.
5. Existing contour intervals of site and elevations of existing structures must be included on plan proposal.

7.1.7 Floodplain Administrator.

The Town Manager or their designee shall serve as the official Floodplain Administrator for the Town of Lexington.

7.1.8 Permits Required.

Permits are required for all proposed development in the Floodplain Overlay District. The Town requires a permit for all proposed construction or other development in the floodplain overlay district, including new construction or changes to existing buildings, placement of manufactured homes, placement of agricultural facilities, fences, sheds, storage facilities or drilling, mining, paving and any other development that might increase flooding or adversely impact flood risks to other properties.

7.1.9 Assure that all necessary permits are obtained.

The Town's permit review process includes the requirement that the proponent obtain all local, state and federal permits that will be necessary in order to carry out the proposed development in the floodplain overlay district. The proponent must acquire all necessary permits, and must demonstrate that all necessary permits have been acquired.

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7.1.10 In A Zones, in the absence of FEMA BFE data and floodway data, the building department will obtain, review and reasonably utilize base flood elevation and floodway data available from a Federal, State, or other source as criteria for requiring new construction, substantial improvements, or other development in Zone A and as the basis for elevating residential structures to or above base flood level, for floodproofing or elevating nonresidential structures to or above base flood level, and for prohibiting encroachments in floodways.

7.1.11 In A and AE Zones, all recreational vehicles to be placed on a site must be elevated and anchored in accordance with the zone's regulations for foundation and elevation requirements or be on the site for less than 180 consecutive days or be fully licensed and highway ready.

7.1.12 If the Town acquires data that changes the base flood elevation in the FEMA mapped Special Flood Hazard Areas, the Town of Lexington will, within 6 months, notify FEMA of these changes by submitting the technical or scientific data that supports the change(s.) Notification shall be submitted to:

- NFIP State Coordinator, Massachusetts Department of Conservation and Recreation
- NFIP Program Specialist, Federal Emergency Management Agency, Region I

7.1.13 Variances to Floodplain Standards Issued by the State Building Code

The Town of Lexington will request from the State Building Code Appeals Board a written and/or audible copy of the portion of the hearing related to the variance, and will maintain this record in the community's files.

The Town of Lexington shall also issue a letter to the property owner regarding potential impacts to the annual premiums for the flood insurance policy covering that property, in writing over the signature of a community official that (i) the issuance of a variance to construct a structure below the base flood level will result in increased premium rates for flood insurance up to amounts as high as \$25 for \$100 of insurance coverage and (ii) such construction below the base flood level increases risks to life and property.

Such notification shall be maintained with the record of all variance actions for the referenced development in the floodplain overlay district.

7.1.14 Other Variances

A variance from these floodplain bylaws must meet the requirements set out by State law, and may only be granted if:

- 1) Good and sufficient cause and exceptional non-financial hardship exist;

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- 2) the variance will not result in additional threats to public safety, extraordinary public expense, or fraud or victimization of the public; and
- 3) the variance is the minimum action necessary to afford relief.

7.1.15 Abrogation and Greater Restriction

The floodplain management regulations found in this Floodplain Overlay District section shall take precedence over any less restrictive conflicting local laws, ordinances or codes.

7.1.16 Disclaimer of Liability

The degree of flood protection required by this bylaw is considered reasonable but does not imply total flood protection.

7.1.18 Definitions. The following words shall be defined as in this subsection 7.1.18 for the purposes of this Section 7.1.

DEVELOPMENT

Any man-made change to improved or unimproved real estate, including but not limited to building or other structures, mining, dredging, filling, grading, paving, excavation or drilling operations or storage of equipment or materials. [US Code of Federal Regulations, Title 44, Part 59]

FLOOD INSURANCE RATE MAP (FIRM)

An Official Map of a community on which FEMA has delineated both the areas of special flood hazard and the risk premium zones applicable to the community.

FLOOD INSURANCE STUDY

An examination, evaluation, and determination of flood hazards, and, if appropriate, corresponding water surface elevations, or an examination, evaluation and determination of flood-related erosion hazards.

FLOODWAY

The channel of a river or other watercourse and the adjacent land areas that must be reserved in order to discharge the base flood without cumulatively increasing the water surface elevation.

FUNCTIONALLY DEPENDENT USE

A use which cannot perform its intended purpose unless it is located or carried out in close proximity to water. The term includes only docking facilities, port facilities that are necessary for the loading and unloading of cargo or passengers, and ship building and ship repair facilities, but does not include long-term storage or related manufacturing facilities. [US Code of Federal Regulations, Title 44, Part 59] Also [Referenced Standard ASCE 24-14]

Town of Lexington
Motion
2025 Annual Town Meeting

HIGHEST ADJACENT GRADE

The highest natural elevation of the ground surface prior to construction next to the proposed walls of a structure. [US Code of Federal Regulations, Title 44, Part 59]

HISTORIC STRUCTURE

Any structure that is:

(a) Listed individually in the National Register of Historic Places (a listing maintained by the Department of Interior) or preliminarily determined by the Secretary of the Interior as meeting the requirements for individual listing on the National Register;

(b) Certified or preliminarily determined by the Secretary of the Interior as contributing to the historical significance of a registered historic district or a district preliminarily determined by the Secretary to qualify as a registered historic district;

(c) Individually listed on a state inventory of historic places in states with historic preservation programs which have been approved by the Secretary of the Interior; or

(d) Individually listed on a local inventory of historic places in communities with historic preservation programs that have been certified either:

(1) By an approved state program as determined by the Secretary of the Interior or

(2) Directly by the Secretary of the Interior in states without approved programs.

[US Code of Federal Regulations, Title 44, Part 59]

NEW CONSTRUCTION

Structures for which the start of construction commenced on or after the effective date of the first floodplain management code, regulation, ordinance, or standard adopted by the authority having jurisdiction, including any subsequent improvements to such structures. New construction includes work determined to be substantial improvement. [Referenced Standard ASCE 24-14]

RECREATIONAL VEHICLE

A vehicle which is:

(a) Built on a single chassis;

(b) 400 square feet or less when measured at the largest horizontal projection;

(c) Designed to be self-propelled or permanently towable by a light duty truck; and

(d) Designed primarily not for use as a permanent dwelling but as temporary living quarters for recreational, camping, travel, or seasonal use. [US Code of Federal Regulations, Title 44, Part 59]

REGULATORY FLOODWAY – See Floodway

SPECIAL FLOOD HAZARD AREA

An area having special flood and/or flood-related erosion hazards, and shown on a FHBM or FIRM as Zone A, AO, A1-30, AE, A99, AH, V, V1-30, V. [Base Code, Chapter 2, Section 202].

Town of Lexington
Motion
2025 Annual Town Meeting

START OF CONSTRUCTION

The date of issuance for new construction and substantial improvements to existing structures, provided the actual start of construction, repair, reconstruction, rehabilitation, addition, placement or other improvement is within 180 days after the date of issuance. The actual start of construction means the first placement of permanent construction of a building (including a manufactured home) on a site, such as the pouring of a slab or footings, installation of pilings or construction of columns.

Permanent construction does not include land preparation (such as clearing, excavation, grading or filling), the installation of streets or walkways, excavation for a basement, footings, piers or foundations, the erection of temporary forms or the installation of accessory buildings such as garages or sheds not occupied as dwelling units or not part of the main building. For a substantial improvement, the actual “start of construction” means the first alteration of any wall, ceiling, floor or other structural part of a building, whether or not that alteration affects the external dimensions of the building. [Base Code, Chapter 2, Section 202]

STRUCTURE

For floodplain management purposes, a walled and roofed building, including a gas or liquid storage tank, that is principally above ground, as well as a manufactured home. [US Code of Federal Regulations, Title 44, Part 59]

SUBSTANTIAL REPAIR OF A FOUNDATION.

When work to repair or replace a foundation results in the repair or replacement of a portion of the foundation with a perimeter along the base of the foundation that equals or exceeds 50% of the perimeter of the base of the foundation measured in linear feet, or repair or replacement of 50% of the piles, columns or piers of a pile, column or pier supported foundation, the building official shall determine it to be substantial repair of a foundation. Applications determined by the building official to constitute substantial repair of a foundation shall require all existing portions of the entire building or structure to meet the requirements of 780 CMR. [As amended by MA in 9th Edition BC]

VARIANCE

For floodplain management purposes, means a grant of relief by a community from the terms of a flood plain management regulation. [US Code of Federal Regulations, Title 44, Part 59]

VIOLATION

For floodplain management purposes, means the failure of a structure or other development to be fully compliant with the community's flood plain management regulations. A structure or other development without the elevation certificate, other certifications, or other evidence of compliance required in §60.3 is presumed to be in violation until such time as that documentation is provided. [US Code of Federal Regulations, Title 44, Part 59]

Town of Lexington
Motion
2025 Annual Town Meeting

3) Amend §135-10.0 Definitions by deleting the following:

~~FLOOD HAZARD BOUNDARY MAP (FHBM)~~

~~An Official Map of a community issued by FEMA where the boundaries of the flood and related erosion areas having special hazards have been designated as Zone A or E.~~

~~SPECIAL FLOOD HAZARD AREA~~

~~An area having special flood and/or flood-related erosion hazards, and shown on a FHBM or FIRM as Zone A, AO, A1-30, AE, A99, AH, V, V1-30, V.~~

~~FLOOD INSURANCE RATE MAP (FIRM)~~

~~An Official Map of a community on which FEMA has delineated both the areas of special flood hazard and the risk premium zones applicable to the community.~~

~~FLOOD INSURANCE STUDY~~

~~An examination, evaluation, and determination of flood hazards, and, if appropriate, corresponding water surface elevations, or an examination, evaluation and determination of flood-related erosion hazards.~~

~~FLOODWAY~~

~~The channel of a river or other watercourse and the adjacent land areas that must be reserved in order to discharge the base flood without cumulatively increasing the water surface elevation.~~

(2/21/2025)



Article 31

Amend Zoning Bylaw - National Flood Insurance (NFI) District (Sec. 7.1)

Planning Board

February 26, 2025 Public Hearing



Flood Insurance Rate MAP (FIRM)

- FEMA's updated Flood Insurance Rate Maps finalized
- Effective on July 8, 2025
- Municipal Regulations and Standards must be adopted to participate in the National Flood Insurance Program
- New map panels
- Zoning Bylaw updated to match FEMA's Model Bylaw

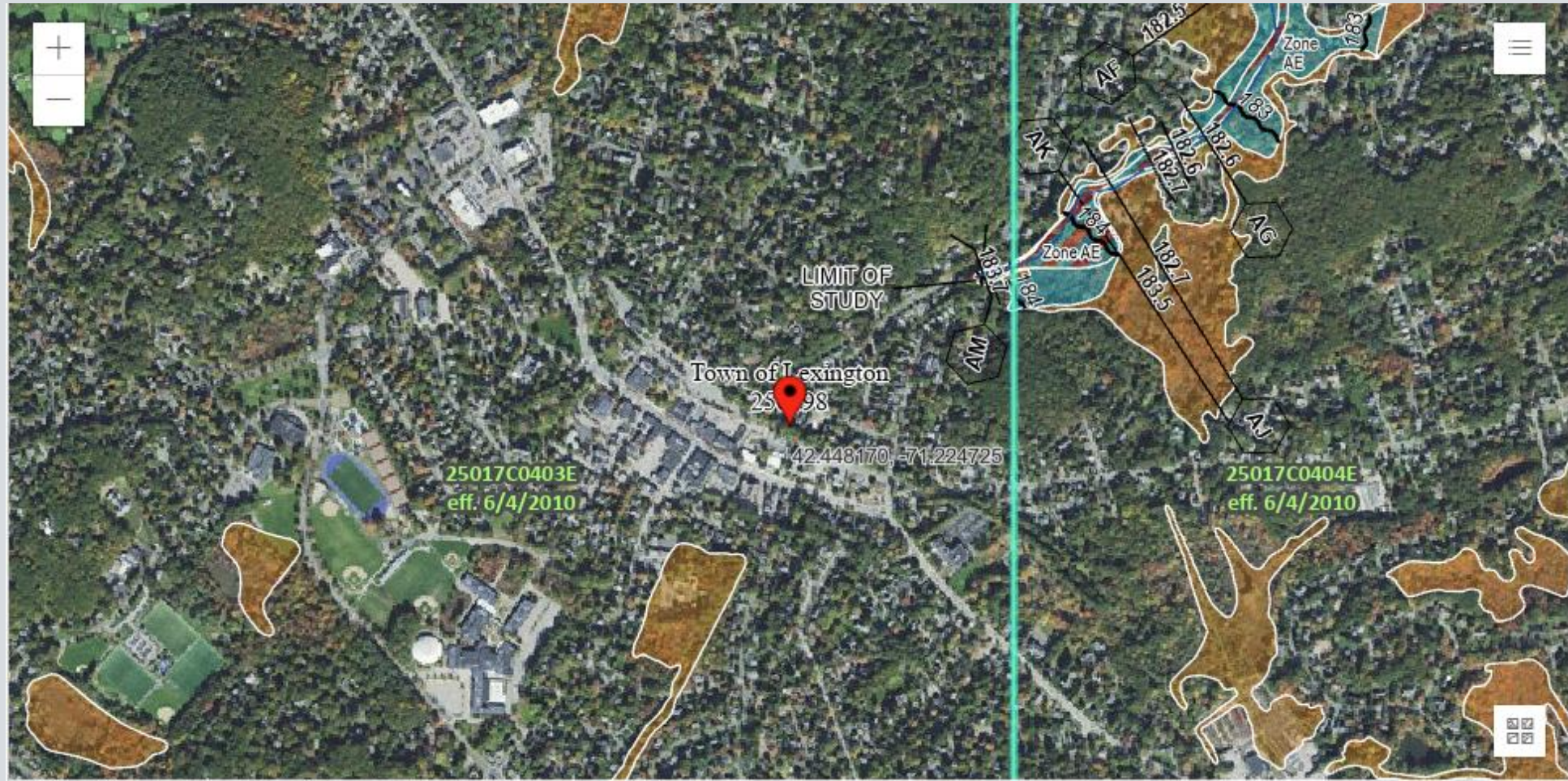


National Flood Insurance

- Zoning Bylaw Section 7.1 National Flood Insurance (NFI) District amended as follows:
 - Updates purpose
 - References July 8, 2025 Flood Maps
 - Requires base flood elevations for each parcel in developments >5 acres
 - Adds in notifications to MA DCR, FEMA, & adjacent communities
 - Additional prohibitions in Zones AE
 - Permits required for development in Floodplain Overlay District
 - State variance provisions
 - Adds new definitions and FEMA's recommended language



FEMA Flood Map Center [link](#)





Each FIRM Map Panels

- On Planning Board Annual Town Meeting [webpage](#)

Article 31: Amend Zoning Bylaw and Zoning Map – National Flood Insurance (NFI) District

This article would amend Section 7.1 of the Zoning Bylaw for National Flood Insurance (NFI) District and the Zoning Map to reference updated FEMA Flood Insurance Rate Maps (FIRMs); update Section 10.0 of the Zoning Bylaw for Definitions, and update various Section of 7.1 to comply with FEMA's Standards and Regulations, including permit requirements and to reference the updated FEMA maps going into effect July 8, 2025.

[View proposed zoning motion text](#)

FEMA's Preliminary Maps to go into effect on July 8, 2025:

[/DocumentCenter/View/13619](#) [/DocumentCenter/View/13614](#) [/DocumentCenter/View/13608](#)

[/DocumentCenter/View/13618](#) [/DocumentCenter/View/13613](#)

[/DocumentCenter/View/13617](#) [/DocumentCenter/View/13612](#)

[/DocumentCenter/View/13616](#) [/DocumentCenter/View/13611](#)

[/DocumentCenter/View/13615](#) [/DocumentCenter/View/13610](#)

Link to [FEMA's Flood Map Service Center](#)

You may view these changes by visiting [FEMA's Map Changes Viewer](#)

AGENDA ITEM SUMMARY

LEXINGTON PLANNING BOARD

AGENDA ITEM TITLE:

Continued Public Hearing: Special Town Meeting Article 2 & Annual Town Meeting Article 34 to Amend Section 7.5 to Reduce Multi-Family Dwelling Unit Capacity in the Village & Multi-Family Overlay Districts

PRESENTER:

Citizen Petition: Carol Sacerdote and working group

ITEM NUMBER:

SUMMARY:

This article would limit the amount of multi-family housing in the current Village and Multi-Family Overlay districts by removing districts and limiting the number of dwelling units permitted in the remaining areas to 15 dwelling units per acre.

The following areas are proposed to be removed from the Overlay Districts on the Zoning Map: Bedford Street/Worthen Road, Bedford Street/Reed Street, Bedford Street/Bike Path, Marrett Road/Waltham Street, and Marrett Road/Spring Street from the VO District; Lexington Center and Bedford Street North from the MFO District; and Hartwell Avenue/Westview Street, Maguire Road, and Hartwell Avenue/Wood Street from the VHO District. The Village Overlay Districts proposed to remain are in East Lexington and Waltham Street/Concord Avenue, and at the locations where developments have been submitted to the Planning Board prior to January 1, 2025. The areas to be removed, added, or maintained may change during the course of the public hearing and additional locations in the Overlay Districts may be considered.

Board will re-open the continued hearing. The petitioners will update the Board on any new information since the February 12th hearing, staff will give an update, and board members will discuss. The Chair will then open the public hearing up to public comments.

Below are presentations from the petitioners and staff from February 12.

Feb. 12 Presentation from Petitioners

Feb. 12 Staff Presentation

Feb. 12 video

Project details for Lexington's MBTA Zoning: www.LexingtonMA.gov/MBTAZoning

SUGGESTED MOTION:

If the Board is ready to close the public hearing, staff recommends the following motions (subject to change by the Board during the meeting).

Move to close the public hearing on the citizen petition Special Town Meeting Article 2 and Annual Town Meeting Article 34 to amend the Village & Multi-Family Overlay zoning.

The Board members should provide direction to staff on how to prepare the written recommendation for consideration at the Board's March 12 meeting.

FOLLOW-UP:

DATE AND APPROXIMATE TIME ON AGENDA:

2/26/2025

ATTACHMENTS:

Description	Type
☐ Petitioner Presentation 2.12.25	Presentation
☐ Staff Presentation 2.12.25	Presentation
☐ Proposed Zoning Motion 02.24.2025	Exhibit

Article 2

Special Town Meeting 2025-1

Planning Board Public Hearing

Carol R. Sacerdote, petitioner
John Bartenstein, Alan Levine, Dawn McKenna

February 12, 2025

MBTA Communities Act

- Overview for those not already familiar
- MBTA Communities Act adopted in 2021
- Goals
 - Address housing shortage in the region
 - Increase capacity for multifamily housing
 - Share equitably among 177 MBTA communities

MBTA Communities Act

- Statutory requirements
 - At least one district of “reasonable size”
 - Zoned “as of right” for multifamily housing
 - Suitable for families with children
 - Minimum density of 15 units per acre
- Details delegated to DHCD (now EOHLC)

EOHLC Guidelines

- EOHLC Guidelines finalized August 2023
- Tailored to each community
- Requirements for Lexington (“adjacent community”)
 - Minimum area: 50 acres, one or more districts
 - Minimum “gross density”: 15 units per acre
 - Zoned capacity: 1,231 units (10% of existing units)

2023 Annual Town Meeting

- At 2023 Annual Town Meeting:
- Planning Board presented Article 34
- Purpose: to comply with MBTA Communities Act
- Two components of the article
 - Amend Zoning Map to add MBTA overlay districts
 - Amend Zoning Bylaw to establish standards for what may be built as of right in each of those districts

2023 Annual Town Meeting

- Amendment of Zoning Map
 - Create 12 overlay districts of 3 types
 - VO – Village Overlay Districts (7)
 - MFO – Multifamily Overlay Districts (2)
 - VHO – Village High-Rise Overlay Districts (3)
 - Superimposed on residential or commercial districts
 - See Planning Department slide 1

2023 Annual Town Meeting

- Amendment of Zoning Bylaw
 - New Section 7.5 – rules for 12 overlay districts
 - Rules for underlying districts still apply, but
 - Developer can opt for overlay rules if multifamily housing
 - Development “by right” with “site plan review”
 - Planning Board may review plans, make suggestions, but
 - May not disapprove any application compliant with Section 7.5

2023 Annual Town Meeting

- Section 7.5 standards
 - Increased heights, 40 to 115 feet, with “bonuses”
 - Deleted or reduced dimensional controls, including
 - Site coverage limits
 - Gross floor area limits
 - Side yards and setbacks
 - Most important: no density limit!

2023 Annual Town Meeting

- Planning Board Report
 - “Zoning to the minimum state compliance will not create more housing . . . due to land and construction costs.”
 - Goal is to “promote gradual and incremental change”
 - No information given to TM on unit “capacity”
- Planning Board Presentation to ATM
 - Only projection given was on construction: “Estimated possible new housing units: approximately 400-800 units in 4-10 years”

EOHCL Compliance Review

- Article 34 passed April 12, 2023
- Submitted to EOHLC for compliance review
- Application required to include capacity created
 - Using state compliance model
 - State's best effort to analyze zoning capacity
 - Applied to all 177 MBTA communities
- Submitted capacity – 13,421 units

EOHCL Compliance Review

- EOHCL certified compliance November 2023
- Lexington Center district capacity not counted
 - Not compliant with MBTA Act
 - EOHCL deducted capacity of 875 units
- Section 7.5 still applies to Lexington Center
- Certified MBTA capacity: 12,546 units (slide 2)
 - 10X required capacity of 1,231 units
 - Would double existing units in Lexington (12,310)

Development Experience

- Rate of development far faster than projected
 - Less than two years, 10 projects already submitted
 - 5 pending, 5 already approved
 - More are in the wings
- Number of units vastly exceeded projections
 - Approximately 1,100 new units planned to date

Development Experience

- Characteristics of projects
 - High density
 - Average approaches model capacity for these parcels
 - Projects range up to
 - 312 units (17 Hartwell Ave.)
 - 6 stories (3,4,5 Militia Drive)
 - 80 units per acre (7 Hartwell Avenue)
 - Some with parking structures (3,4,5 Militia Drive)

Development Experience

- Characteristics of projects
 - Inclusionary housing
 - Less than 10 units at 0%
 - 10-13 units at 10%
 - 14 or more units at 15%
 - Current projects: total of 161 inclusionary units
 - Projects distributed across the town (slide 3)
 - Al Levine will continue – motion to amend

Article 34 Recap

- Large area in overlay districts – 253 acres
- Allows very high housing densities
 - 80 units/acre or more
- EOHLC-model capacity 13,421 units
 - 12,546 in 11 districts
 - 875 in Lexington Center
- Lexington had 12,310 units in 2022
- Article 34 allows doubling of Lexington's housing

Article 34 Prospects

- High densities yield many units and high profits
- Strong incentives to complete projects
- 9 applications in 10 months for 1,096 units
- Applications for development will continue at high rate
- Thousands more housing units
- Large increase in population – nearly double?
- Traffic congestion

Consequences of Article 34 (1)

- New demands for operational services
 - Education
 - Fire, ambulance, police
 - Trash collection and disposal
 - Water/sewer
 - Other human services
 - Recreation
 - Better public transportation

Consequences of Article 34 (2)

- New capital projects
 - School buildings – including impacts on new high school
 - Fire and Police buildings and equipment
 - Road and traffic control improvements
 - Water/sewer infrastructure
 - Recreation fields and facilities

Consequences of Article 34 (3)

- Operating costs rise \$10,000,000 to \$20,000,000 per 1000 new dwelling units
- New tax revenue will cover small part of new costs
- New capital projects will increase debt service
- Loss of commercial tax revenue when housing replaces commercial properties
- Pressure for tax increases on top of substantial increase for LHS project

Goals of Article 2

- Limit development potential and rate
 - Reduce area from 253 acres to 78 acres
 - Density cap of 15 units/acre on 55 acres
- Continue compliance with MBTA Communities Act
- Promote a process to reevaluate zoning and explore methods to manage growth

Article 2 Districts

- Preserve the 9 projects approved or in pipeline
- Preserve Concord Ave/Waltham St and East Lexington districts
- New multifamily housing spread across town
- Total area 78 acres
- Unit capacity 1,770 units
- Many additional units from Article 34 projects to come

Article 2 Density

- Density cap 15 units/acre
- Applies to areas of Concord Ave/Waltham St and East Lexington
- No limit on density on 9 pipeline project parcels
- Density cap key to limiting capacity

Article 2 MBTA Act Compliance

- All MBTA Act requirements exceeded
- Area of contiguous districts of 5+ acres exceeds 50 acres
- One contiguous district of at least 25 acres
- Unit capacity of 1,770 is well over required 1,231
- Gross density 22.8 units/acre exceeds 15 units/acre

Article 2 Resolution

- Two-part process
- Part 1
 - Planning Board to reexamine issues that are within their scope
 - potential build out
 - rate of development
 - dimensional controls: setbacks, height limits, density caps
 - traffic congestion, road infrastructure

Article 2 Resolution

- Part 2

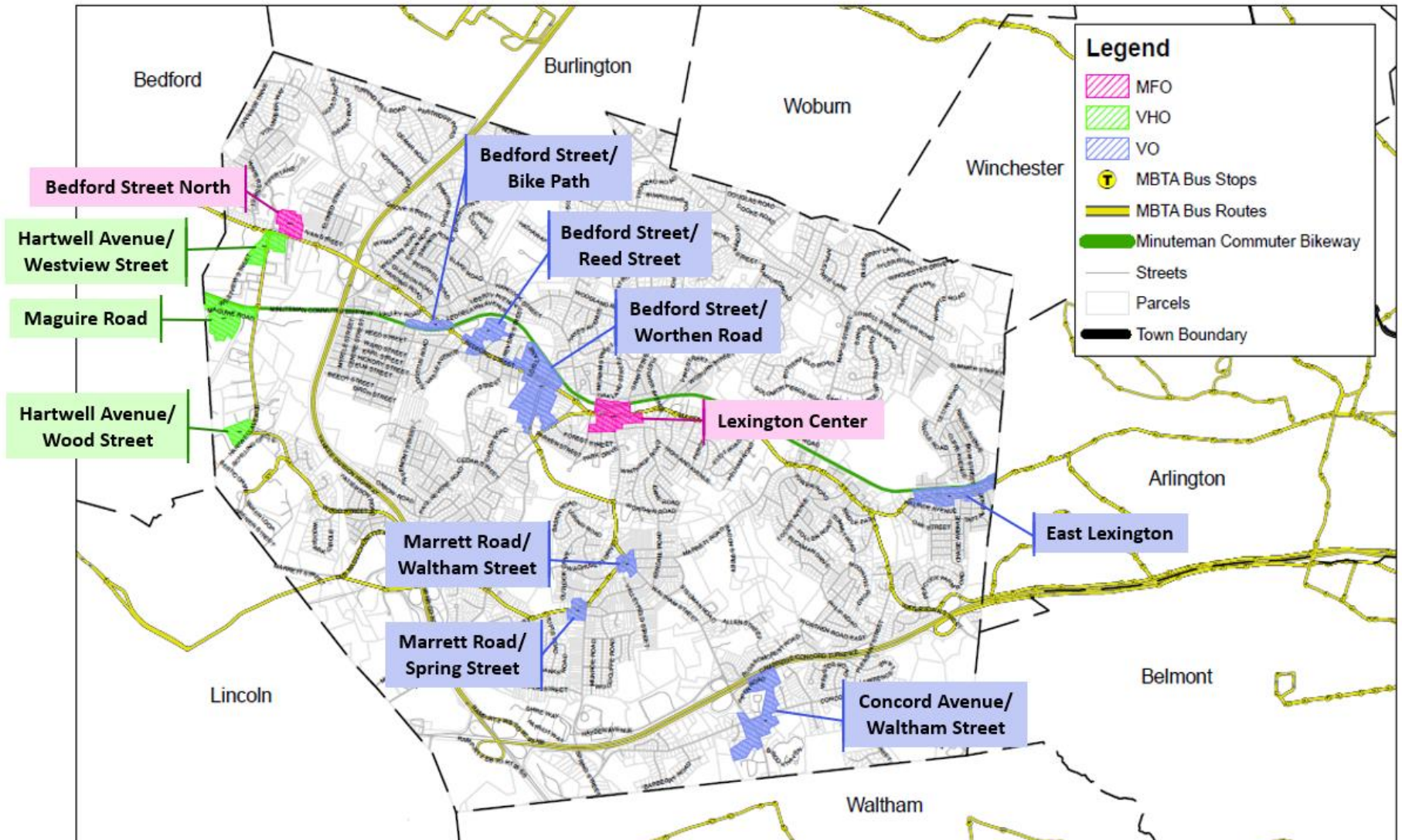
- Select Board, staff, committees, residents and other stakeholders to study:
 - financial and other economic consequences including taxes
 - strain on municipal and school infrastructure, capital, and the business community
 - Provide resources for studies
 - Ensure broad public outreach

Final Thoughts

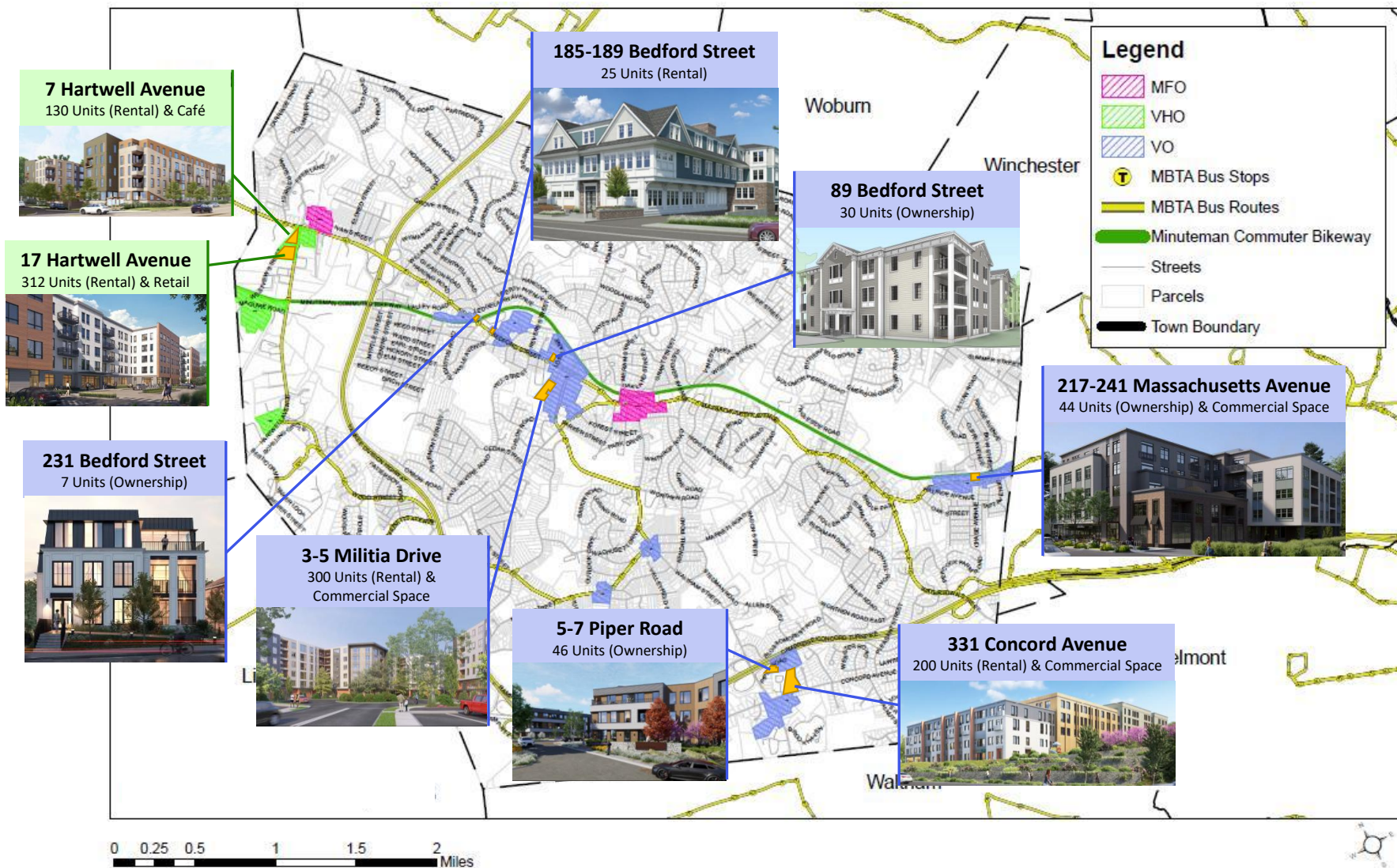
- We can and should do better for our neighbors and inclusionary housing
- Don't gamble the financial stability of the Town with 10x unit capacity
- Take 1st step and support Article 2

As we welcome new residents to Lexington, it is our collective responsibility to provide different housing options while supporting those who already call Lexington home

Existing Village & Multi-Family Overlay Districts with area names



Preserved Pipeline Projects



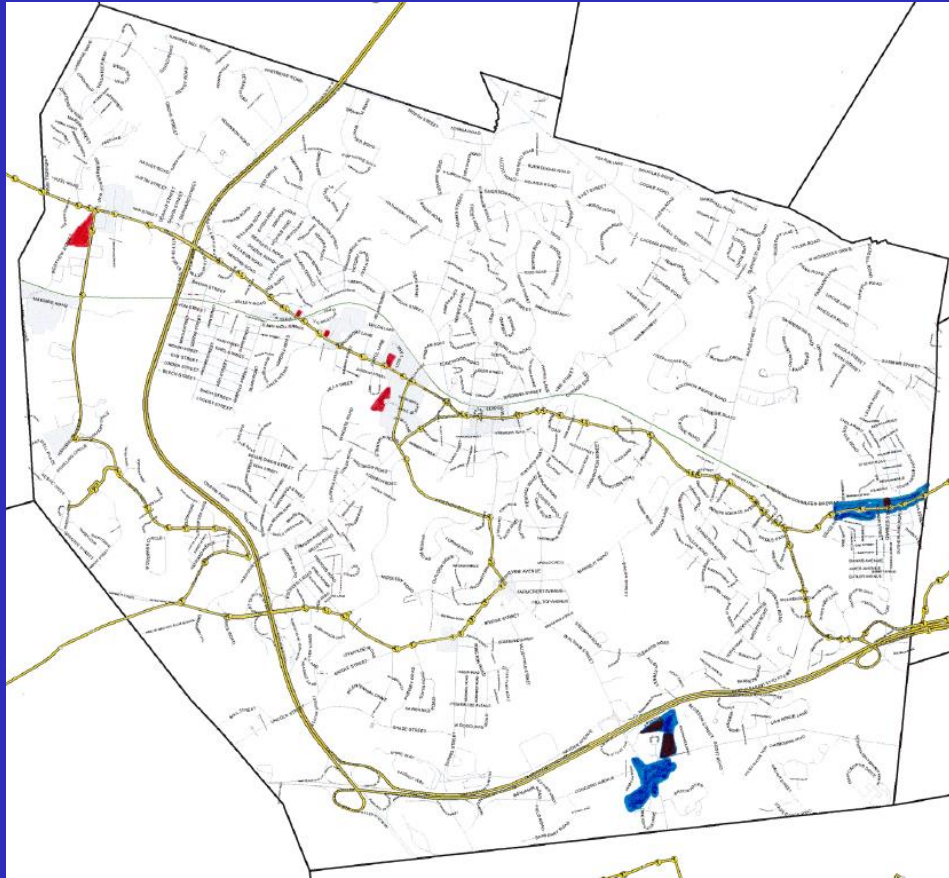
Total Acres Proposed:

Village & Multi-Family Overlay	Acreage
Concord Ave. / Waltham St.	39
East Lexington	24.9
Scattered (7 & 17 Hartwell, 231 Bedford, 185-189 Bedford, 89 Bedford, 217-241 Massachusetts, 3-5 Militia Dr., 331 Concord Ave., 5-7 Piper Rd.)	13.82
TOTAL:	77.72

Proposed Map Changes to Village & Multi-Family Overlay Districts

Maintains existing 2023 zoning at:

- 5-7 Piper Rd.
- 89-93 Bedford St.
- 231 Bedford St.
- 331 Concord Ave.
- 17 Hartwell Ave.
- 217-241 Massachusetts Ave.
- 185, 187-189 Bedford St.
- 7 Hartwell Ave.
- 3-4-5 Militia Dr.



PROPOSES TO KEEP:

- Concord Ave./Waltham St.
- East Lexington

DELETE:

- Bedford St./Worthen Rd.
- Bedford St./Reed St.
- Bedford St./Bike Path
- Marrett Rd./Waltham St.
- Marrett Rd./Spring St.
- Lexington Center
- Bedford St. North
- Hartwell Ave. / Westview St.
- Maguire Rd.
- Hartwell Ave./Wood St.



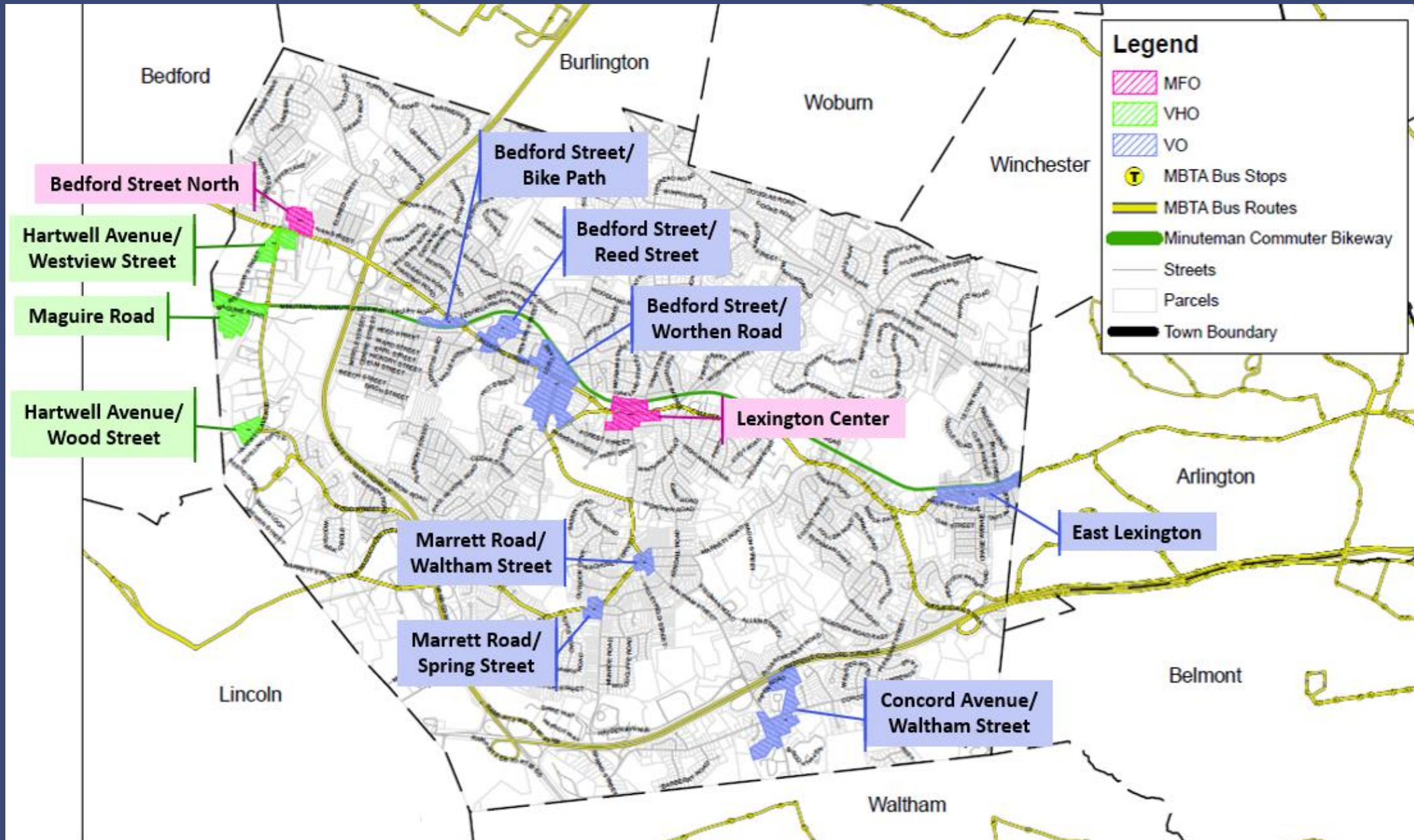
Special Town Meeting Article 2: Reduce Multi- Family Dwelling Unit Capacity (Citizen Petition)

Planning Board Public
Hearing
February 12, 2025



LEXINGTON
MASSACHUSETTS

Village & Multi-Family Overlay Districts – Adopted 2023



9 Projects submitted - 5 approved & 4 under review

- **1,094 Dwelling Units (127 Ownership & 967 Rental)**

- **161 Affordable units for Lexington's SHI**

- **59% (655) – 1 Bedrooms**

- **29% (326) – 2 Bedrooms**

- **10% (113) – 3+ Bedrooms**

Projects represent 22.19 acres of land



LEXINGTON
MASSACHUSETTS

7 Hartwell Avenue

130 Units (Rental) & Café



17 Hartwell Avenue

312 Units (Rental) & Retail



231 Bedford Street

7 Units (Ownership)



3-5 Militia Drive

300 Units (Rental) & Commercial Space



185-189 Bedford Street

25 Units (Rental)



89 Bedford Street

30 Units (Ownership)



217-241 Massachusetts Avenue

44 Units (Ownership) & Commercial Space



5-7 Piper Road

46 Units (Ownership)



331 Concord Avenue

200 Units (Rental) & Commercial Space



Legend

-  MFO
-  VHO
-  VO
-  MBTA Bus Stops
-  MBTA Bus Routes
-  Minuteman Commuter Bikeway
-  Streets
-  Parcels
-  Town Boundary

Woburn

Winchester

Belmont

Waltham

89 Bedford Street

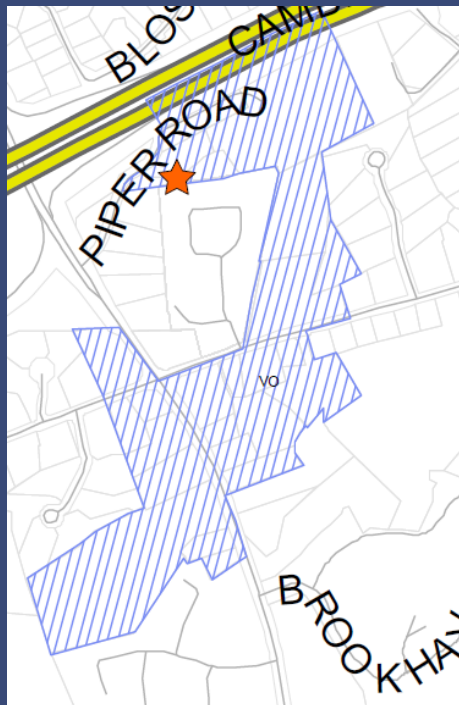


- Bedford Street/Worthen Road VO [Village Overlay] Zoning District
- 30 Ownership Dwelling Units – 20.1 Units Per Acre
 - 4 Affordable Units
 - Bus Shelter



5-7 Piper Road

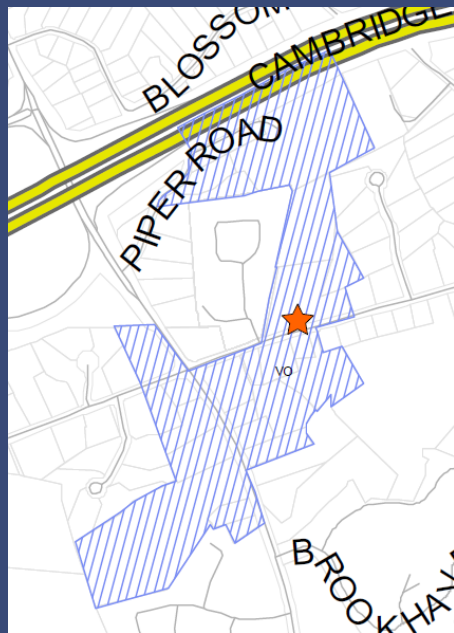
- Concord Avenue/Waltham Street VO [Village Overlay] Zoning District
- 46 Ownership Dwelling Units – 27.8 Units Per Acre
 - 6 Affordable Units
 - Bus Shelter



331 Concord Avenue



- Concord Avenue/Waltham Street VO [Village Overlay] Zoning District
- 200 Rental Dwelling Units – 32.9 Units Per Acre
 - 3,600 SF Commercial Space
 - 30 Affordable Units
 - \$10K in TDM Funds, Traffic Signal Study, Gazebo & Public Seating Area



17 Hartwell Avenue

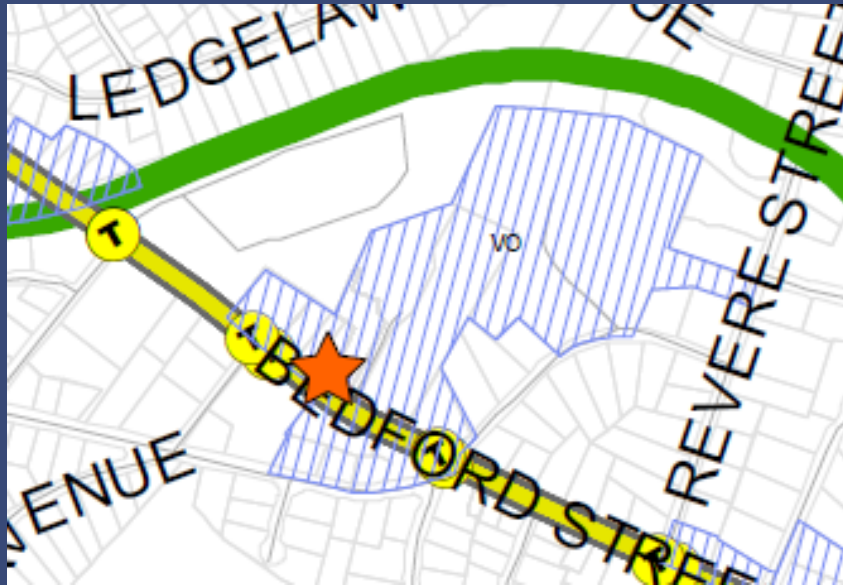


- Hartwell Ave/Westview Street VHO [Village High-Rise Overlay] Zoning District
- Multi-Use Space including:
 - 312 New Rental Dwelling units – 59.3 Units Per Acre
 - 47 Affordable Units
 - 2,100 SF retail building
- Bus Shelter
- \$10K TDM Fund



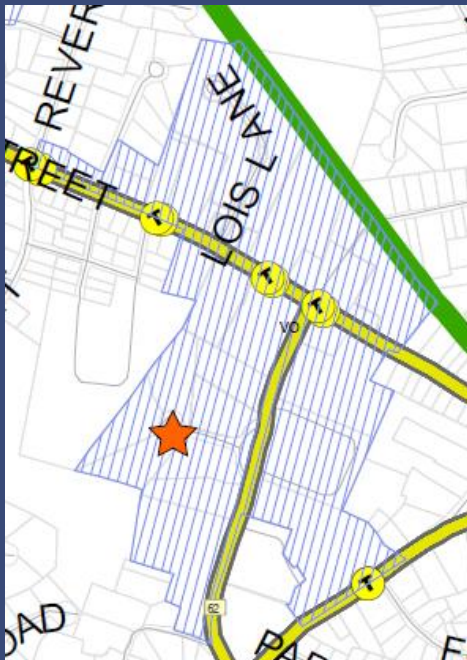
185, 187-189 Bedford Street

- Bedford Street/Reed Street VO [Village Overlay] Zoning District
- 25 Rental Dwelling units – 46.3 Units Per Acre
 - 3 Affordable Units



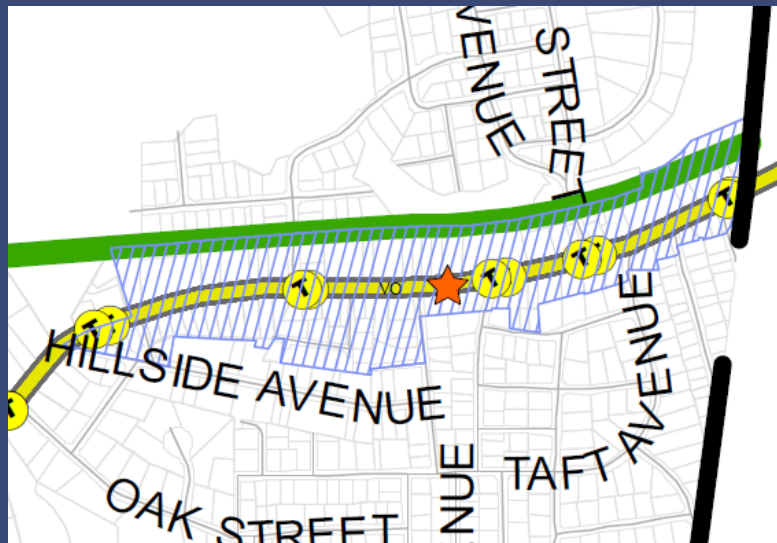
3, 4, 5 Militia Drive

- Bedford Street/Worthen Road VO [Village Overlay] Zoning District
- 300 Rental Dwelling units – 66.7 Units Per Acre
 - 45 Affordable Units
 - 28,000 SF Commercial Space



217, 229, 233, 241 Massachusetts Avenue

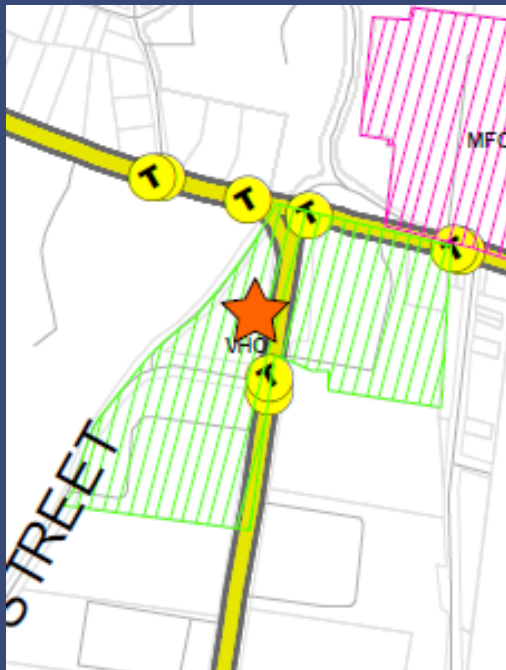
- East Lexington VO [Village Overlay] Zoning District
- 44 New Ownership Dwelling units – 62.0 Units Per Acre
 - 6 Affordable Units
 - 4,586 SF Commercial Space



7 Hartwell Avenue

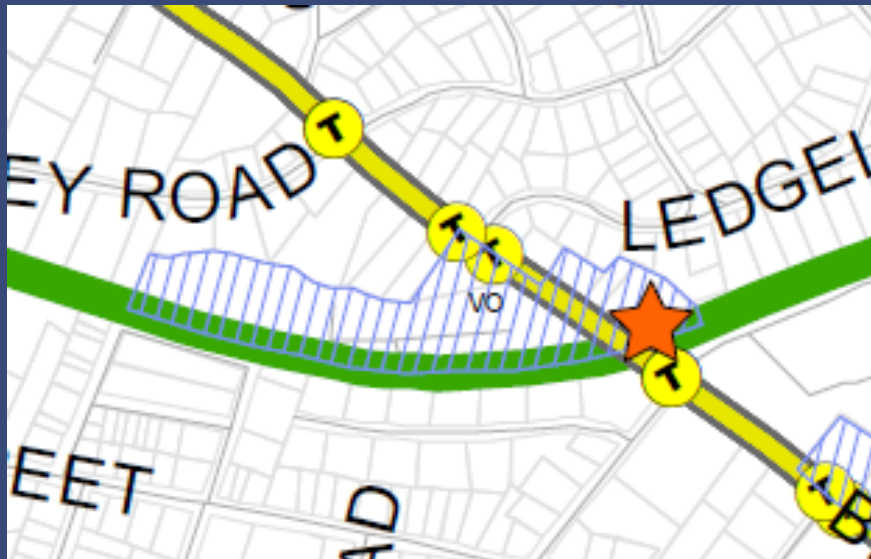


- Hartwell Ave/Westview Street VHO [Village High-Rise Overlay] Zoning District
- 130 Rental Dwelling units – 80.7 Units Per Acre
 - 20 Affordable Units
 - Small Cafe



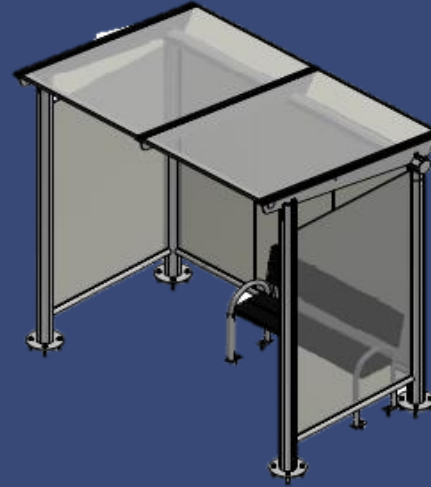
231 Bedford Street

- Bedford Street/Bike Path VO [Village Overlay] Zoning District
- 7 New Ownership Dwelling units – 21.9 Units Per Acre



Where we are, 2 years after zoning adoption

- 1 Building Permit as of February 2025
- Permitting takes ~ 1 year
- Construction takes ~2 – 3 years
- Leasing /occupancy ~6 months – 1 yr.
- 4 New Bus Shelters
- \$20K Transportation Demand Management Funds
- Housing & parking spaces sold separately
- 1,641 Indoor bike parking spaces
- 161 Affordable units



Slide from October 25, 2022 Workshop:

MA GUIDELINES

- Compliant Zoning Adopted by December 31, 2024
- Defines “reasonable size” as:
 - At least 50 acres total land
 - Half of total area has to be contiguous (42 acres)
 - Must allow total housing capacity of 1,231 units
 - No portion of zoning district < 5 acres
 - More than 1 lot

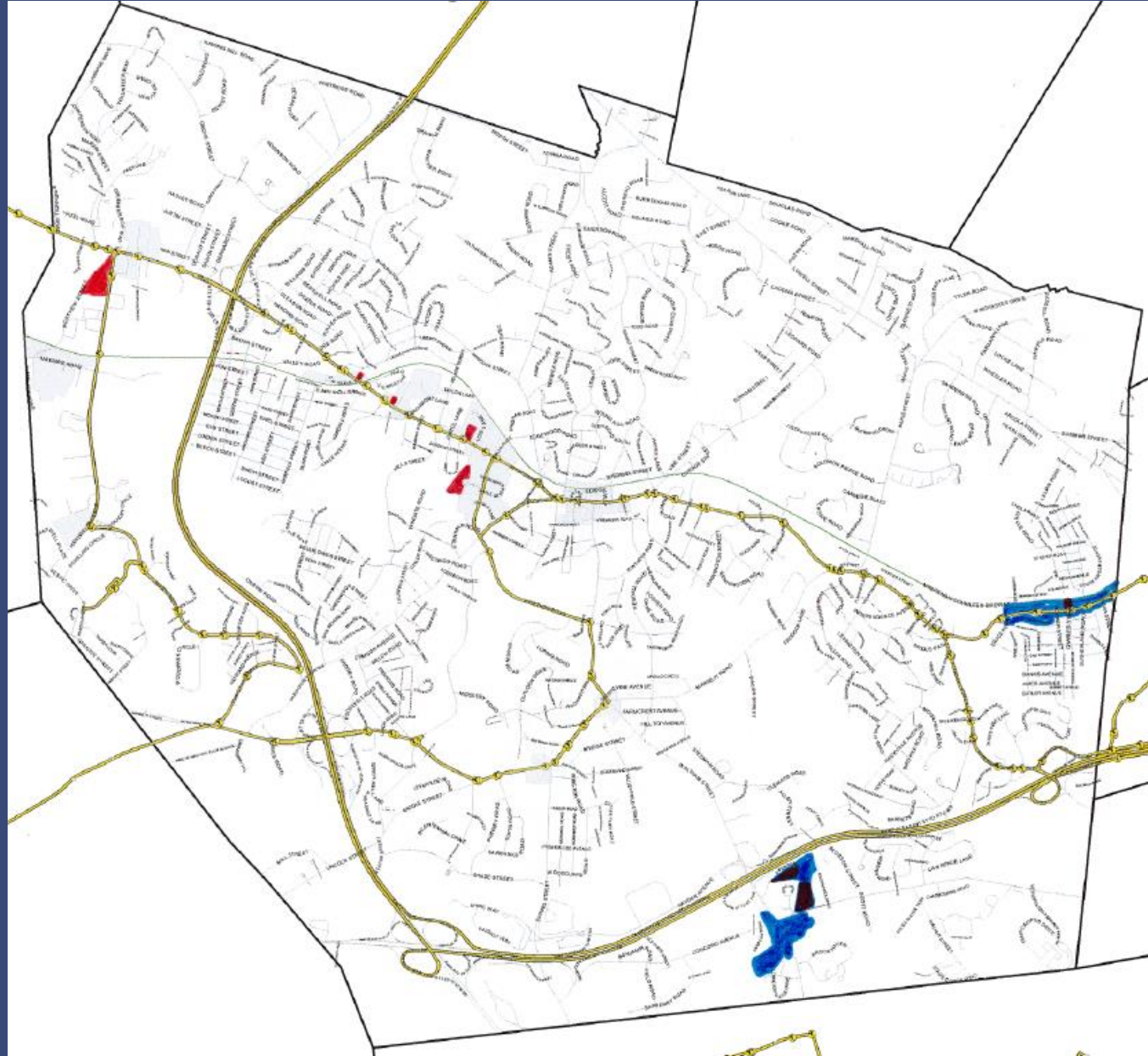
Lexington’s Zoning District of ~ 82 acres (1,231 units / 15 units per acre)



Proposed Map Changes to Village & Multi-Family Overlay Districts

PROPOSES TO MAINTAIN ZONING SHOWN IN RED:

- 5-7 Piper Rd.
- 89-93 Bedford St.
- 231 Bedford St.
- 331 Concord Ave.
- 17 Hartwell Ave.
- 217-241 Massachusetts Ave.
- 185, 187-189 Bedford St.
- 7 Hartwell Ave.
- 3-4-5 Militia Dr.



PROPOSES TO KEEP SHOWN IN BLUE:

Concord Ave./Waltham St.
East Lexington

PROPOSES TO DELETE (NOT SHOWN ON MAP):

Bedford St./Worthen Rd.
Bedford St./Reed St.
Bedford St./Bike Path
Marrett Rd./Waltham St.
Marrett Rd./Spring St.
Lexington Center
Bedford St. North
Hartwell Ave. / Westview St.
Maguire Rd.
Hartwell Ave./Wood St.

Town of Lexington
Motion
Special Town Meeting 2025-1

ARTICLE 2

**AMEND ZONING BYLAW AND MAP
MULTI-FAMILY HOUSING FOR MBTA
COMMUNITIES (Citizen Petition)**

MOTION

a) That the Zoning Bylaw, Chapter 135 of the Code of the Town of Lexington, and Zoning Map be amended as follows, and further that non-substantive changes to the numbering of this bylaw be permitted to comply with the numbering format of the Code of the Town of Lexington:

1) Amend the Zoning Map to delete the following areas shown on maps on file with the Town Clerk from the VO District:

a. Bedford Street/Worthen Road except for the following properties:

Map 64 Lot 161 located at 89 Bedford St.

Map 57 Lot 135 located at 3 Militia Dr.

Map 57 Lot 133A located at 4 Militia Dr.

Map 57 Lot 134 located at 5 Militia Dr.

b. Bedford Street/Reed Street except for the following properties:

Map 64 Lot 73A located at 185 Bedford St.

Map 64 Lot 72 located at 187 Bedford St.

c. Bedford Street/Bike Path except for the following property:

Map 71 Lot 33 located at 231 Bedford St.

d. Marrett Road/Waltham Street

e. Marrett Road/Spring Street

2) Amend the Zoning Map to delete the following areas shown on maps on file with the Town Clerk from the MFO District:

f. Lexington Center

g. Bedford Street North

3) Amend the Zoning Map to delete the following areas shown on maps on file with the Town Clerk from the VHO District:

i. Hartwell Avenue/Westview Street except for the following properties:

Map 84 Lot 81 located at 7 Hartwell Avenue

Map 84 Lot 80A located at 17 Hartwell Avenue

- j. Maguire Road
- k. Hartwell Avenue/Wood Street

4) Add a new subsection § 135-7.5.15 as follows:

“7.5.15 Number of dwelling units. The maximum number of dwelling units in any development under this section shall be fifteen (15) times the area of the development in acres, rounded to the nearest whole number, except that this provision shall not apply to the following properties:

- Map 13 Lot 375 located at 217 Massachusetts Ave.
- Map 13 Lot 374 located at 229 Massachusetts Ave.
- Map 13 Lot 373 located at 233 Massachusetts Ave.
- Map 13 Lot 372 located at 241 Massachusetts Ave.
- Map 64 Lot 161 located at 89 Bedford St.
- Map 57 Lot 135 located at 3 Militia Dr.
- Map 57 Lot 133A located at 4 Militia Dr.
- Map 57 Lot 134 located at 5 Militia Dr.
- Map 64 Lot 73A located at 185 Bedford St.
- Map 64 Lot 72 located at 187 Bedford St.
- Map 71 Lot 33 located at 231 Bedford St.
- Map 10 Lot 58A located at 5 Piper Rd.
- Map 10 Lot 59A located at 7 Piper Rd.
- Map 10 Lot 31A located at Concord Ave.
- Map 10 Lot 31B located at 331 Concord Ave.
- Map 10 Lot 31C located at Concord Ave.
- Map 9 Lot 11B located at Concord Ave.
- Map 84 Lot 80A located at 17 Hartwell Ave.
- Map 84 Lot 81 located at 7 Hartwell Ave.”

b) That the Town adopt the following resolution:

WHEREAS the Town of Lexington has been a leader in the implementation of the MBTA Communities Act, M.G.L. c. 40A, § 3A (the “MBTA Act”), and is committed to doing its part to alleviate the housing shortage in the greater Boston area; and

WHEREAS in 2023, the Executive Office of Housing and Livable Communities (EOHLC) specified a target capacity for Lexington’s required zoning under the MBTA Act of 1,231 multifamily dwelling units, representing 10% of the Town’s existing dwelling units, and set a deadline for compliance of December 31, 2024; and

WHEREAS Town Meeting voted at the 2023 Annual Town Meeting to adopt Article 34, which added to the Lexington Zoning Bylaw a new Section 7.5 creating twelve overlay districts in which multifamily housing can be built as of right, and establishing dimensional and other standards that allow development densities significantly higher than required by the MBTA Act; and

WHEREAS EOHLC subsequently determined that the unit capacity created by Section 7.5, calculated in accordance with a model which all MBTA communities are required to follow, is 12,546 dwelling units, ten times the minimum requirement and a number which, if fully built out, would double the number of dwelling units in Lexington; and

WHEREAS the rate at which new developments have been proposed and the number of dwelling units proposed for inclusion in such developments have substantially exceeded the rate and number originally projected at the time that Section 7.5 was adopted; and

WHEREAS responsible planning for Lexington's future growth requires careful consideration of the consequences of any such significant increase ~~of greater than 10% in housing units within the next three to five years and continuing thereafter~~; and

WHEREAS it would be prudent for the Town to limit the capacity for the as-of-right creation of ~~as-of-right~~ multifamily housing under Section 7.5 ~~at a level closer to the MBTA Act's requirement of 1,231 units~~ for a sufficient time to permit the Town to evaluate the impacts of developments already approved, in the permitting pipeline, or that may be proposed in the future under Section 7.5.

NOW, THEREFORE, BE IT RESOLVED, that Town Meeting requests the Select Board to create a broadly representative process, engaging the whole community, to evaluate and study the financial and other impacts of Section 7.5 on Town services, infrastructure, residents, and businesses; and

BE IT FURTHER RESOLVED, that Town Meeting requests the Planning Board, in ~~consultation~~ ~~junction~~ with the Select Board, to consider appropriate means to manage prudent and responsible growth in housing going forward, ~~informed by the process described above~~, including, but not limited to, a reexamination of the appropriate number and size of overlay districts, setbacks, height limits, density limits, and parking requirements under Section 7.5.

AGENDA ITEM SUMMARY

LEXINGTON PLANNING BOARD

AGENDA ITEM TITLE:

217-219, 229, 233, & 241 Massachusetts Avenue – Public meeting for a preliminary subdivision

PRESENTER:

Applicant: North Shore Residential
Development

ITEM NUMBER:

SUMMARY:

Application of North Shore Residential Development, Inc. for approval of a preliminary subdivision under §175-5.0 of the Planning Board's Subdivision Regulations. Application proposes subdividing the properties into 3 lots surrounding a cul-de-sac.

The properties are located at 217, 229, 233, and 241 Massachusetts Avenue, Lexington, MA also known as Map 13, Lots 372, 373, 374, and 375 in the CRS (Retail Shopping) and VO (Village Overlay) zoning districts.

Application materials may be viewed online: <https://lexingtonma.portal.opengov.com/records/100324>

SUGGESTED MOTION:

FOLLOW-UP:

DATE AND APPROXIMATE TIME ON AGENDA:

2/26/2025

ATTACHMENTS:

Description	Type
 Preliminary Subdivision Proposal - 217-241 Mass Ave	Cover Memo

PRELIMINARY SUBDIVISION PLAN

217-241 MASSACHUSETTS AVENUE

LOCATED IN
LEXINGTON, MASSACHUSETTS

(MIDDLESEX COUNTY)

DATE: JANUARY 26, 2025

APPLICANT:
NORTH SHORE RESIDENTIAL CONSTRUCTION, INC.

215 SALEM STREET
WOBURN, MA 01801
(781) 932-1776

ENGINEER:
SULLIVAN ENGINEERING GROUP, LLC

P.O. BOX 2004
WOBURN, MA 01888
(781) 854-8644

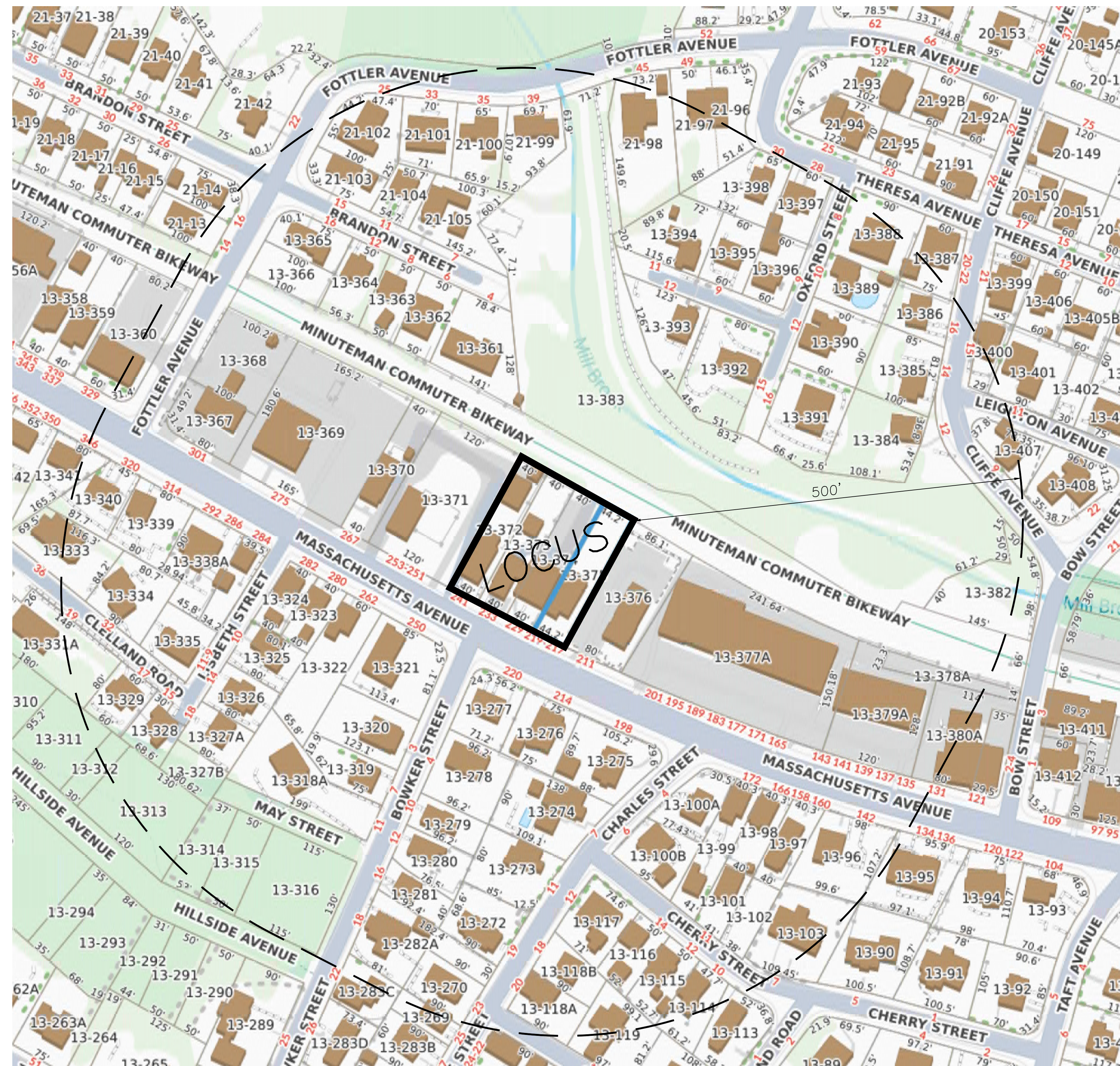
RECORD OWNERS:

ASSESSOR'S MAP 13, LOT 375:
#217-#219 MASSACHUSETTS AVENUE
JOHN GARRITY
54 SCHOOL STREET
BELMONT, MA 02478
- DEED BOOK 1150, PAGE No. 51

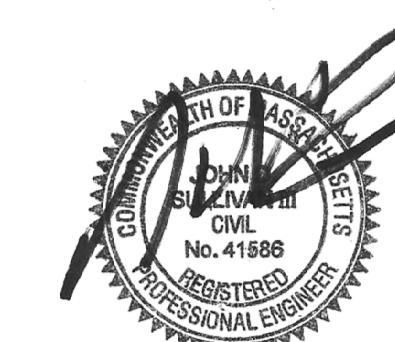
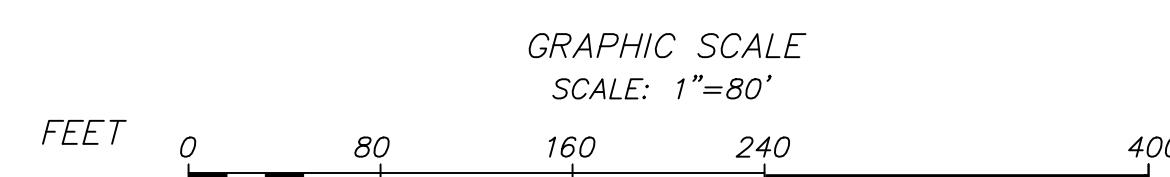
ASSESSOR'S MAP 13, LOT 374:
#229 MASSACHUSETTS AVENUE
FEATHERVIEW LLC
241 MASSACHUSETTS AVENUE
LEXINGTON, MA 02420
- DEED BOOK 1510, PAGE No. 38

ASSESSOR'S MAP 13, LOT 373:
#233 MASSACHUSETTS AVENUE
FEATHERVIEW LLC
241 MASSACHUSETTS AVENUE
LEXINGTON, MA 02420
- DEED BOOK 1464, PAGE No. 141

ASSESSOR'S MAP 13, LOT 372:
#241 MASSACHUSETTS AVENUE
CARON FAMILY R.T.
241 MASSACHUSETTS AVENUE
LEXINGTON, MA 02420
- DEED BOOK 1520, PAGE No. 33



LOCUS MAP:



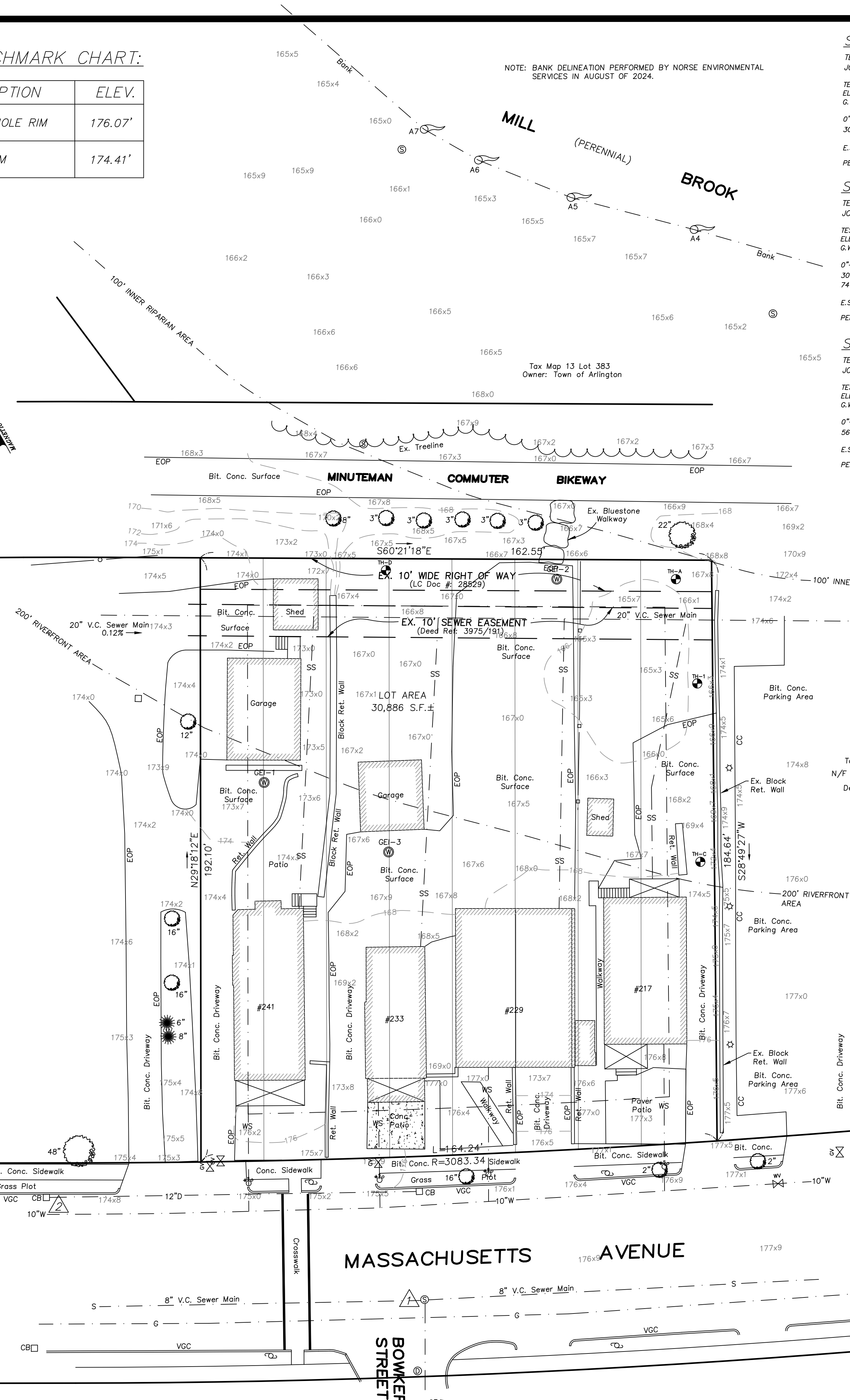
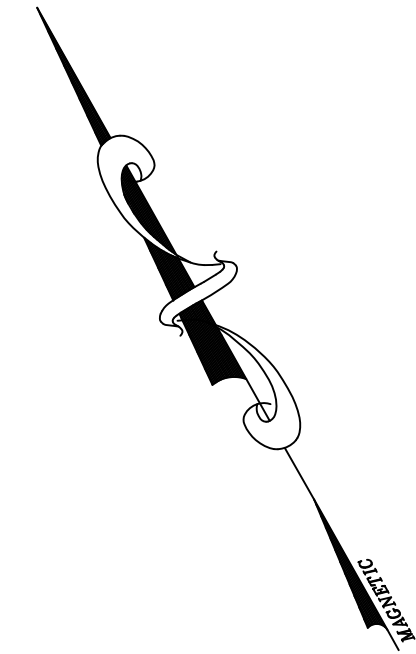
SHEET INDEX:

- 1 COVER SHEET & LOCUS MAP
- 2 EXISTING CONDITIONS PLAN
- 3 SITE CONSTRUCTION PLAN
- 4 GEOMETRIC PROOF PLAN
- 5 SITE CONSTRUCTION DETAILS

TEMPORARY BENCHMARK CHART:

TBM #	DESCRIPTION	ELEV.
1	SEWER MANHOLE RIM	176.07'
2	CB RIM	174.41'

DATUM: 1988 NGVD



NOTE: BANK DELINEATION PERFORMED BY NORSE ENVIRONMENTAL SERVICES IN AUGUST OF 2024.

SOILS INFORMATION:

TEST PIT WAS PERFORMED BY JOHN D. SULLIVAN III, P.E., C.S.E (Lic #2378)

TEST PIT: TH-1 (ON 9/28/24)
ELEV.=166.0'
G.W. ELEV.= 60" (ELEV=161.0')
0'-30" FILL
30"-90" LAYER C: M-F SAND 2.5 Y 5/4
E.S.H.G.W. ELEV: 161.0'
PERCOLATION RATE : 8.27 in/hr (Rawls Rate)

SOILS INFORMATION:

TEST PIT WAS PERFORMED BY JOHN D. SULLIVAN III, P.E., C.S.E (Lic #2378)

TEST PIT: TH-B (ON 9/25/24)
ELEV.=166.0'
G.W. ELEV.= 74" (ELEV=159.8')
0'-30" FILL
30"-74" LAYER C1: SAND 2.5 Y 5/4
74"-94" LAYER C2: FINE SAND 2.5 Y 5/4
E.S.H.G.W. ELEV: 161.0'
PERCOLATION RATE : 8.27 in/hr (Rawls Rate)

SOILS INFORMATION:

TEST PIT WAS PERFORMED BY JOHN D. SULLIVAN III, P.E., C.S.E (Lic #2378)

TEST PIT: TH-D (ON 9/25/24)
ELEV.=167.4'
G.W. ELEV.= 92" (ELEV=159.7')
0'-56" FILL
56"-100" LAYER C: M-C SAND 2.5 Y 5/4
E.S.H.G.W. ELEV: 161.0'
PERCOLATION RATE : 8.27 in/hr (Rawls Rate)

SOILS INFORMATION:

TEST PIT WAS PERFORMED BY JOHN D. SULLIVAN III, P.E., C.S.E (Lic #2378)

TEST PIT: TH-A (ON 9/25/24)
ELEV.=166.8'
G.W. ELEV.= 102" (ELEV=158.3')
0'-48" FILL
48"-102" LAYER C: LS, MANY BOULDERS 2.5 Y 6/4
E.S.H.G.W. ELEV: 161.0'
PERCOLATION RATE : 2.41 in/hr (Rawls Rate)

SOILS INFORMATION:

TEST PIT WAS PERFORMED BY JOHN D. SULLIVAN III, P.E., C.S.E (Lic #2378)

TEST PIT: TH-C (ON 9/25/24)
ELEV.=172.8'
G.W. ELEV.= NONE OBSERVED
0'-87" FILL
87"-74" HORIZON A: SL 10 YR 3/3
74"-87" HORIZON B: LS 10 YR 6/8
87"-122" LAYER C: LOAMY SAND 2.5 Y 5/4
E.S.H.G.W. ELEV: 162.6' (MOTILES @ 122")
PERCOLATION RATE : 2.41 in/hr (Rawls Rate)

RIVERFRONT AREA DATA:

TOTAL RIVERFRONT AREA ONSITE: 13,212 S.F.
TOTAL DEGRADED AREA IN RFA: 6,316 S.F.
TOTAL NON-DEGRADED AREA IN RFA: 6,896 S.F.
- NO PORTION OF THE SITE IS WITHIN THE 100 FOOT INNER RIPARIAN ZONE.

NOTES:

- THE TOPOGRAPHY, SITE DETAIL & SURFACE IMPROVEMENTS DEPICTED HEREON WERE OBTAINED FROM A PARTIAL FIELD SURVEY CONDUCTED IN APRIL OF 2024 BY SULLIVAN ENGINEERING GROUP, LLC.
- THE LOCUS PROPERTY DEPICTED IS LOCATED IN ZONING DISTRICT CRS & VO
- THE LOCUS PROPERTY IS DEPICTED AS LOTS 372-375 ON THE TOWN OF LEXINGTON ASSESSOR'S MAP 13.
- THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND ARE BASED UPON A PARTIAL FIELD SURVEY AND COMPILATION OF PLANS OF RECORD. THE DESIGN ENGINEER DOES NOT WARRANT NOR GUARANTEE THE LOCATION OF ALL UTILITIES DEPICTED OR NOT DEPICTED. THE CONTRACTOR, PRIOR TO COMMENCEMENT OF CONSTRUCTION, SHALL VERIFY THE LOCATION OF ALL UTILITIES AND CONTACT DIG SAFE AT 1-888-344-7233.
- THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT, VISIBLE USES OF THE LAND; HOWEVER, THIS DOES NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.
- THE ELEVATIONS DEPICTED HEREON WERE BASED UPON THE 1988 NGVD.
- THE LOCUS PROPERTY IS NOT LOCATED WITHIN A FLOOD ZONE AS DEPICTED ON THE LATEST FLOOD INSURANCE RATE MAP.
- PROJECT SITE IS NOT HABITAT FOR RARE OR ENDANGERED SPECIES.

ASSESSOR INFO:

#217 MASSACHUSETTS AVENUE (TAX MAP 13 LOT 375)
#229 MASSACHUSETTS AVENUE (TAX MAP 13 LOT 374)
#233 MASSACHUSETTS AVENUE (TAX MAP 13 LOT 373)
#241 MASSACHUSETTS AVENUE (TAX MAP 13 LOT 372)

ZONING:

CRS & VO "COMMERCIAL RETAIL SHOPPING & VILLAGE OVERLAY"

TOWN OF LEXINGTON
PLANNING BOARD

THE ENDORSEMENT OF THIS PLAN IS NOT A DETERMINATION BY THE PLANNING BOARD AS TO COMPLIANCE WITH THE ZONING BY-LAW OF THE TOWN OF LEXINGTON.

APPROVED _____, 20__

FOR REGISTRY OF DEEDS USE ONLY

I DECLARE, TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THAT THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

I CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS PLAN IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY THE SUBDIVISION REGULATIONS AND PROCEDURAL RULES OF THE PLANNING BOARD OF THE TOWN OF LEXINGTON.



JOHN D. SULLIVAN III, P.E.

1-26-2025
DATE

LEGEND:

- 167x0 SPOT GRADE
- 167--- 2 FOOT CONTOUR
- (O) DECIDUOUS TREE (> 6" DIA.)
- (*) EVERGREEN TREE (> 6" DIA.)
- (U) UTILITY POLE
- (S) SEWER MANHOLE
- (S) SEWER MAIN
- (W) COMPILED WATER MAIN
- CB CATCHBASIN
- (D) DRAIN LINE
- BIT. BITUMINOUS
- CONC. CONCRETE
- EOP EDGE OF PAVEMENT
- TH TEST PIT
- (W) WETLAND FLAG
- VGC VERTICAL GRANITE CURB
- (*) POST & LIGHT FIXTURE
- (M) MONITORING WELL

PRELIMINARY SUBDIVISION PLAN
217-241 MASSACHUSETTS AVENUE

EXISTING CONDITIONS PLAN
LOCATED IN
LEXINGTON, MASSACHUSETTS
(MIDDLESEX COUNTY)

PREPARED FOR
N.S.R.D.
SCALE: 1" = 20' DATE: JAN. 26, 2025

PREPARED BY
SULLIVAN ENGINEERING GROUP, LLC
P.O. BOX 2004
WOBURN, MA 01888
(781) 854-8644

SHEET No. 2 OF 5

GRAPHIC SCALE

SCALE: 1"=20'



REVISIONS

NO.	DATE	DESCRIPTION	BY	CHK'D

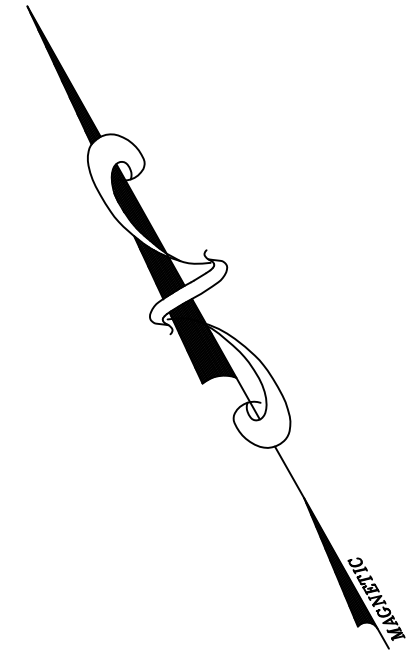
LEGEND:

- 167x0 SPOT GRADE
- 167--- 2 FOOT CONTOUR
- DECIDUOUS TREE (> 6" DIA.)
- ⊗ EVERGREEN TREE (> 6" DIA.)
- ⊕ UTILITY POLE
- ⊙ SEWER MANHOLE
- S— SEWER MAIN
- W— COMPILED WATER MAIN
- CB □ CATCHBASIN
- D— DRAIN LINE
- BIT. BITUMINOUS
- CONC. CONCRETE
- EOP EDGE OF PAVEMENT
- TH ⊕ TEST PIT
- WETLAND FLAG
- VGC VERTICAL GRANITE CURB
- ☆ POST & LIGHT FIXTURE
- PS— PROP. SEWER MAIN
- PW— PROP. WATER MAIN
- PTEC— PROP. UNDERGROUND TELEPHONE, ELECTRIC, AND CABLE
- ▨ PROP. DRIVEWAY APRON
- * PROP. STREET TREE

TEMPORARY BENCHMARK CHART:

TBM #	DESCRIPTION	ELEV.
1	SEWER MANHOLE RIM	176.07'

DATUM: 1988 NGVD



ZONING TABLE:

	CRS	VO
	COMMERCIAL RETAIL SHOPPING	VILLAGE OVERLAY
MIN LOT SIZE (SF)	15,500	DOES NOT APPLY
MIN LOT FRONTAGE (FT)	125	0
MIN. FRONT YARD (FT)	30	0-15
MIN. SIDE YARD (FT)	20	7.5-15
MIN. REAR YARD (FT)	20	15
MIN. SIDE & REAR YARD ADJACENT TO A RESIDENTIAL DISTRICT (FT)	30	DOES NOT APPLY
MAX. NON-RESIDENTIAL FLOOR AREA RATIO (FAR)	0.20	NOT RESTRICTED
LOT COVERAGE (%) MAX	25	NOT RESTRICTED
INSTITUTIONAL BUILDINGS, MAX. HEIGHT IN STORIES:	3	NOT RESTRICTED
IN FEET:	45	40-60
OTHER BUILDINGS, MAX. HEIGHT IN STORIES:	2	NOT RESTRICTED
IN FEET:	25	40-60

FOR REGISTRY OF DEEDS USE ONLY

I DECLARE, TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THAT THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

I CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS PLAN IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY THE SUBDIVISION REGULATIONS AND PROCEDURAL RULES OF THE PLANNING BOARD OF THE TOWN OF LEXINGTON.



TOWN OF LEXINGTON PLANNING BOARD
 THE ENDORSEMENT OF THIS PLAN IS NOT A DETERMINATION BY THE PLANNING BOARD AS TO COMPLIANCE WITH THE ZONING BY-LAW OF THE TOWN OF LEXINGTON.

JOHN D. SULLIVAN III, P.E. DATE: 1-26-2025

RECORD OWNERS:

ASSESSOR'S MAP 13, LOT 375:
 #217-#219 MASSACHUSETTS AVENUE
 JOHN GARRITY
 54 SCHOOL STREET
 BELMONT, MA 02478
 - DEED BOOK 1150, PAGE No. 51

ASSESSOR'S MAP 13, LOT 374:
 #229 MASSACHUSETTS AVENUE
 FEATHERVIEW LLC
 241 MASSACHUSETTS AVENUE
 LEXINGTON, MA 02420
 - DEED BOOK 1510, PAGE No. 38

ASSESSOR'S MAP 13, LOT 373:
 #233 MASSACHUSETTS AVENUE
 FEATHERVIEW LLC
 241 MASSACHUSETTS AVENUE
 LEXINGTON, MA 02420
 - DEED BOOK 1464, PAGE No. 141

ASSESSOR'S MAP 13, LOT 372:
 #241 MASSACHUSETTS AVENUE
 CARON FAMILY R.T.
 241 MASSACHUSETTS AVENUE
 LEXINGTON, MA 02420
 - DEED BOOK 1520, PAGE No. 33

NOT FOR CONSTRUCTION

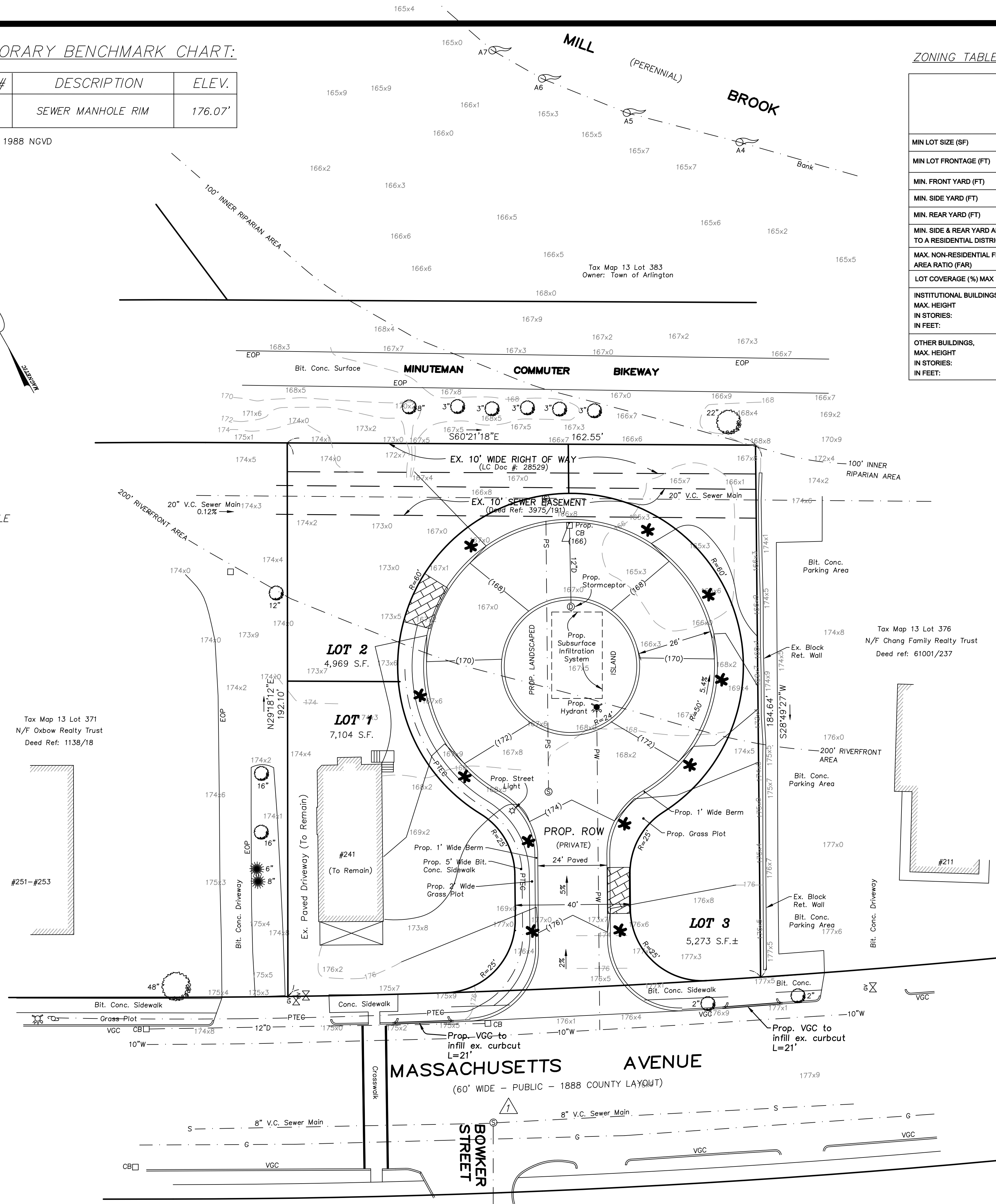
**PRELIMINARY SUBDIVISION PLAN
 217-241 MASSACHUSETTS AVENUE**

SITE CONSTRUCTION PLAN
 LOCATED IN
LEXINGTON, MASSACHUSETTS
 (MIDDLESEX COUNTY)

PREPARED FOR
 N.S.R.D.
 SCALE: 1" = 20' DATE: JAN. 26, 2025

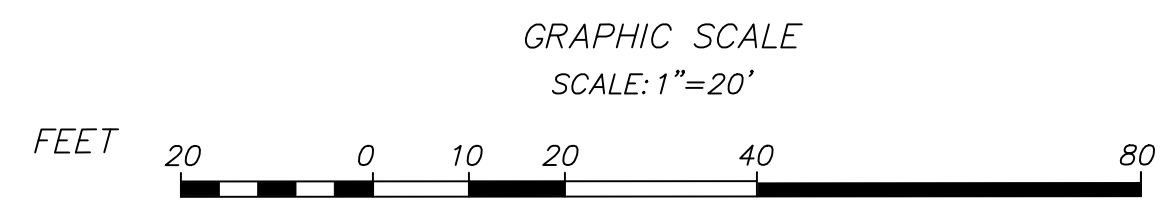
PREPARED BY
SULLIVAN ENGINEERING GROUP, LLC
 P.O. BOX 2004
 WOBURN, MA 01888
 (781) 854-8644

SHEET No. 3 OF 5



MINOR RESIDENTIAL STREET:
 WIDTH OF PROPOSED RIGHT-OF-WAY: 40'
 MINIMUM PAVEMENT WIDTH: 24'
 MAXIMUM PROPOSED GRADE: 8%
 MINIMUM PROPOSED GRADE: 1%
 MAXIMUM PROPOSED GRADE WITHIN 75' OF INTERSECTIONS: 2%
 PROPOSED CENTERLINE RADIUS: 150'
 PROPOSED RADIUS OF RIGHT-OF-WAY ROUNDING: 25'

- NOTES:**
1. THE TOPOGRAPHY, SITE DETAIL & SURFACE IMPROVEMENTS DEPICTED HEREON WERE OBTAINED FROM A PARTIAL FIELD SURVEY CONDUCTED IN APRIL OF 2024 BY SULLIVAN ENGINEERING GROUP, LLC.
 2. THE LOCUS PROPERTY DEPICTED IS LOCATED IN ZONING DISTRICT CRS & VO
 3. THE LOCUS PROPERTY IS DEPICTED AS LOTS 372-375 ON THE TOWN OF LEXINGTON ASSESSOR'S MAP 13.
 4. THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT, VISIBLE USES OF THE LAND; HOWEVER, THIS DOES NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.
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 6. PROJECT SITE IS NOT HABITAT FOR RARE OR ENDANGERED SPECIES.



REVISIONS

NO.	DATE	DESCRIPTION	BY	CHK'D

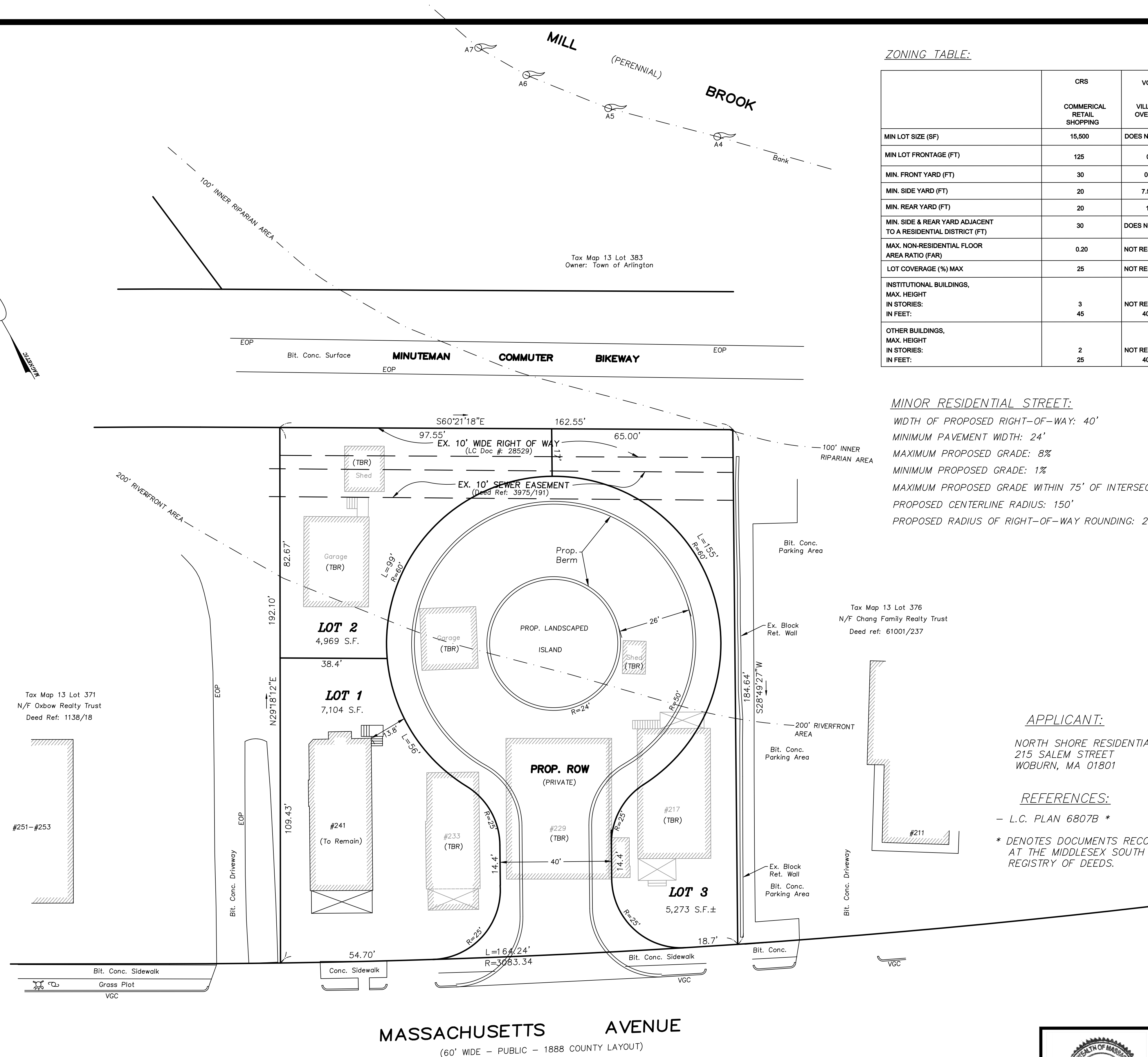
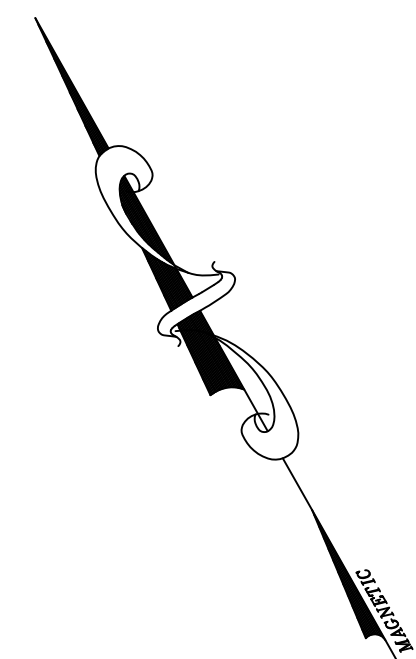
TOWN OF LEXINGTON
PLANNING BOARD

THE ENDORSEMENT OF THIS PLAN IS NOT A DETERMINATION BY THE PLANNING BOARD AS TO COMPLIANCE WITH THE ZONING BY-LAW OF THE TOWN OF LEXINGTON.

APPROVED _____, 20__

LEGEND:

- LOT 1**
- S.F. SQUARE FEET
 - B6 WETLAND FLAG
 - WETLAND RESOURCE AREA
 - (TBR) TO BE RAZED



ZONING TABLE:

	CRS	VO
	COMMERCIAL RETAIL SHOPPING	VILLAGE OVERLAY
MIN LOT SIZE (SF)	15,500	DOES NOT APPLY
MIN LOT FRONTAGE (FT)	125	0
MIN. FRONT YARD (FT)	30	0-15
MIN. SIDE YARD (FT)	20	7.5-15
MIN. REAR YARD (FT)	20	15
MIN. SIDE & REAR YARD ADJACENT TO A RESIDENTIAL DISTRICT (FT)	30	DOES NOT APPLY
MAX. NON-RESIDENTIAL FLOOR AREA RATIO (FAR)	0.20	NOT RESTRICTED
LOT COVERAGE (%) MAX	25	NOT RESTRICTED
INSTITUTIONAL BUILDINGS, MAX. HEIGHT IN STORIES:	3	NOT RESTRICTED
IN FEET:	45	40-60
OTHER BUILDINGS, MAX. HEIGHT IN STORIES:	2	NOT RESTRICTED
IN FEET:	25	40-60

FOR REGISTRY OF DEEDS USE ONLY

I DECLARE, TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THAT THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

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JOHN D. SULLIVAN III, P.E.

1-26-2025
DATE

MINOR RESIDENTIAL STREET:

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- MINIMUM PAVEMENT WIDTH: 24'
- MAXIMUM PROPOSED GRADE: 8%
- MINIMUM PROPOSED GRADE: 1%
- MAXIMUM PROPOSED GRADE WITHIN 75' OF INTERSECTIONS: 2%
- PROPOSED CENTERLINE RADIUS: 150'
- PROPOSED RADIUS OF RIGHT-OF-WAY ROUNDING: 25'

RECORD OWNERS:

ASSESSOR'S MAP 13, LOT 375:
#217-#219 MASSACHUSETTS AVENUE
JOHN GARRITY
54 SCHOOL STREET
BELMONT, MA 02478
- DEED BOOK 1150, PAGE No. 51

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241 MASSACHUSETTS AVENUE
LEXINGTON, MA 02420
- DEED BOOK 1520, PAGE No. 33

APPLICANT:

NORTH SHORE RESIDENTIAL DEV, INC
215 SALEM STREET
WOBURN, MA 01801

REFERENCES:

- L.C. PLAN 6807B *
- * DENOTES DOCUMENTS RECORDED AT THE MIDDLESEX SOUTH COUNTY REGISTRY OF DEEDS.

NOTES:

1. THE TOPOGRAPHY, SITE DETAIL & SURFACE IMPROVEMENTS DEPICTED HEREON WERE OBTAINED FROM A PARTIAL FIELD SURVEY CONDUCTED IN APRIL OF 2024 BY SULLIVAN ENGINEERING GROUP, LLC.
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6. PROJECT SITE IS NOT HABITAT FOR RARE OR ENDANGERED SPECIES.



PRELIMINARY SUBDIVISION PLAN
217-241 MASSACHUSETTS AVENUE

GEOMETRIC PROOF PLAN

LOCATED IN
LEXINGTON, MASSACHUSETTS
(MIDDLESEX COUNTY)

PREPARED FOR
N.S.R.D.

SCALE: 1"= 20' DATE: JAN. 26, 2025

PREPARED BY
SULLIVAN ENGINEERING GROUP, LLC

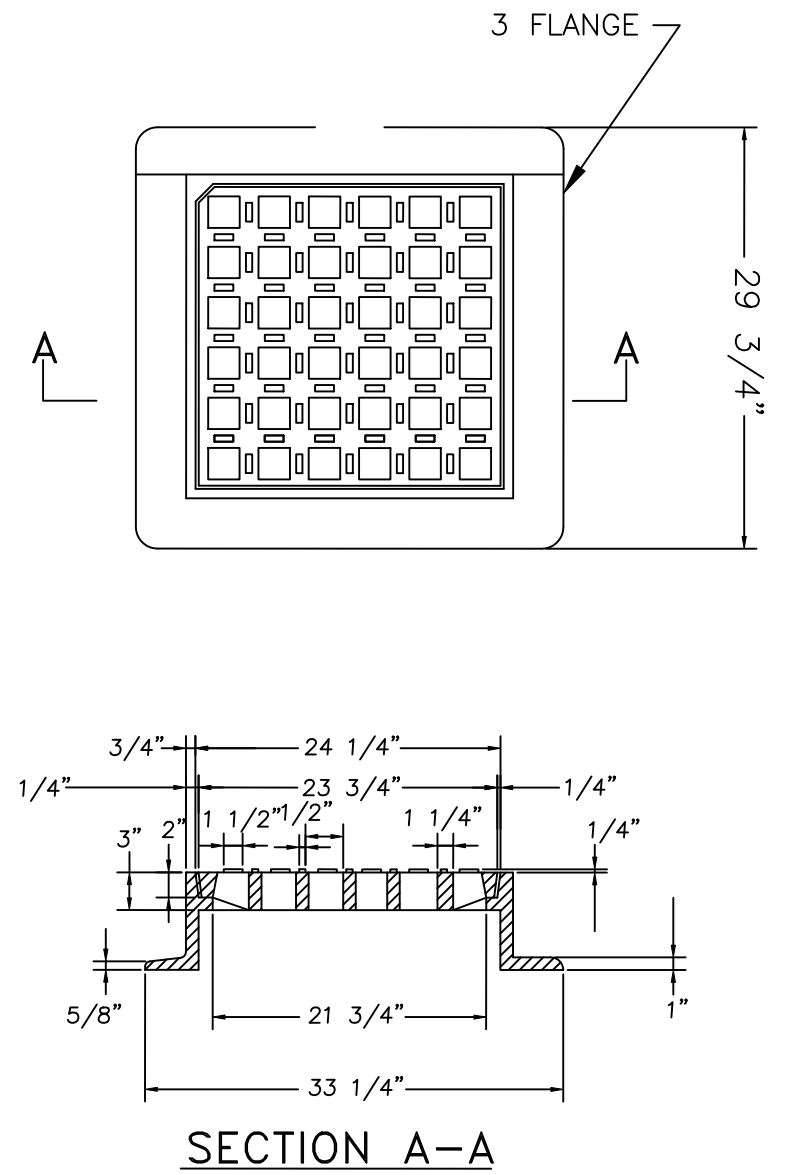
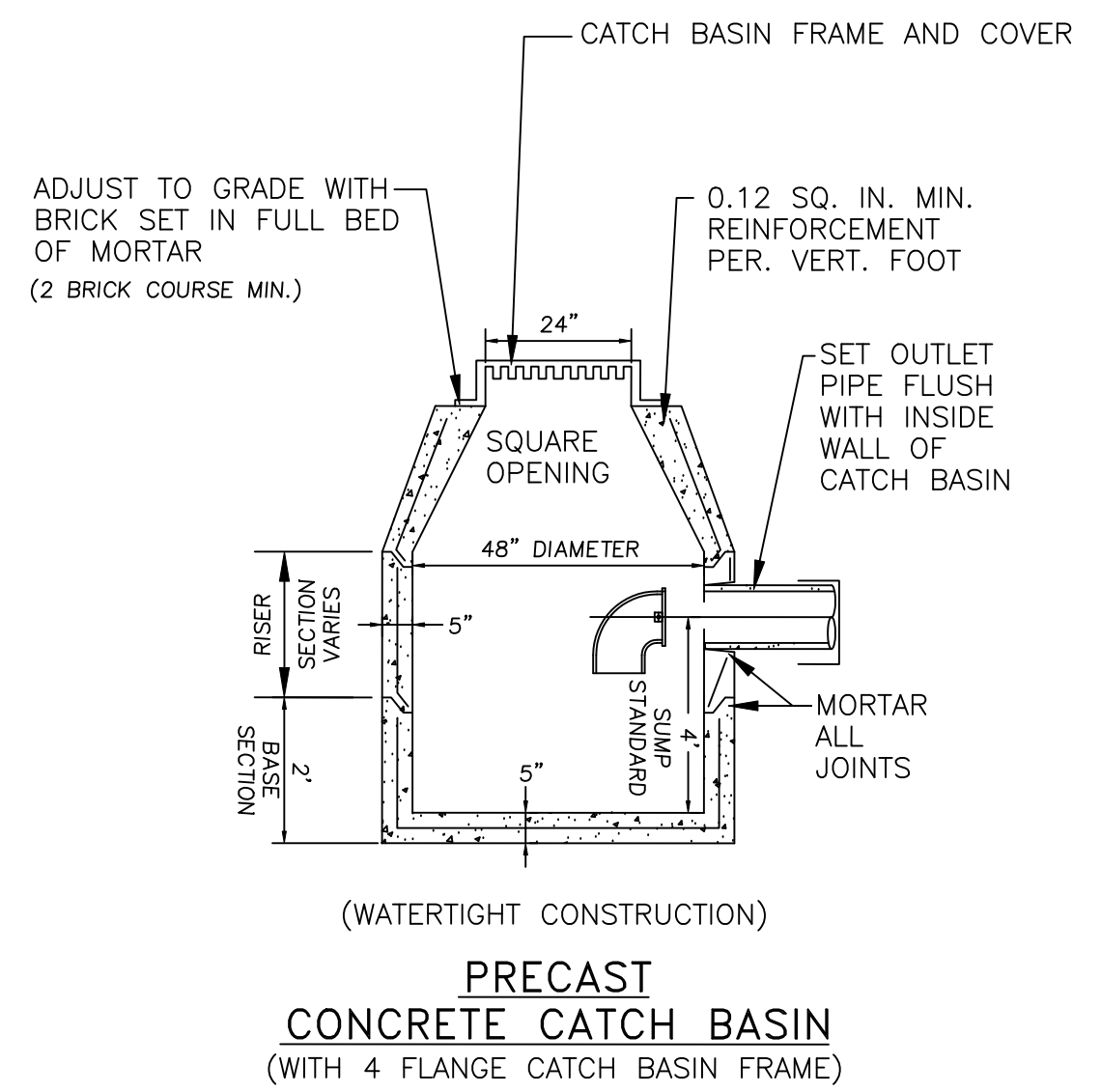
P.O. BOX 2004
WOBURN, MA 01888
(781) 854-8644

SHEET No. 4 OF 5

REVISIONS

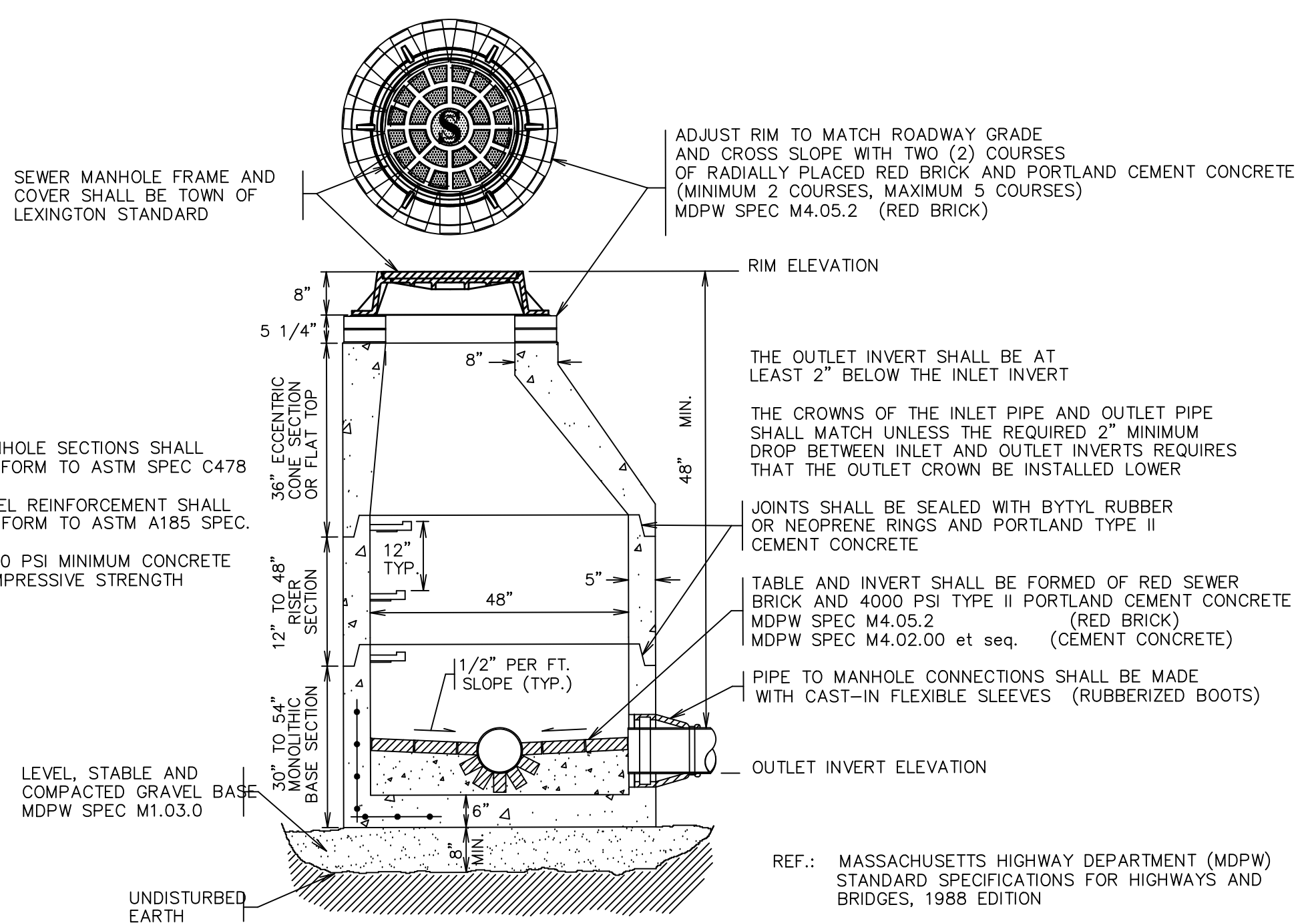
NO.	DATE	DESCRIPTION	BY	CHK'D

**TOWN OF LEXINGTON
PLANNING BOARD**
THE ENDORSEMENT OF THIS PLAN IS NOT A DETERMINATION BY THE PLANNING BOARD AS TO COMPLIANCE WITH THE ZONING BY-LAW OF THE TOWN OF LEXINGTON.

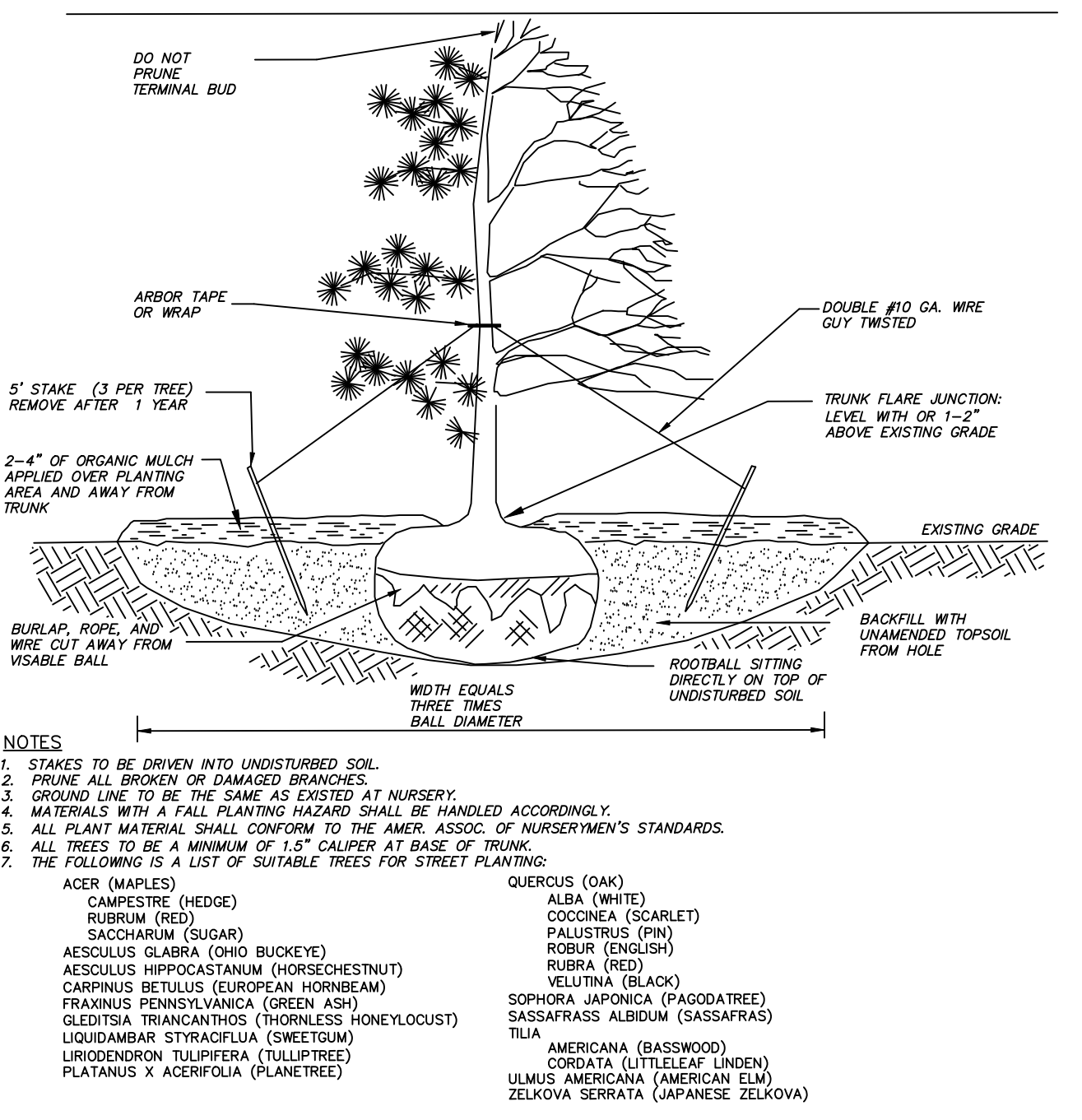


NOTE: FRAME AND GRATE SHALL BE HEAVY DUTY CLASS 30 GRAY IRON.
CATCH BASIN FRAME AND GRATE
N.T.S.

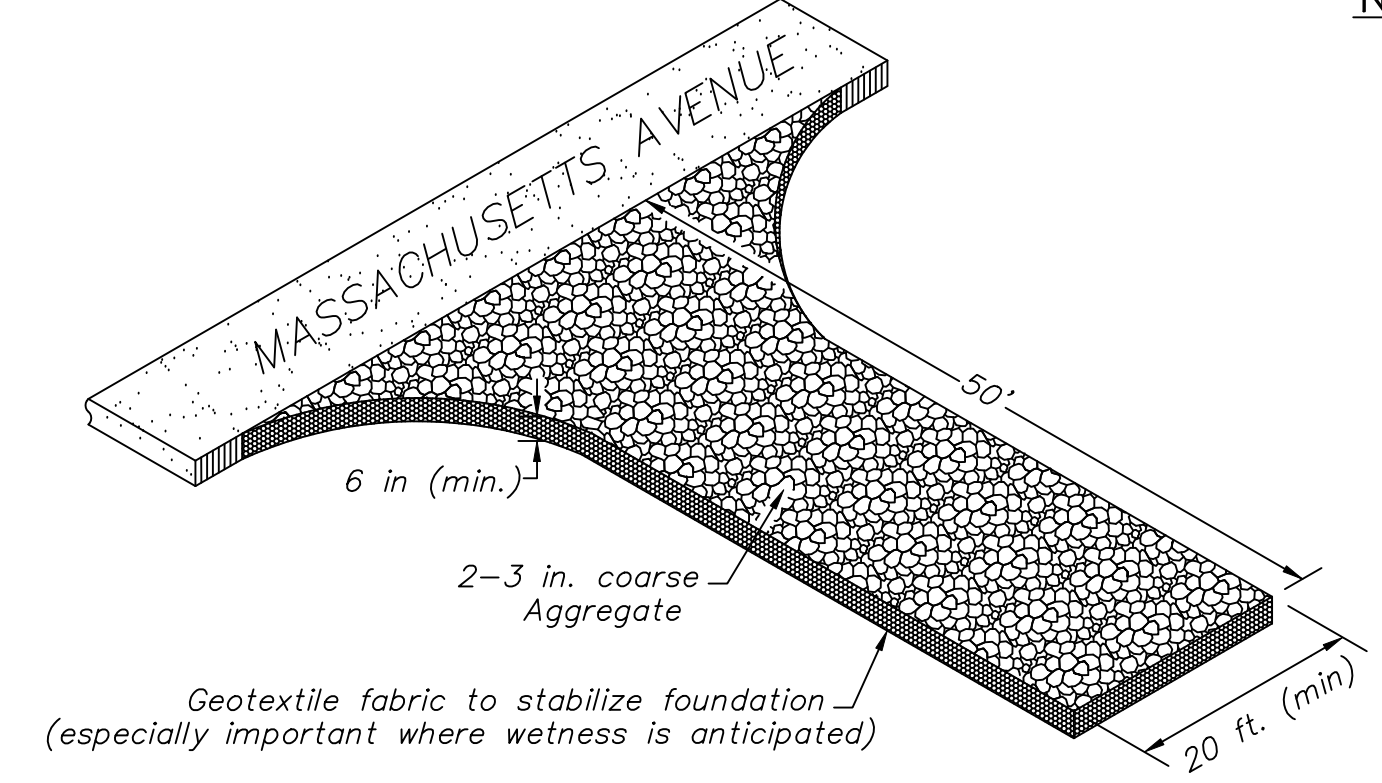
NOTE: CATCH BASIN FRAME AND COVERS ARE TO BE LeBARON TYPE CATALOG #LF248-3 OR EQUAL



TYPICAL SEWER MANHOLE DETAIL
(NOT TO SCALE)

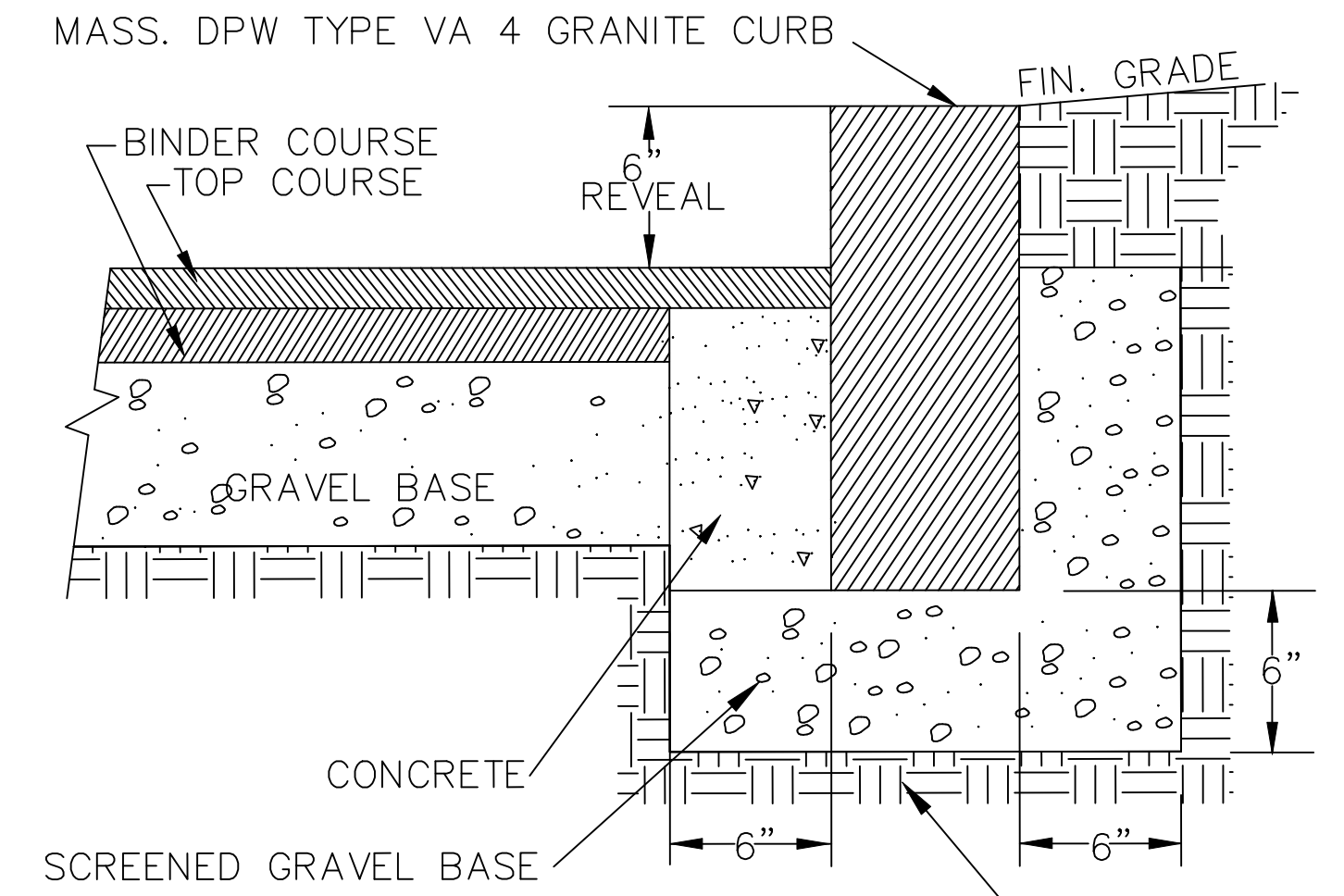


TREE PLANTING DETAIL
NOT TO SCALE

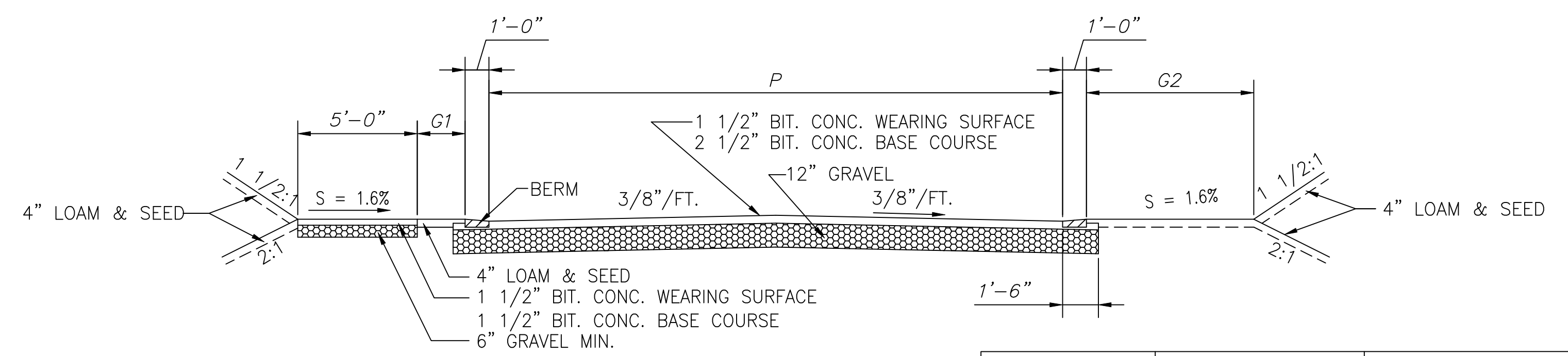


TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT PAD
(NOT TO SCALE)

NOTE: CONSTRUCT "TEMPORARY CONSTRUCTION ENTRANCE" AS SHOWN ON DETAIL PLAN PRIOR TO THE BEGINNING OF ANY CONSTRUCTION ACTIVITIES. ALL CONSTRUCTION VEHICLES SHALL EXIT THE SITE OVER THIS "TEMPORARY CONSTRUCTION ENTRANCE". THE CONTRACTOR SHALL USE THIS AREA TO REMOVE SOIL FROM THE TIRES OF CONSTRUCTION VEHICLES. "TEMPORARY CONSTRUCTION ENTRANCE" TO CONSIST OF SIX TO TWELVE INCHES OF TWO TO THREE INCH STONE.

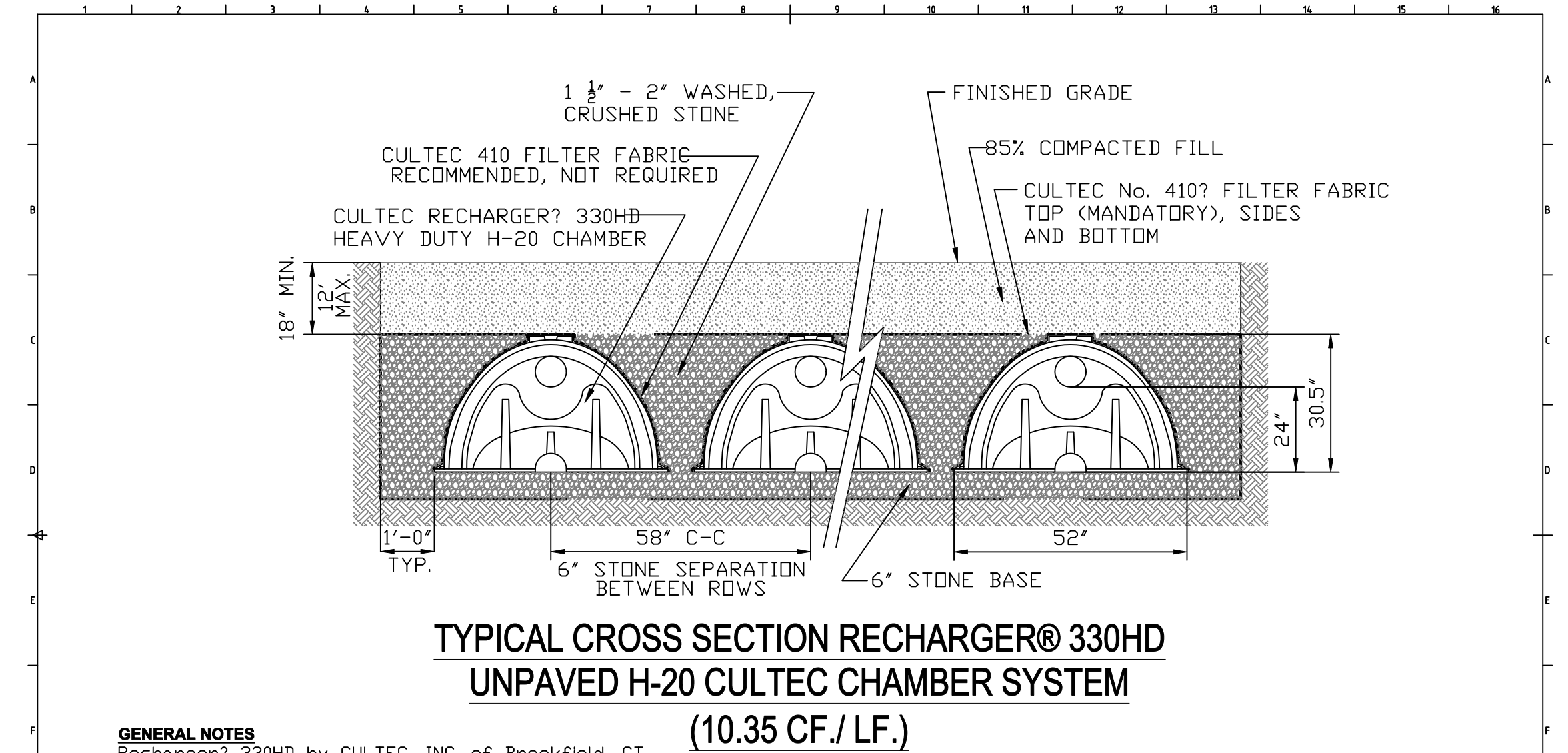


VERTICAL GRANITE CURB
(NOT TO SCALE)



MINOR STREET 40 FOOT LAYOUT

LAYOUT WIDTH	PAVEMENT WIDTH	SHOULDER WIDTH	
"L"	"P"	G1	G2
40'	24'-0"	2'-0"	7'-0"



GENERAL NOTES
Recharger? 330HD by CULTEC, INC. of Brookfield, CT. All Recharger? 330HD Chambers must be installed in accordance with all applicable local, state and Federal regulations. Refer to manufacturer, CULTEC, INC.'s recommended installation guidelines. All Recharger? 330HD H20 Heavy Duty units are marked with a 4' stripe along the length of the chamber.
CALCULATIONS BASED ON 40% STONE VOID

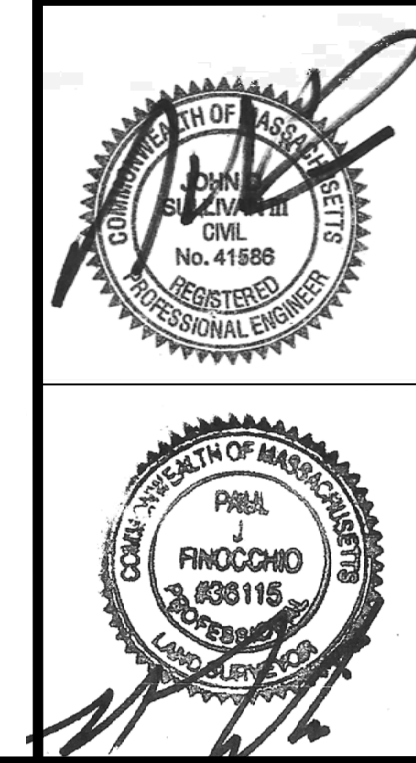
	CULTEC, Inc. P.O. Box 280 878 Federal Road Brookfield, CT 06804	PH: (203) 775-4116 PH: (800) 4-CULTEC FX: (203) 775-1462 WWW.CULTEC.COM
	CULTEC Contactor® and Recharger® Plastic Septic and Stormwater Chambers	
DATE 7/22/03	SCALE N/S	Title 330HD UNPVD H-20

PRELIMINARY SUBDIVISION PLAN
217-241 MASSACHUSETTS AVENUE

CONSTRUCTION SITE DETAILS
LOCATED IN
LEXINGTON, MASSACHUSETTS
(MIDDLESEX COUNTY)

PREPARED FOR
N.S.R.D.
SCALE: N.T.S. DATE: JAN. 26, 2025

PREPARED BY
SULLIVAN ENGINEERING GROUP, LLC
P.O. BOX 2004
WOBURN, MA 01888
(781) 854-8644



AGENDA ITEM SUMMARY

LEXINGTON PLANNING BOARD

AGENDA ITEM TITLE:

336 Marrett Road - Approval Not Required (ANR) Plan

PRESENTER:

Planning Staff

ITEM NUMBER:

SUMMARY:

ANR (Approval Not Required) Plan to create two lots fronting on Marrett Road. The primary purpose of this ANR plan is to freeze the allowed uses (Multifamily) under the current Village and Multifamily Overlay zoning district and to divide the existing lot at 336 Marrett Road into two buildable lots. Both proposed lots shown on the plan will have adequate frontage and access on an existing public way. Per section 7.5.5.2 of the Village and Multifamily Overlay District, the dimensional requirements for lot frontage do not apply to lots with existing buildings. The property has an existing building and the proposed lots meet the 20' minimum frontage requirement of The Subdivision Control Law per the Chapter 41, Section 81O, MGL.

Application material may be viewed here: <https://lexingtonma.portal.opengov.com/records/101615>

SUGGESTED MOTION:

FOLLOW-UP:

DATE AND APPROXIMATE TIME ON AGENDA:

2/26/2025

ATTACHMENTS:

Description	Type
 336 Marrett Rd ANR proposal	Cover Memo

APPROVAL UNDER THE SUBDIVISION CONTROL LAW NOT REQUIRED
TOWN OF LEXINGTON PLANNING BOARD
 THE ENDORSEMENT OF THIS PLAN IS NOT A DETERMINATION BY THE PLANNING BOARD AS TO COMPLIANCE WITH THE ZONING BY-LAW OF THE TOWN OF LEXINGTON.

APPROVED _____, 20__

- LEGEND:**
- VGC VERTICAL GRANITE CURB
 - CB CATCH BASIN
 - ⊙ DRAINAGE MANHOLE
 - ⊙ SEWER MANHOLE
 - ⊙ UTILITY POLE
 - WS WATER SERVICE
 - ⊙ DECIDUOUS TREE
 - ⊙ CONIFEROUS TREE
 - WETLAND RESOURCE AREA
 - 1A WETLAND FLAG NUMBER

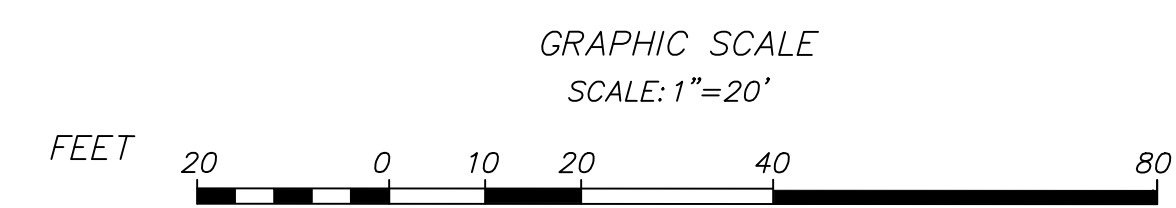
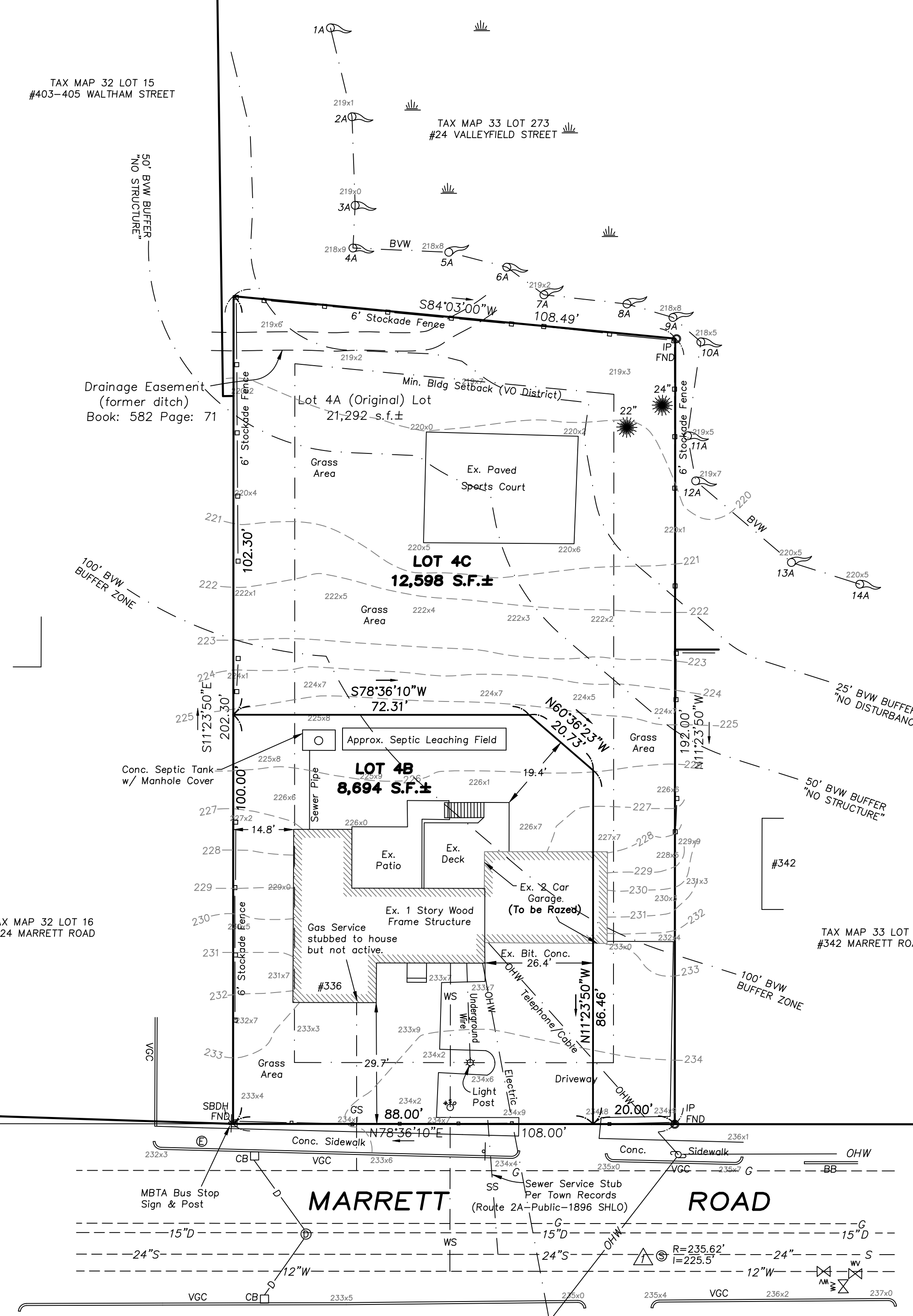
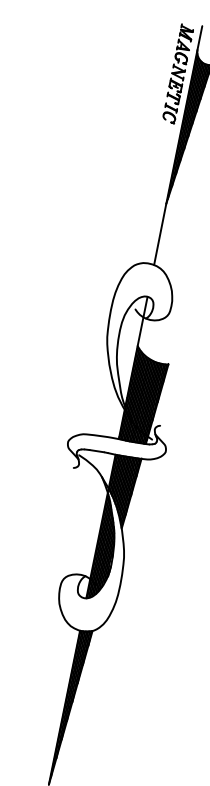
BENCHMARK CHART:

BM #	DESCRIPTION	ELEV.
⊙	SEWER MANHOLE RIM	235.62'

* 1988 NGVD

ZONING TABLE:

	RS	VO	PROVIDED: LOT 4B	PROVIDED: LOT 4C
		VILLAGE OVERLAY		
MIN LOT SIZE (SF)	15,500	DOES NOT APPLY	8,694	12,598
MIN LOT FRONTAGE (FT)	125	0	88.00	20.00
MIN. FRONT YARD (FT)	30	0-15	N/A	N/A
MIN. SIDE YARD (FT)	15	7.5-15	N/A	N/A
MIN. REAR YARD (FT)	15	15	N/A	N/A
MIN. SIDE & REAR YARD ADJACENT TO A RESIDENTIAL DISTRICT (FT)	15	DOES NOT APPLY	N/A	N/A
MAX. NON-RESIDENTIAL FLOOR AREA RATIO (FAR)	N/A	NOT RESTRICTED	N/A	N/A
LOT COVERAGE (%) MAX	15	NOT RESTRICTED	N/A	N/A
INSTITUTIONAL BUILDINGS, MAX. HEIGHT IN STORIES:	2.5	NOT RESTRICTED	N/A	N/A
IN FEET:	40	40-60		
OTHER BUILDINGS, MAX. HEIGHT IN STORIES:	2.5	NOT RESTRICTED	N/A	N/A
IN FEET:	40	40-60		



REVISIONS

NO.	DATE	DESCRIPTION	BY	CHK'D

FOR REGISTRY OF DEEDS USE ONLY

I DECLARE, TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THAT THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.
 I CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS PLAN IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY THE SUBDIVISION REGULATIONS AND PROCEDURAL RULES OF THE PLANNING BOARD OF THE TOWN OF LEXINGTON.



JOHN D. SULLIVAN III, P.E. DATE: 2-14-2025

ASSESSOR INFORMATION:

MAP 33 LOT 1
OWNER INFORMATION:
 DOMINIC & THERESA MODOONO
 336 MARRETT ROAD
 LEXINGTON, MASS.
DEED REFERENCE:
 BOOK: 951 PAGE: 115
DATUM:
 NAVD 1988
REFERENCES:
 - L.C. PLAN 18315C *
 * DENOTES DOCUMENTS RECORDED AT THE MIDDLESEX SOUTH COUNTY REGISTRY OF DEEDS.

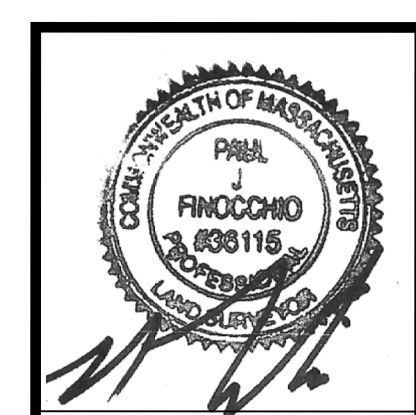
336 MARRETT ROAD

PLAN OF LAND
 LOCATED IN
LEXINGTON, MASSACHUSETTS
 (MIDDLESEX COUNTY)

PREPARED FOR
 DOMINIC & THERESA MODOONO
 SCALE: 1" = 20' DATE: FEB. 14, 2025

PREPARED BY
SULLIVAN ENGINEERING GROUP, LLC
 P.O. BOX 2004
 WOBURN, MA 01888
 (781) 854-8644

SHEET No. 1 OF 1



AGENDA ITEM SUMMARY

LEXINGTON PLANNING BOARD

AGENDA ITEM TITLE:

Review draft recommendation reports for Articles 29, 30, 32, 33 and presentation assignments

PRESENTER:

Planning Board

ITEM NUMBER:

SUMMARY:

On February 12, the Planning Board opened and close the public hearings on the following zoning amendment articles submitted for Annual Town Meeting. The Board will review and vote on the recommendation reports to send to Town Meeting.

Article 29: Amend Bicycle Parking - Board recommended referral back to Planning Board

Article 30: Inclusionary Housing for Special Residential Developments - Board recommend favorable action by Town Meeting

Article 32: Technical Corrections - Board recommend favorable action by Town Meeting

Article 33: Accessory Uses - Board recommend favorable action by Town Meeting

SUGGESTED MOTION:

FOLLOW-UP:

DATE AND APPROXIMATE TIME ON AGENDA:

2/26/2025

AGENDA ITEM SUMMARY

LEXINGTON PLANNING BOARD

AGENDA ITEM TITLE:

Board Member & Staff Updates

PRESENTER:

**ITEM
NUMBER:**

SUMMARY:

SUGGESTED MOTION:

FOLLOW-UP:

DATE AND APPROXIMATE TIME ON AGENDA:

2/26/2025

AGENDA ITEM SUMMARY

LEXINGTON PLANNING BOARD

AGENDA ITEM TITLE:

Review of Draft Meeting Minutes - 2/12/25

PRESENTER:

**ITEM
NUMBER:**

SUMMARY:

SUGGESTED MOTION:

FOLLOW-UP:

DATE AND APPROXIMATE TIME ON AGENDA:

2/26/2025

AGENDA ITEM SUMMARY

LEXINGTON PLANNING BOARD

AGENDA ITEM TITLE:

Upcoming Meetings

PRESENTER:

Planning Staff

**ITEM
NUMBER:**

SUMMARY:

SUGGESTED MOTION:

FOLLOW-UP:

DATE AND APPROXIMATE TIME ON AGENDA:

2/26/2025

AGENDA ITEM SUMMARY

LEXINGTON PLANNING BOARD

AGENDA ITEM TITLE:

Adjourn – The meeting will continue until all items are finished. The estimated adjournment time is 10:30 pm.

PRESENTER:

ITEM NUMBER:

SUMMARY:

SUGGESTED MOTION:

FOLLOW-UP:

DATE AND APPROXIMATE TIME ON AGENDA:

2/26/2025

AGENDA ITEM SUMMARY

LEXINGTON PLANNING BOARD

AGENDA ITEM TITLE:

Zoom Details - <https://www.lexingtonma.gov/377/Access-Virtual-Meetings>

PRESENTER:

ITEM NUMBER:

SUMMARY:

Planning is inviting you to a scheduled Zoom meeting.

Topic: Planning Board Meeting

Time: Feb 26, 2025 06:00 PM Eastern Time (US and Canada)

Join Zoom Meeting

<https://lexingtonma.zoom.us/j/87499344886?pwd=n3dMD9oo8Svmpmw3NzU8aCN0CiaEbi.1>

Meeting ID: 874 9934 4886

Passcode: 941374

One tap mobile

+13092053325,,87499344886#,,,,*941374# US

+13126266799,,87499344886#,,,,*941374# US (Chicago)

Dial by your location

- +1 309 205 3325 US
- +1 312 626 6799 US (Chicago)
- +1 646 876 9923 US (New York)
- +1 646 931 3860 US
- +1 301 715 8592 US (Washington DC)
- +1 305 224 1968 US
- +1 346 248 7799 US (Houston)
- +1 360 209 5623 US
- +1 386 347 5053 US
- +1 408 638 0968 US (San Jose)
- +1 507 473 4847 US
- +1 564 217 2000 US
- +1 669 444 9171 US
- +1 669 900 6833 US (San Jose)
- +1 689 278 1000 US
- +1 719 359 4580 US
- +1 253 205 0468 US

• +1 253 215 8782 US (Tacoma)

Meeting ID: 874 9934 4886

Passcode: 941374

Find your local number: <https://lexingtonma.zoom.us/j/kenpw6Yslk>

SUGGESTED MOTION:

FOLLOW-UP:

DATE AND APPROXIMATE TIME ON AGENDA:

2/26/2025