

AGENDA

Lexington Planning Board

Wednesday, June 25, 2025

Remote on Zoom: [https://www.lexingtonma.gov/377/Access-](https://www.lexingtonma.gov/377/Access-Virtual-Meetings)

Virtual-Meetings

6:00 PM

Development Administration

1. **952 Waltham Street - Public hearing for a village overlay site plan review**
Public hearing for a major site plan review proposal for a multi-family development in the village overlay district (hearing continued from 5/7) – ***APPLICANT REQUEST CONTINUANCE***
2. **131 Hartwell Avenue - Public Hearing for Definitive Subdivision**
Public hearing for a Definitive Subdivision to subdivide the property into three lots on a small cul-de-sac and to rescind the Definitive Subdivision approved at 131 Hartwell Avenue on July 13, 2022.

Board Administration

1. **Public Hearing for Amendments to Planning Board's Zoning Regulations**
Continued public hearing to amend various sections of the Planning Board's Zoning Regulations Chapter 176
2. **Housing Inventory**
3. **Board Member & Staff Updates**
4. **Review of Draft Meeting Minutes: 6/16**
5. **Upcoming Meetings**
Wednesdays July 16, August 13, and August 27

Adjourn

1. **Adjourn – The meeting will continue until all items are finished. The estimated adjournment time is 8:00 pm.**

Zoom Details

1. **Zoom Details - <https://www.lexingtonma.gov/377/Access-Virtual-Meetings>**
Topic: Planning's Zoom Meeting
Time: Jun 25, 2025 06:00 PM Eastern Time (US and Canada)
Join Zoom Meeting
[https://lexingtonma.zoom.us/j/82382881240?](https://lexingtonma.zoom.us/j/82382881240?pwd=3AiiKebVadOax0XnShkgNhRsFTGR8q.1)
[pwd=3AiiKebVadOax0XnShkgNhRsFTGR8q.1](https://lexingtonma.zoom.us/j/82382881240?pwd=3AiiKebVadOax0XnShkgNhRsFTGR8q.1)

Meeting ID: 823 8288 1240

Passcode: 813774



Meeting broadcast by LexMedia

AGENDA ITEM SUMMARY

LEXINGTON PLANNING BOARD

AGENDA ITEM TITLE:

952 Waltham Street - Public hearing for a village overlay site plan review

PRESENTER:

Planning Staff

ITEM NUMBER:

SUMMARY:

The Applicant has requested a continuance without discussion to the Planning Board's August 13 meeting to allow more time to submit a revised package. The Board will vote to continue the hearing and will announce the new date, time, and place. No new plans have been submitted since the Board's May 7 meeting.

Application material may be viewed here: <https://lexingtonma.portal.opengov.com/records/101348>

SUGGESTED MOTION:

Staff suggested motions are subject to change during the Board's meeting:

Move to continue the public hearing for the site plan review application at 952 Waltham Street to Wednesday, August 13, 2025 at or after 6:00 p.m. on Zoom.

Move to accept the Applicant's request to extend the final action deadline to September 3, 2025

FOLLOW-UP:

DATE AND APPROXIMATE TIME ON AGENDA:

6/25/2025

ATTACHMENTS:

Description	Type
 Continuance and Extension Request	Cover Memo



Town of Lexington

PLANNING BOARD

1625 Massachusetts Avenue
Lexington, MA 02420
Tel (781) 698-4560
planning@lexingtonma.gov
www.lexingtonma.gov/planning

Michael Schanbacher, Chair
Melanie Thompson, Vice Chair
Tina McBride, Clerk
Bob Creech, Member
Charles Hornig, Member
Michael Leon, Associate Member

Date: June 25, 2025

Lexington Planning Board

Re: Request for Continuance/Extension of Constructive Approval Date:

Project Address: 952 Waltham Street (PLAN-25-10)

To the Lexington Planning Board:

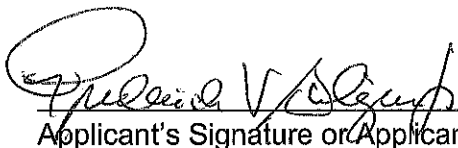
I am hereby requesting that the public hearing for a major site plan review application submitted to the Town Clerk on February 12, 2025 requests the public hearing scheduled for June 25, 2025 be continued to August 13, 2025 and agrees to extend the action deadline as follows to allow more time to update plans and submit requested material.

Current Meeting Date for public hearing: June 25, 2025

Request hearing be on: August 13, 2025

Decision deadline date: From July 12, 2025 to September 3, 2025

Respectfully,


Applicant's Signature or Applicant's Agent

Print Name: Frederick V. Gilgun, Jr.

AGENDA ITEM SUMMARY

LEXINGTON PLANNING BOARD

AGENDA ITEM TITLE:

131 Hartwell Avenue - Public Hearing for Definitive Subdivision

PRESENTER:

Applicant: David Robinson, Allen &
Major on behalf of Azard Legacy
Partners

ITEM NUMBER:

SUMMARY:

Application proposes three (3) lots on a subdivision cul-de-sac with a 26 ft. wide drive, landscaped center island, sidewalk, street trees, one new fire hydrant, and a subsurface infiltration stormwater management system. Presently, the 5-acre property contains a three-story building, and surface parking.

A preliminary subdivision application was approved by the Planning Board on March 12, 2025.

A definitive subdivision for this property was approved by the Planning Board on July 13, 2022 and endorsed by the Planning Board on August 17, 2022. This application includes rescission of the 2022 definitive subdivision approval.

Application material may be viewed here (click on files tab): <https://lexingtonma.portal.opengov.com/records/100775>

A staff memo is attached. Staff recommends approval and will prepare a draft approval decision with conditions for the Board's review.

SUGGESTED MOTION:

Move to close the public hearing for the Definitive Subdivision for 131 Hartwell Avenue.

Move to approve the request for three waivers to allow the submission of the material to be submitted prior to construction for the soil test pits, owner maintenance agreement, and driveway sight lines.

Move to approve the Definitive Subdivision for 131 Hartwell Avenue with the conditions of approval in the draft decision.

Move to have the Chair sign the decision and correct for any non-substantive changes such as grammar, typos, and consistency.

Move to close the public hearing to rescind the Definitive Subdivision approval granted by the Planning Board on July 13, 2022.

Move to rescind the July 13, 2022 Definitive Subdivision approval for 131 Hartwell Avenue after the expiration of the appeal period for this Definitive Subdivision granted on June 25, 2025 without an appeal.

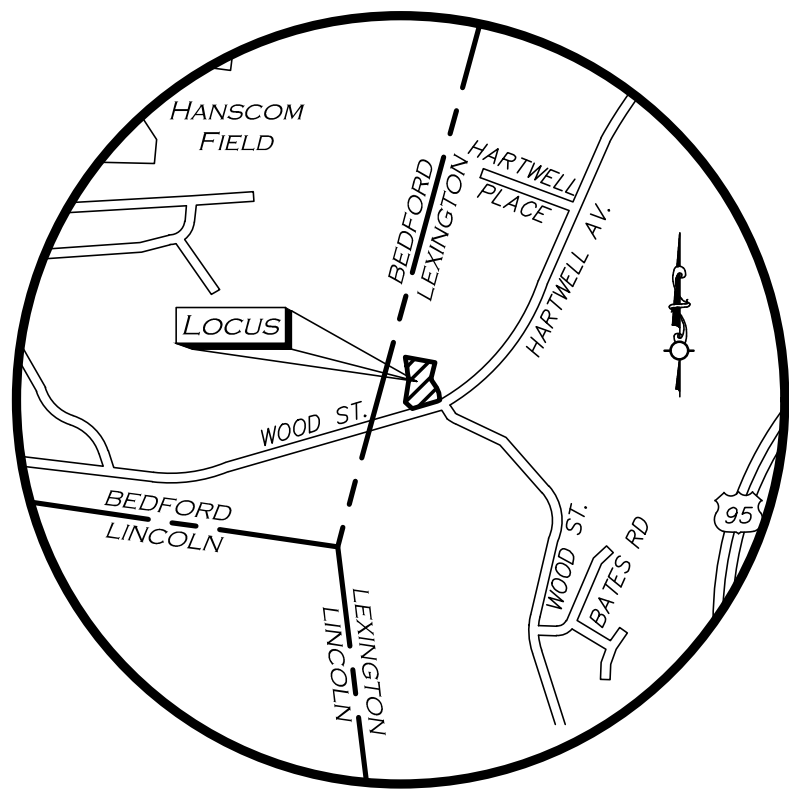
FOLLOW-UP:

DATE AND APPROXIMATE TIME ON AGENDA:

6/25/2025

ATTACHMENTS:

Description	Type
❏ Definitive Subdivision Plan Set	Cover Memo
❏ Request to Rescind 2022 Approval	Cover Memo
❏ Draft Covenant	Cover Memo
❏ Response to Preliminary Conditions	Cover Memo
❏ Staff Memo 6.16.25	Cover Memo

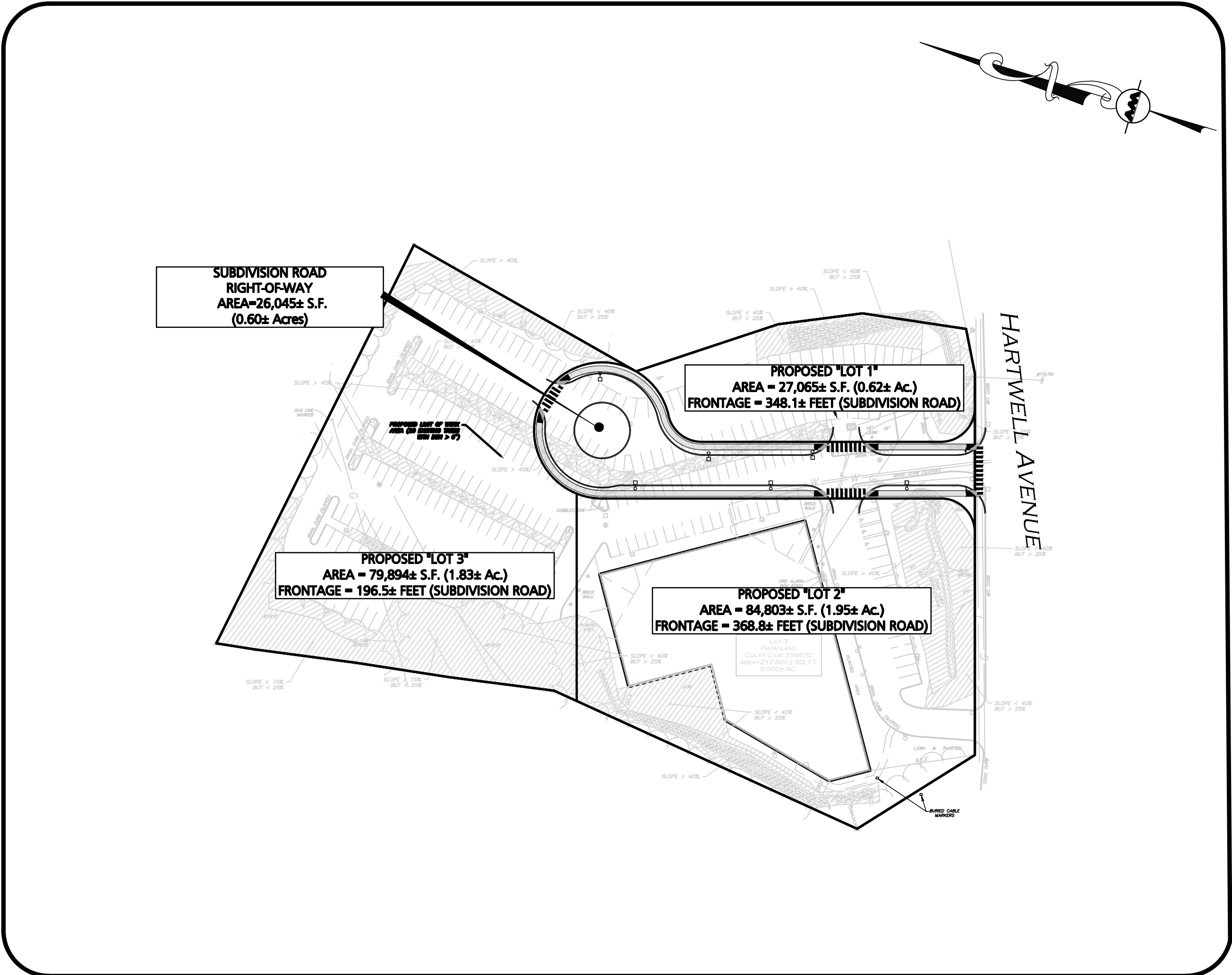


LOCUS MAP
(NOT TO SCALE)

PLANS FOR DEFINITIVE NON-RESIDENTIAL SUBDIVISION OF LAND 131 HARTWELL AVENUE (MAP 74 LOT 6A) LEXINGTON, MA

APPLICANT / OWNER:
131 HARTWELL LLC
131 HARTWELL AVENUE
LEXINGTON, MA 02421
781.698.9089

**SITE CIVIL ENGINEER, LAND SURVEYOR
AND LANDSCAPE ARCHITECT:**
ALLEN & MAJOR ASSOCIATES, INC.
100 COMMERCE WAY, SUITE 5
WOBURN, MA 01801
781.935.6889



SITE ZONING: COMMERCIAL MANUFACTURING ZONING DISTRICT (CM), VILLAGE HIGH-RISE OVERLAY (VHO) ZONING DISTRICT AND
HARTWELL AVENUE AREA TRANSPORTATION MANAGEMENT OVERLAY DISTRICT

APPROVED BY:
TOWN OF LEXINGTON PLANNING BOARD

DATE: _____

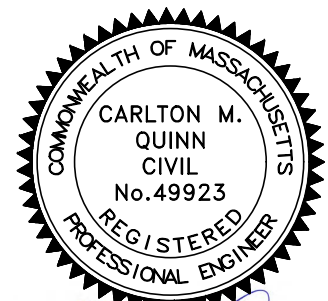
THIS PLAN IS SUBJECT TO A COVENANT
DATED _____

THIS PLAN IS SUBJECT TO A CERTIFICATE OF
ACTION DATED _____

THIS PLAN IS SUBJECT TO A SPECIAL PERMIT
DATED _____

I, _____, TOWN CLERK
OF THE TOWN OF LEXINGTON,
MASSACHUSETTS, HEREBY CERTIFY THAT THE
NOTICE OF APPROVAL OF THIS PLAN HAS
BEEN RECEIVED AND RECORDED AT THIS
OFFICE AND NO NOTICE OF APPEAL WAS
RECEIVED DURING THE TWENTY DAYS NEXT
AFTER SUCH RECEIPT AND RECORDING OF
SAID NOTICE.

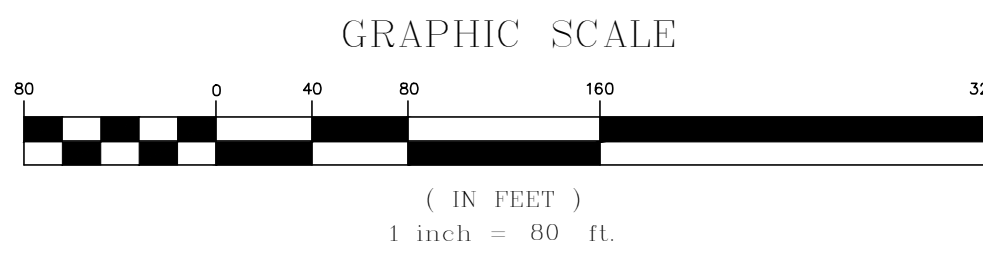
TOWN CLERK _____ DATE _____



Carlton M. Quinn
PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

LIST OF DRAWINGS

DRAWING TITLE	SHEET NO.	ISSUED	LAST REVISED
SITE ANALYSIS MAP	V-101	05-19-2022	-----
ABBREVIATIONS AND NOTES	C-001 - C-002	03-28-2025	-----
PROPERTY RIGHTS AND DIMENSIONAL STANDARDS PLAN	C-102	03-28-2025	06-10-2025
SITE CONSTRUCTION PLAN	C-103	03-28-2025	-----
STREET LAYOUT AND PROFILE PLAN	C-104	03-28-2025	-----
UTILITIES PLAN	C-105	03-28-2025	-----
DETAILS	C-501 - C-504	03-28-2025	-----
LANDSCAPE PLAN	L-101	03-28-2025	-----
LANDSCAPE DETAILS	L-501	03-28-2025	-----



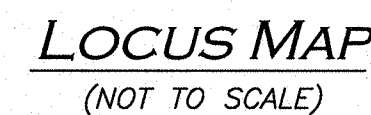
PREPARED BY:

**ALLEN & MAJOR
ASSOCIATES, INC.**
civil & structural engineering • land surveying
environmental consulting • landscape architecture
www.allenmajor.com

100 COMMERCE WAY, SUITE 5
WOBURN MA 01801
TEL: (781) 935-6889
FAX: (781) 935-2896
WOBURN, MA ♦ LAKEVILLE, MA ♦ MANCHESTER, NH

NON-RESIDENTIAL DEFINITIVE SUBDIVISION PLANS
ISSUED TO PLANNING BOARD: MARCH 28, 2025

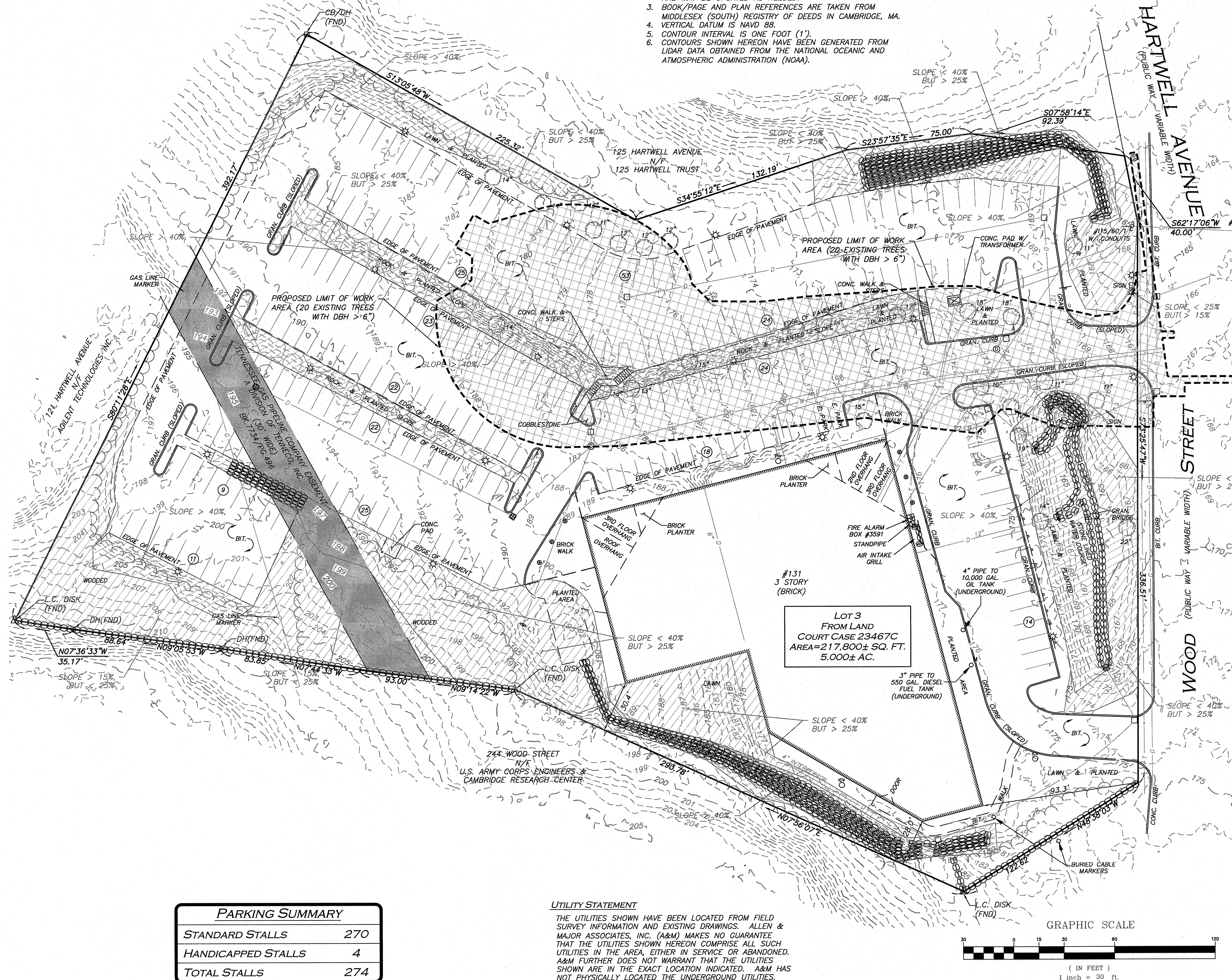
NON-RESIDENTIAL DEFINITIVE SUBDIVISION PLANS
REVISED AND REISSUED TO PLANNING BOARD: JUNE 10, 2025



CONCRETE BOUND (CB)
DRILL HOLE (DH)
LAND COURT DISK
DRAIN MANHOLE (DMH)
SEWER MANHOLE (SMH)
CATCH BASIN (CB)
ROUND CATCH BASIN (RCB)
FIRE STANDPIPE
WATER GATE
FIRE ALARM BOX
IRRIGATION CONTROL VALVE
INVERT (INV)
LIGHT
SIGN
POSITION INDICATOR VALVE
TRANSFORMER
HANDICAPPED PARKING SPACE
BOLLARD
PARKING SPACE COUNT
RIP-RAP
BUILDING
BUILDING OVERHANG
EASEMENT LINE
STONE WALL
1' CONTOUR
5' CONTOUR
PROPERTY LINE
ABUTTERS LINE
EDGE OF PAVEMENT
CURB
CHAIN LINK FENCE
STOCKADE FENCE
WATER LINE
SEWER LINE
DRAIN LINE
GAS LINE
ELECTRIC LINE
TELEPHONE LINE
BITUMINOUS
CONCRETE
GRANITE
CONC. BOUND W/DRILL HOLE
FOUND
NOW OR FORMERLY
BOOK
PAGE
LAND COURT
LAND COURT CASE

-TOWN OF LEXINGTON ASSESSORS MAP 74, LOT 6A
-CERTIFICATE OF TITLE NO. 269840
-LAND COURT CASE 23467C
-OWNER OF RECORD: 131 HARTWELL, LLC

1. NORTH ARROW IS TAKEN LAND COURT CASE 23467C.
2. PROPERTY LINE AND EXISTING SITE CONDITIONS INFORMATION SHOWN HEREON IS TAKEN FROM A PLAN ENTITLED "ALTA/NPS/LAND TITLE SURVEY - 131 HARTWELL AVENUE IN LEXINGTON, MASSACHUSETTS (MIDDLESEX COUNTY)", DATED FEBRUARY 11, 2019, PREPARED BY BSC GROUP, PREPARED FOR PARSAADA VENTURES, AND PROVIDED TO ALLEN & MAJOR ASSOCIATES BY AZAD LEGACY PARTNERS. THE INFORMATION SHOWN IS SUBJECT TO FIELD VERIFICATION AND MAY BE UPDATED AS NEEDED.
3. BOOK/PAGE AND PLAN REFERENCES ARE TAKEN FROM MIDDLESEX (SOUTH) REGISTRY OF DEEDS IN CAMBRIDGE, MA. LITERAL DATUM VS NAVD 88.
5. CONTOUR INTERVAL IS ONE FOOT (1').
6. CONTOURS SHOWN HEREON HAVE BEEN GENERATED FROM LIDAR DATA OBTAINED FROM THE NATIONAL OCEANIC AND ATMOSPHERIC ADMINISTRATION (NOAA).

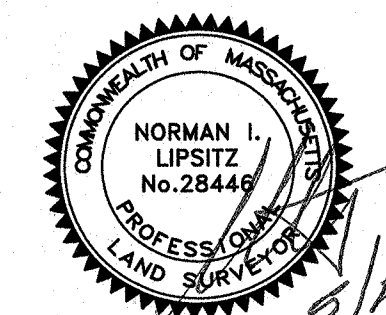


THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. ALLEN & MAJOR ASSOCIATES, INC. (A&M) MAKES NO GUARANTEE THAT THE UTILITIES SHOWN HEREON COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. A&M FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. A&M HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

STANDARD STALLS	270
HANDICAPPED STALLS	4
TOTAL STALLS	274

N:\PROJECTS\3048-01\SURVEY\DRAWINGS\CURRENT\S-3048-01-EC - DEF.DWG

[Signature] May 19, 2020
PROFESSIONAL LAND SURVEYOR FOR
ALLEN & MAJOR ASSOCIATES, INC.



REV	DATE	DESCRIPTION
APPLICANT/OWNER:		
AZAD LEGACY PARTNERS 131 HARTWELL AVENUE LEXINGTON, MA 02421		
PROJECT:		
131 HARTWELL AVENUE LEXINGTON, MA		
PROJECT NO.	3048-01	DATE: 10/06/2021
SCALE:	1" = 30'	DWG. NAME: S-3048-01-EG
DRAFTED BY:	KAC	CHECKED BY: NIL



**ALLEN & MAJOR
ASSOCIATES, INC.**

ASSOCIATES, INC.
civil engineering ♦ land surveying
environmental consulting ♦ landscape architecture
www.allenmajor.com
100 COMMERCE WAY
WOBURN MA 01801-8501
TEL: (781) 935-6889
FAX: (781) 935-2896

WOBURN, MA ♦ LAKEVILLE, MA ♦ MANCHESTER, NH

THIS DRAWING HAS BEEN PREPARED IN DIGITAL FORMAT. CLIENT/CIENT'S REPRESENTATIVE OR CONSULTANTS MAY BE PROVIDED COPIES OF DRAWINGS AND SPECIFICATIONS FOR HIS/HER INFORMATION AND/OR SPECIFIC USE ON THIS PROJECT. DUE TO THE POTENTIAL THAT THE PROVIDED INFORMATION MAY BE MODIFIED UNINTENTIONALLY OR OTHERWISE, ALLEN & MAJOR ASSOCIATES, INC. MAY REMOVE ALL INDICATION OF THE DOCUMENT'S AUTHORSHIP ON THE DIGITAL MEDIA. PRINTED REPRESENTATIONS OR PORTABLE DOCUMENT FORMAT OF THE DRAWINGS AND SPECIFICATIONS ISSUED SHALL BE THE ONLY RECORD COPIES OF ALLEN & MAJOR ASSOCIATES, INC.'S WORK PRODUCT.

DRAWING TITLE:	SHEET No.
----------------	-----------

SITE ANALYSIS PLAN

V-101

Copyright©2021 Allen & Major Associates, Inc.
All Rights Reserved

NOTES

GENERAL NOTES:

1. PROPERTY LINE AND EXISTING SITE CONDITIONS INFORMATION SHOWN HEREON IS TAKEN FROM A PLAN ENTITLED "SITE ANALYSIS PLAN – SHEET V-101", DATED MAY 19, 2022, PREPARED BY ALLEN & MAJOR ASSOCIATES.
2. VERTICAL DATUM IS NAVD 88.
3. ZONING DISTRICT IS COMMERCIAL MANUFACTURING (CM), VILLAGE HIGH-RISE OVERLAY (VHO) ZONING DISTRICT AND HARTWELL AVENUE AREA TRANSPORTATION MANAGEMENT OVERLAY DISTRICT (TMOO).
4. OVERALL LOT SIZE: 5.000± ACRES (217,800± SQ. FT.)
5. DURING CONSTRUCTION, ALL VEHICLES MUST BE PARKED ON SITE.
6. DURING CONSTRUCTION, ALL STAGING AND DELIVERIES WILL OCCUR ON SITE.
7. THIS PROJECT WILL BE SERVED BY PUBLIC WATER AND SEWER AND PRIVATE, NATURAL GAS, TELEPHONE, CABLE AND ELECTRIC. ALL UTILITY LINES WILL BE INSTALLED UNDERGROUND UNLESS OTHERWISE NOTED.
8. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIGSAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES AND THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS AT NO ADDITIONAL COST.
9. ALL PROPOSED MAIN BUILDING ENTRANCES AND WALKS SHALL BE HANDICAP ACCESSIBLE PER FEDERAL ADA & MA AAB REGULATIONS.
10. ALL SITE WORK DONE FOR THIS PROJECT SHALL BE IN STRICT ACCORDANCE WITH THE SITE PLANS AND SITE WORK SPECIFICATIONS FOR CONSTRUCTION.
11. ANY DAMAGE TO PRIVATE OR PUBLIC PROPERTIES DUE TO THE CONTRACTOR'S ACTIVITIES SHALL BE REPAIRED AND RESTORED BY THE CONTRACTOR AT THEIR OWN EXPENSE.
12. ALL PROPERTY MARKERS AND STREET LINE MONUMENTS SHALL BE PROPERLY PROTECTED DURING CONSTRUCTION. ANY DAMAGE TO THESE ITEMS SHALL BE REPAIRED AND RESTORED BY A SURVEYOR REGISTERED IN THE STATE OF MASSACHUSETTS AT THE CONTRACTOR'S EXPENSE.
13. ALL APPLICABLE PERMITS AND AN APPROVED SET OF PLANS SHALL BE AVAILABLE AT THE CONSTRUCTION SITE.
14. THE CONTRACTOR IS RESPONSIBLE FOR SCHEDULING A PRE-CONSTRUCTION MEETING WITH THE WITH THE APPROPRIATE CITY DEPARTMENTS, THE APPROPRIATE UTILITY COMPANIES, THE OWNER AND OWNER'S REPRESENTATIVE. THE MEETING SHALL TAKE PLACE PRIOR TO THE START OF CONSTRUCTION AND THE CONTRACTOR MUST PROVIDE 48 HOURS NOTICE TO ALL ATTENDEES PRIOR TO THE START OF THE MEETING.
15. APPROPRIATE WARNING SIGNS, MARKERS, BARRICADES AND/OR FLAG MEN SHALL BE PROVIDED TO REGULATE TRAFFIC. CONSTRUCTION TRAFFIC CONTROLS SHALL BE IMPLEMENTED AND OPERATED ACCORDING TO THE MASS DEPARTMENT OF TRANSPORTATION, THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND THE LOCAL AUTHORITY.
16. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ADDITIONAL BENCHMARK INFORMATION IF REQUIRED. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL EXISTING BENCHMARKS. IF IT IS NECESSARY TO RELOCATE A BENCHMARK, IT SHALL BE RELOCATED BY A MASSACHUSETTS PROFESSIONAL LAND SURVEYOR AND DONE SO AT THE CONTRACTOR'S EXPENSE.
17. ALL BUILDING DIMENSIONS ARE MEASURED TO THE OUTSIDE FACE OF THE BUILDING.
18. ALL RADII ARE 3 FEET UNLESS OTHERWISE NOTED.
19. ALL PARKING LOT AND AISLE DIMENSIONS ARE TAKEN FROM THE FACE OF CURB AND INDICATE EDGE OF PAVEMENT.
20. CONSTRUCTION DURING WET WEATHER OR WINTER CONDITIONS IS TO BE ANTICIPATED AND PROVISIONS TO ADEQUATELY ADDRESS THESE CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AT NO ADDITIONAL COST.
21. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND PAYING FOR ANY PERMITS AND/OR CONNECTION FEES REQUIRED TO CARRY OUT THE WORK INCLUDING BUT NOT LIMITED TO DEMOLITION.
22. DISPOSAL OF ALL DEMOLISHED MATERIALS INCLUDING EXISTING MISC. CONSTRUCTION DEBRIS IS THE RESPONSIBILITY OF THE CONTRACTOR AND MUST BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL MUNICIPAL REQUIREMENTS AT NO ADDITIONAL COST.
23. ALL DISTURBED AREAS NOT NOTED TO RECEIVE OTHER TREATMENT ARE TO RECEIVE SIX INCHES (6") MINIMUM OF TOPSOIL & SEED, AND BE MAINTAINED UNTIL ESTABLISHED & ACCEPTED.
24. EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE PROTECTED, ABANDONED, REMOVED OR RELOCATED AS NECESSARY.
25. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH THE LOCAL MUNICIPALITY'S GOVERNING AUTHORITY'S SPECIFICATIONS AND SHALL BE APPROVED BY SAME.
26. THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE EXACT POINT OF SERVICE CONNECTION AND DISCONNECTION AT EXISTING UTILITY.
27. ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE BENCHMARKS SHOWN ON THE EXISTING CONDITIONS SITE PLAN AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR AT GROUND BREAKING.
28. CONTRACTOR IS RESPONSIBLE FOR DIGGING TEST HOLES AND VERIFYING

ANY EXISTING UTILITY OR STRUCTURE PRIOR TO CONSTRUCTION. CONTRACTOR SHALL VERIFY THAT BASED ON EXACT LOCATION OF EXISTING UTILITIES, THERE ARE NO CONFLICTS BETWEEN THE EXISTING AND THE PROPOSED UTILITIES/DRAINAGE STRUCTURES.

29. THE CONTRACTOR SHALL ADHERE TO ALL PERMIT CONDITIONS PROVIDED BY ALL GOVERNING AGENCIES AT NO ADDITIONAL COSTS. THIS INCLUDES BUT IS NOT LIMITED TO BUILDING PERMITS, DEMOLITION PERMITS, PLUMBING, GAS, AND ELECTRICAL PERMITS. PERMITS FROM THE PLANNING BOARD OR CITY COUNCIL.
30. DURING EXCAVATION, ANY EXISTING EARTH CUT MATERIALS THAT DO NOT MEET THE "ORDINARY FILL" SPECIFICATIONS OR "LOAM" SPECIFICATIONS AND CANNOT BE REUSED SHALL BE REMOVED OFFSITE BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNERS. MATERIAL WHICH DOES NOT MEET THE SPECIFICATION INCLUDES ALL BOULDERS, ROCKS, CONSTRUCTION DEBRIS, AND MISC. MATERIAL. PRIOR TO REUSE, CONTRACTOR TO PROVIDE TESTING REPORT OF SIEVE ANALYSIS TO ENGINEER FOR APPROVAL. CONTRACTOR CAN AMEND MATERIALS AND CONTINUE TO RETEST AS NECESSARY AT NO ADDITIONAL COST TO OWNER. AFTER AMENDING, IF MATERIAL STILL DOES NOT MEET THE SPECIFICATIONS, IT IS TO BE REMOVED FROM SITE AT NO ADDITIONAL COST TO THE OWNER AND IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS.
31. ANY PROPOSED SIGNAGE SHALL BE APPROVED BY SEPARATE APPLICATION TO THE APPROPRIATE MUNICIPAL AUTHORITY INCLUDING BUT NOT LIMITED TO THE ZONING BOARD OF APPEALS AND CITY COUNCIL. ALL PROPOSED SIGNAGE MUST MEET THE REQUIREMENTS OF THE LOCAL ZONING CODE.

GRADING & DRAINAGE NOTES:

1. EXISTING PAVEMENT SHALL BE SAW-CUT AND PAVEMENT JOINT SHALL BE INSTALLED WHERE NECESSARY TO ENSURE A SMOOTH CONTINUOUS GRADE.
2. ALL GRADING OPERATIONS SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANIES.
3. IN LANDSCAPED AREAS THE TOP ELEVATION OF MANHOLES SHALL MATCH THE FINISH GRADE OF THE TOPSOIL. IN PAVED AREAS THE TOP ELEVATIONS OF MANHOLES SHALL MATCH FINISH GRADE.
4. ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE STABILIZED AS SOON AS POSSIBLE UPON COMPLETION OF CONSTRUCTION WORK IN THE AREA.
5. TEMPORARY TUBULAR BARRIER PROTECTION AND/OR SILT SACKS SHALL BE INSTALLED AND MAINTAINED AT EXISTING DRAINAGE STRUCTURES DURING CONSTRUCTION, TO PREVENT SEDIMENT LADEN RUNOFF FROM ENTERING THE DRAINAGE SYSTEM.
6. CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE PER DEMOLITION PLAN.
7. ALL CATCH BASINS, MANHOLES, INFILTRATION SYSTEMS, AND WATER QUALITY STRUCTURES ARE TO BE CLEANED TO REMOVE ALL CONSTRUCTION SILT AND DEBRIS PRIOR TO FINAL APPROVAL.
8. IF ANY EXISTING UTILITY STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER AT NO ADDITIONAL COST.
9. ALL STORM PIPES ENTERING STRUCTURES SHALL BE GROUTED TO ENSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
10. ALL STORM DRAIN MANHOLES SHALL HAVE TRAFFIC BEARING RING & COVERS & SHALL BE LABELED "DRAIN".
11. THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E.S. PERMIT FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
12. CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
13. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES STEEPER THAN 3H:1V.
14. ALL DRAINAGE SYSTEM COMPONENTS SHALL CONFORM TO LOCAL REQUIREMENTS.

UTILITY NOTES:

1. THE LATEST STANDARDS OF THE LOCAL MUNICIPALITY SHALL BE FOLLOWED WHEN INSTALLING ANY STORM DRAIN WORK. STORM DRAIN WORK WILL BE INSPECTED BY THE LOCAL GOVERNING AUTHORITY PERSONNEL AND ALL COSTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
2. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE ENGINEER FOR RESOLUTION.
3. ABANDONED EXISTING UTILITIES AND UTILITIES TO BE ABANDONED SHALL EITHER BE ABANDONED IN PLACE AS NOTED OR SHALL BE REMOVED AND DISPOSED OF AS SPECIFIED. ALL UTILITIES SCHEDULED FOR ABANDONMENT OR REMOVAL AND DISPOSAL MUST BE COORDINATED BY THE CONTRACTOR WITH THE RESPECTIVE UTILITY OWNER. WHEN ABANDONED UTILITIES ARE TO BE LEFT IN PLACE, PLUG OR CAP THE ENDS OF THE CONDUITS AND PIPES. REMOVE ABANDONED UTILITY MANHOLES, JUNCTION BOXES AND SIMILAR STRUCTURES TO A MINIMUM DEPTH OF 4 FEET BELOW FINISHED GRADE AND PUNCTURE OR BREAK THE BOTTOM SLABS OF MANHOLES AND SIMILAR STRUCTURE TO ALLOW DRAINAGE. BACKFILL AND COMPACT EXCAVATIONS RESULTING FROM REMOVAL OF UTILITY FACILITIES, AS REQUIRED TO RESTORE THE ORIGINAL GRADE.
4. THE CONTRACTOR SHALL MAKE ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENTS OF NATURAL GAS, ELECTRIC, TELEPHONE AND ANY OTHER UTILITY BY THE UTILITY OWNER.
5. THE CONTRACTOR SHALL USE THE FOLLOWING PIPE MATERIALS:
 - DRAIN – HDPE (HIGH DENSITY CORRUGATED POLYETHYLENE PIPE WITH SMOOTH INNER WALL), ASTM D2321 (UNLESS OTHERWISE SPECIFIED ON PLAN)
6. BEFORE UTILITY WORK BEGINS, THE CONTRACTOR WILL COORDINATE WITH THE LOCAL MUNICIPALITY FOR THE APPROPRIATE PERMIT AND INSPECTION FEES.
7. A MINIMUM OF 10 FEET CLEAR HORIZONTALLY SHALL BE MAINTAINED BETWEEN WATER MAINS AND SANITARY SEWER MAINS AND/OR STORM DRAINS. WHENEVER CONDITIONS PREVENT A LATERAL SEPARATION OF 10

FEET TO A WATER MAIN, THE WATER MAIN SHALL BE LAID IN A SEPARATE TRENCH AND THE DIFFERENCE IN ELEVATION BETWEEN THE WATER MAIN AND THE SEWER MAIN SHALL BE AT LEAST 18 INCHES.

10. ALL FILL MATERIAL IS TO BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
11. CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITY'S INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
12. MINIMUM TRENCH WIDTH SHALL BE 2 FEET.
13. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 5'-0" COVER AND A MAXIMUM OF 8'-0" COVER ON ALL WATERLINES.
14. IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATERLINES, SANITARY LINES, STORM LINES AND GAS LINES (EXISTING AND PROPOSED), THE SANITARY LINE SHALL BE DUCTILE IRON PIPE WITH MECHANICAL JOINTS AT LEAST 10 FEET ON BOTH SIDES OF CROSSING, THE WATERLINE SHALL HAVE MECHANICAL JOINTS WITH APPROPRIATE THRUST BLOCKING AS REQUIRED TO PROVIDE A MINIMUM OF 18" CLEARANCE BETWEEN THE PIPES. WHERE THE WATERLINE IS LESS THAN THE 18" VERTICAL CLEARANCE AND MEETING 10' HORIZONTAL CLEARANCE CANNOT BE MET, THE WATER MUST BE ENCASED IN CONCRETE.
15. ALL CONCRETE FOR ENCASEMENTS SHALL HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH OF 3000 P.S.I.
16. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH THE SPECIFICATIONS OF THE LOCAL AUTHORITIES WITH REGARDS TO MATERIALS AND INSTALLATION OF THE WATER, SEWER, GAS AND ELECTRICAL AND TELECOMMUNICATIONS LINES.
17. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICE.
18. DRAWINGS DO NOT NECESSARILY SHOW ALL EXISTING UTILITIES.

ABBREVIATIONS			
ABAN	ABANDON	L	LENGTH
ADJ	ADJUST	LB	LEACHING BASIN
		LP	LIGHT POLE
B	BORING		
BC	BOTTOM OF CURB	MAT	MATERIAL
BIT	BITUMINOUS	MAX	MAXIMUM
BCB	BITUMINOUS CONCRETE BERM	MH	MANHOLE
BLDG	BUILDING	MIN	MINIMUM
BM	BENCH MARK	MISC	MISCELLANEOUS
BOS	BOTTOM OF SLOPE	MTD	MOUNTED
BOW	BOTTOM OF WALL	MW	MONITORING WELL
BRK	BRICK		
BV&B	BUTTERFLY VALVE & BOX	N	NORTH
BVV	BORDERING VEGETATED WETLAND	NIC	NOT IN CONTRACT
		NO	NUMBER
		NTS	NOT TO SCALE
CATV	CABLE TELEVISION		
CB	CATCH BASIN	OC	ON CENTER
CF	CUBIC FEET	OD	OUTSIDE DIAMETER
CFS	CUBIC FEET PER SECOND	OHW	OVERHEAD WIRE
CI	CAST IRON (PIPE)	OVHD	OVERHEAD
CL	CENTERLINE	OW	OBSERVATION WELL
CLDI	CEMENT LINED DUCTILE IRON (PIPE)		
CM	CONSTRUCTION MANAGER	PC	POINT OF CURVATURE
CMP	CORRUGATED METAL PIPE	PCC	PRECAST CONCRETE CURB
CO	CLEAN OUT	PI	POINT OF INTERSECTION
CONC	CONCRETE	PKG	PARKING
CONST	CONSTRUCTION	PL	PROPERTY LINE
CONT	CONTRACTOR	PLMB	PLUMBING
CRD	COORDINATE	POC	POINT ON CURVATURE
CPP	CORRUGATED POLYETHYLENE PIPE	POT	POINT ON TANGENT
CUL	CULVERT	PRC	POINT OF REVERSE CURVATURE
CY	CUBIC YARD	PROP, P	PROPOSED
		PT	POINT (OR POINT OF TANGENT)
		PVC	POLYVINYL CHLORIDE (PIPE)
DB	DISTRIBUTION BOX		
DBL	DOUBLE	R&R	REMOVE & RESET/REPLACE
DEM	DEMOLISH	R&S	REMOVE & STACK
DET	DETENTION	RCP	REINFORCED CONCRETE PIPE
DI	DUCTILE IRON (PIPE)	RD	ROAD (OR ROOF DRAIN)
DIA	DIAMETER	RED	REDUCER
DIM	DIMENSION	RELOC	RELOCATE
DMH	DRAIN MANHOLE	REM	REMOVE
DW	DOMESTIC WATER (OR DRY WELL)	RET	RETAIN, RETAINING OR RETENTION
DWG	DRAWING	RET	RIGHT OF WAY
DYCL	DOUBLE YELLOW CENTERLINE	RR	RAILROAD
		RWL	RAIN WATER LEADER
		RWY	ROADWAY
EHH	ELECTRIC HANDHOLE		
EL	ELEVATION	SD	SUBDRAIN
ELEC	ELECTRIC	SF	SQUARE FEET
EMH	ELECTRIC MANHOLE	SGC	SLOPED GRANITE CURB
EOP	EDGE OF PAVEMENT	SMH	SEWER MANHOLE
EOR	EDGE OF ROAD	SP	STANDPIPE
EOW	EDGE OF WETLANDS	SPEC	SPECIFICATION
ETC	ELECTRIC, TELEPHONE, CABLE	STA	STATION
EXIST	EXISTING	STC	STORMCEPTOR
EXT	EXTERIOR	STD	STANDARD
		STRTL	STRUCTURAL
FA	FIRE ALARM	SWEL	SOLID WHITE EDGE LINE
FCC	FLUSH CONCRETE CURB	SW	SIDEWALK
FES	FLARED END SECTION	SWLL	SOLID WHITE LANE LINE
FFE	FINISH FLOOR ELEVATION	SYCL	SOLID YELLOW CENTERLINE
FLNP	FIRE LANE NO PARKING		
FPS	FEET PER SECOND	TB	TEST BORING
FS	FIRE SERVICE	TC	TOP OF CURB
FT	FOOT/FEET	TD	TRENCH DRAIN
		TEL	TELEPHONE
		TMH	TELEPHONE MANHOLE
GC	GENERAL CONTRACTOR	TOS	TOP OF SLOPE
GEN	GENERAL	TOW	TOP OF WALL
GG	GAS GATE	TP	TEST PIT
GR	GUIDE RAIL	TS&V	TAPPING SLEEVE & VALVE
GRAN	GRANITE	TYP	TYPICAL
GV	GATE VALVE		
GV&B	GATE VALVE & BOX	UD	UNDERDRAIN
GW	GROUND WATER	UL	UNDERWRITERS LABORATORY
		UP	UTILITY POLE
HCR	HANDICAP RAMP	VCP	VITRIFIED CLAY PIPE
HOR	HORIZONTAL	VERT	VERTICAL
HT	HEIGHT	VGC	VERTICAL GRANITE CURB
HW	HEADWALL		
HWY	HIGHWAY	WD	WOOD
HYD	HYDRANT	WG	WATER GATE
		WM	WATER MAIN
ID	INSIDE DIAMETER	WMH	WATER MANHOLE
IN	INCHES	WSO	WATER SHUTOFF
INCL	INCLUDE		
INST	INSTALLED		
INV, I.E.	INVERT, INVERT ELEVATION		

APPROVED BY:

TOWN OF LEXINGTON PLANNING BOARD

DATE: _____

THIS PLAN IS SUBJECT TO A COVENANT

DATED _____

THIS PLAN IS SUBJECT TO A CERTIFICATE OF ACTION DATED _____


THIS PLAN IS SUBJECT TO A SPECIAL PERMIT

DATED _____

I, _____ TOWN CLERK OF THE TOWN OF LEXINGTON, MASSACHUSETTS HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.


TOWN CLERK

DATE



Carlton M. Quinn

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
APPLICANT/OWNER: 131 HARTWELL LLC 131 HARTWELL AVENUE LEXINGTON, MA 02421		
PROJECT: DEFINITIVE NON-RESIDENTIAL SUBDIVISION 131 HARTWELL AVENUE LEXINGTON, MA		
PROJECT NO.	3048-01A	DATE: 03-28-2025
SCALE:	NONE	DWG. NAME: C-3048-01A
DESIGNED BY:	DMR	CHECKED BY: CMQ
PREPARED BY:  ALLEN & MAJOR ASSOCIATES, INC. civil engineering • land surveying environmental consulting • landscape architecture www.allenmajor.com 100 COMMERCE WAY, SUITE 5 WOBURN MA 01801-8501 TEL: (781) 935-6889 FAX: (781) 935-2896 WOBURN, MA • LAKEVILLE, MA • MANCHESTER, NH		
<p>THIS DRAWING HAS BEEN PREPARED IN DIGITAL FORMAT. CLIENT/CLENTS REPRESENTATIVE OR CONSULTANTS MAY BE PROVIDED COPIES OF DRAWINGS AND SPECIFICATIONS FOR HIGHER INFORMATION AND/OR SPECIFIC USE ON THIS PROJECT. DUE TO THE POTENTIAL THAT THE PROVIDED INFORMATION MAY BE MODIFIED UNINTENTIONALLY OR OTHERWISE, ALLEN & MAJOR ASSOCIATES, INC. MAY REMOVE ALL INDICATION OF THE DOCUMENTS AUTHORITY ON THE DIGITAL MEDIA. PRINTED REPRESENTATIONS OR PORTABLE DOCUMENT FORMAT OF THE DRAWINGS AND SPECIFICATIONS ISSUED SHALL BE THE ONLY RECORD COPIES OF ALLEN & MAJOR ASSOCIATES, INC.'S WORK PRODUCT.</p>		
DRAWING TITLE:	SHEET No.	
ABBREVIATIONS & NOTES	C-001	
Copyright©2025 Allen & Major Associates, Inc. All Rights Reserved		

EROSION CONTROL NOTES

EROSION & SEDIMENTATION CONTROL NOTES:

1. EROSION CONTROL SHALL BE INSTALLED PRIOR TO CONSTRUCTION AND SHALL BE ADEQUATE TO MAINTAIN SEDIMENT ON SITE. ANY MODIFICATIONS TO SILT CONTROLS SHOWN ON THE APPROVED PLANS AS A RESULT OF ACTUAL FIELD CONDITIONS OR CONSTRUCTION PRACTICES SHALL BE INSTALLED IN ACCORDANCE WITH B.M.P. (BEST MANAGEMENT PRACTICES) PER THE E.P.A. 2017 "CONSTRUCTION GENERAL PERMIT" MANUAL, AND MASSACHUSETTS 2003 EROSION & SEDIMENT CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS, ANY SUCH MODIFICATIONS FROM THE ABOVE MANUALS SHALL BE INSTALLED AS APPROVED BY THE ENGINEER OR THE LOCAL MUNICIPALITY.
2. AREAS OF EXPOSED SOIL UNDERGOING CONSTRUCTION THAT WILL NOT BE COVERED AND OR FINISHED GRADED SHALL BE STABILIZED AS SOON AS PRACTICABLE BUT IN NO CASE MORE THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY (UNLESS MUNICIPALITY HAS STRICTER REQUIREMENTS WHICH SHALL BE FOLLOWED) IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. TEMPORARY EROSION CONTROL MEASURES SHALL INCLUDE EROSION CONTROL MESH, NETTING OR MULCH AS DIRECTED BY THE OWNER'S REPRESENTATIVE AND SHOWN ON THE DESIGN PLANS. IF MULCH IS USED, STRAW MULCH SHALL BE APPLIED AT THE RATE OF 4 BALES PER 1,000 SQUARE FEET. APPLICATION AREA SHALL BE SUFFICIENTLY COVERED WITH MULCH TO AVOID ANY VISIBLE SOIL EXPOSURE. MULCH SHALL BE KEPT MOIST TO AVOID LOSS DUE TO WIND. MULCH AND NETTING SHALL BE APPLIED IN THE BASE OF ALL GRASSED WATERWAYS, IN VEGETATIVE SLOPES WHICH EXCEED 15% AND DISTURBED AREAS WITHIN 100 FEET OF WETLANDS OR STREAMS.
3. IF DISTURBED AREAS DO NOT RECEIVE FINAL SEEDING BY OCTOBER 1ST OF THE CONSTRUCTION YEAR, THEN ALL DISTURBED AREAS SHALL BE SEEDED WITH A WINTER COVER CROP AT THE RATE OF 3 LBS PER 1,000 SQUARE FEET. WINTER SEEDING SHALL BE COVERED WITH EROSION CONTROL MESH (MULCH AND NETTING). HEAVY GRADE MATS SHALL BE USED IN THE BASE OF ALL GRASSED WATERWAYS ON VEGETATED SLOPES IN EXCESS OF 15%, AND ANY DISTURBED AREAS WITHIN 100 FEET OF WETLANDS OR STREAMS. MULCH AND NETTING SHALL ALSO BE PROVIDED FOR ADDITIONAL WINTER PROTECTION.
4. ALL TOPSOIL SHALL BE COLLECTED, STOCKPILED, SEEDED WITH RYE AT 3LBS PER 1,000 SQUARE FOOT AND MULCHED, AND REUSED AS REQUIRED. TUBULAR BARRIERS SHALL BE PLACED DOWN GRADIENT FROM STOCKPILED LOAM. LOAM SHALL BE STOCKPILED AT LOCATIONS DESIGNATED BY THE OWNER AND ENGINEER.
5. ALL TUBULAR BARRIERS, SILT SACKS, AND EROSION CONTROL BERMS SHALL BE INSTALLED ACCORDING TO THE SITE PREPARATION PLAN. THESE SHALL BE MAINTAINED DURING DEVELOPMENT TO REMOVE SEDIMENT FROM RUNOFF WATER. ALL THE FILTER BARRIERS AND EROSION CONTROL BERMS SHALL BE INSPECTED AFTER ANY RAINFALL OR RUNOFF EVENT, MAINTAINED AND CLEANED UNTIL ALL AREAS HAVE AT LEAST 85-90% VIGOROUS PERENNIAL COVER OF GRASSES.
6. ADJACENT ROADS SHALL BE PERIODICALLY SWEEP OR WASHED TO AVOID TRACKING MUD, DUST OR DEBRIS FROM THE CONSTRUCTION AREA AS OFTEN AS NECESSARY (WHICH COULD BE ON A DAILY BASIS) TO REMOVE ANY SOIL OR SEDIMENTS AT NO ADDITIONAL COST TO THE OWNER. A WATERING TRUCK WILL BE USED TO PERIODICALLY SPRINKLE CONSTRUCTION AREAS IN ORDER TO KEEP THE LEVEL OF DUST TO A MINIMUM DURING THE DRY MONTHS AT NO ADDITIONAL COST TO THE OWNER.
7. THE CONTRACTOR SHALL USE EXTREME CAUTION TO AVOID ALLOWING SEDIMENTS TO ENTER THE STORM DRAIN SYSTEM DURING CONSTRUCTION. BOTH EXISTING AND PROPOSED CATCH BASIN INLETS SHALL BE PROTECTED DURING CONSTRUCTION BY THE USE SILT SACKS AND/OR TUBULAR BARRIERS AROUND EACH INLET AS NOTED ON THE PLANS. INLET PROTECTION MAY BE REMOVED ONLY AFTER FINISHED AREAS ARE PAVED AND THE VEGETATED SLOPES ARE ESTABLISHED WITH AT LEAST 85-90% OF VIGOROUS PERENNIAL GROWTH.
8. AS APPLICABLE, EROSION CONTROL MESH SHALL BE APPLIED IN ACCORDANCE WITH THE PLANS OVER ALL FINISHED SEEDED AREAS AS SPECIFIED ON THE DESIGN PLANS.
9. AT A MINIMUM, ALL TUBULAR BARRIERS AND FILTER FABRIC SHALL REMAIN IN PLACE UNTIL SEEDINGS OR PLANTINGS HAVE BECOME 85-90% ESTABLISHED. THE LOCAL CONSERVATION COMMISSION MUST APPROVE THE REMOVAL OR RELOCATION OF ANY OF THE TUBULAR BARRIERS AND FILTER FABRIC. ONCE THE TUBULAR BARRIERS ARE REMOVED THE AREAS ARE TO BE LOAMED AND SEEDED TO ACHIEVE FULL STABILIZATION.
10. AT THE OWNER'S DISCRETION ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED TO MAINTAIN STABILITY OF EARTHWORKS AND FINISHED GRADED AREAS. THE CONTRACTOR, AT HIS EXPENSE, WILL BE RESPONSIBLE FOR PROVIDING AND INSTALLING ANY ADDITIONAL MEASURES AS SPECIFIED BY THE OWNER. THIS INCLUDES BUT IS NOT LIMITED TO REQUESTS BY MA DEP, THE ENGINEER AND THE LOCAL MUNICIPALITY, AS AUTHORIZED BY THE OWNER. FAILURE TO COMPLY WITH THE OWNER'S DIRECTIONS WILL RESULT IN DISCONTINUATION OF CONSTRUCTION ACTIVITIES.
11. INSPECTIONS AND MONITORING MAINTENANCE MEASURES SHALL BE APPLIED AS NEEDED DURING THE ENTIRE CONSTRUCTION CYCLE. WEEKLY INSPECTIONS SHALL BE HELD THROUGH THE DURATION OF CONSTRUCTION ACTIVITY. WEEKLY INSPECTION REPORTS SHALL BE MAINTAINED BY THE CONTRACTOR AND LOCATED IN THE CONTRACTORS FIELD OFFICE ONSITE. IN ADDITION TO THE NORMAL WEEKLY INSPECTIONS, THE CONTRACTOR SHALL PERFORM AN INSPECTION OF ALL EROSION CONTROL MEASURES AFTER EACH RAINFALL OR RUNOFF EVENT, AND PERFORM THE NECESSARY REPAIRS. THE INSPECTIONS SHALL INCLUDE BUT NOT BE LIMITED TO THE SITE'S DOWN STREAM DISCHARGE POINTS.
12. IF ANY EVIDENCE OF SEDIMENTATION IS OBSERVED AT THE STORMWATER MANAGEMENT AREA INLETS, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, PROVIDE A PLAN TO THE ENGINEER TO REMOVE ANY ACCUMULATED SEDIMENT IN THESE AREAS. THE CONTRACTOR SHALL ALSO IMMEDIATELY PROVIDE ADDITIONAL ON SITE EROSION AND SEDIMENTATION CONTROL MEASURES TO PREVENT FURTHER DEGRADATION OF THE AREA.
13. FOLLOWING THE TEMPORARY OR FINAL SEEDINGS, THE CONTRACTOR SHALL INSPECT THE WORK AREA SEMI-MONTHLY TO ENSURE THE AREAS HAVE A MINIMUM OF 85-90% VEGETATED VIGOROUS GROWTH. RE-SEEDING SHALL BE CARRIED OUT BY THE CONTRACTOR WITH FOLLOW UP INSPECTIONS IN THE EVENT OF ANY FAILURES UNTIL VEGETATION IS ADEQUATELY ESTABLISHED.
14. CONTRACTOR & ALL SITE SUBCONTRACTORS SHALL BE FAMILIAR WITH & FOLLOW ALL APPROVED PERMITS AND CONDITIONS. CONTRACTOR SHALL MAINTAIN A COPY OF ALL APPROVED PERMITS ONSITE. ALL CONDITIONS & RECOMMENDATIONS WITHIN THE APPROVED PERMITS SHALL BE COMPLETED.
15. ALL EROSION MEASURES SHALL BE INSTALLED PRIOR TO CONSTRUCTION AND SHALL BE ADEQUATE TO MAINTAIN SEDIMENT ON SITE. ANY MODIFICATIONS SHALL BE INSTALLED AS DIRECTED BY THE ENGINEER OR THE LOCAL MUNICIPALITY.
16. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE MAINTAINED DURING CONSTRUCTION, AND SHALL REMAIN IN PLACE UNTIL ALL SITE WORK IS COMPLETE AND GROUND COVER IS ESTABLISHED.
17. TOP OF STOCKPILES SHALL BE COVERED IN SUCH MANNER THAT STORMWATER DOES NOT INFILTRATE THE MATERIALS AND THEREBY RENDER THE SAME UNSUITABLE FOR FILL USE.

EROSION & SEDIMENTATION CONTROL NOTES (CONTINUED):

18. ALL DISTURBED OR EXPOSED AREAS SUBJECT TO EROSION SHALL BE STABILIZED WITH MULCH OR SEEDED FOR TEMPORARY VEGETATIVE COVER. NO AREA, SUBJECT TO EROSION SHALL BE LEFT DISTURBED AND UNSTABILIZED FOR PERIODS LONGER THAN IS ABSOLUTELY NECESSARY TO CARRY OUT THAT PORTION OF THE CONSTRUCTION WORK OR SIX MONTHS AFTER SOIL HAS BEEN DISTURBED WHICHEVER IS LESS.
19. CULVERT/PIPE INLETS AND OUTFALLS SHALL BE PROTECTED BY TUBULAR BARRIER FILTERS AND STONE CHECK DAMS UNTIL DISTURBED AREAS ARE PERMANENTLY STABILIZED.
20. TUBULAR BARRIER DIKES SHALL BE CONSTRUCTED AT ALL EXISTING & PROPOSED CATCH BASINS. NO SEDIMENTATION SHALL ENTER THE ON-SITE OR OFF-SITE DRAINAGE SYSTEMS AT ANY TIME.
21. ALL EROSION CONTROL MEASURES SHALL BE ROUTINELY INSPECTED, CLEANED AND REPAIRED OR REPLACED AS NECESSARY THROUGHOUT ALL PHASES OF CONSTRUCTION. IN ADDITION, INSPECTIONS SHALL TAKE PLACE WEEKLY AND BEFORE AND AFTER EACH RAINFALL EVENT.
22. ALL PROPOSED SLOPES STEEPER THAN 3:1 SHALL BE STABILIZED WITH JUTE MESH AND PROTECTED FROM EROSION UNTIL WORK IS COMPLETE AND GROUND COVER IS ESTABLISHED.
23. THE CONTRACTOR SHALL KEEP ON SITE AT ALL TIMES ADDITIONAL TUBULAR BARRIERS FOR INSTALLATION AT THE DIRECTION OF THE ENGINEER OR THE TOWN ENGINEER TO MITIGATE ANY EMERGENCY CONDITION.

24. AS CONSTRUCTION DISTURBANCE IS GREATER THAN 1 ACRE, A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) CONSTRUCTION GENERAL PERMIT NOI, AND STORM WATER POLLUTION PREVENTION PLAN (SWPPP) WILL NEED TO BE SUBMITTED TO THE EPA PRIOR TO CONSTRUCTION.

25. OWNER AND CONTRACTOR ARE RESPONSIBLE FOR COMPLIANCE WITH THE CONSTRUCTION GENERAL PERMIT NOI. WEEKLY SWPPP INSPECTION REPORTS TO BE PERFORMED BY CONTRACTOR. COPIES OF ALL SWPPP INSPECTION REPORTS SHALL BE PROVIDED TO THE LOCAL MUNICIPALITY, EPA, DEP, OR ANY OTHER AUTHORITY REQUESTING WITHIN 3 DAYS OF EACH INSPECTION.

26. APPLICABLE WORK AND MATERIALS SHALL COMPLY WITH ALL LOCAL, MA DEP, EPA CONSTRUCTION GENERAL PERMIT STANDARDS. ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE SITE PLAN REGULATIONS FROM THE LOCAL AND USDA SOIL CONSERVATION SERVICE VEGETATIVE PRACTICES IN SITE DEVELOPMENT.

27. A WATERING TRUCK SHALL BE USED TO PERIODICALLY SPRINKLE CONSTRUCTION AREAS IN ORDER TO KEEP THE LEVEL OF DUST TO A MINIMUM DURING THE DRY MONTHS AND AS REQUIRED.

28. IF DEWATERING IS NECESSARY IT SHALL ONLY BE COMPLETED AS FOLLOWS: THE DISCHARGE SHALL BE STOPPED IMMEDIATELY IF THE RECEIVING AREA SHOWS ANY SIGN OF INSTABILITY OR EROSION. ALL CHANNELS, SWALES, AND DITCHES DUG FOR DISCHARGING WATER FROM THE EXCAVATED AREA SHALL BE STABLE PRIOR TO DIRECTING DISCHARGE TO THEM. IF A CONSTRUCTION EQUIPMENT BUCKET IS USED, IT SHALL EMPTY THE MATERIAL TO A STABLE AREA. NO DEWATERING SHALL OCCUR DURING PERIODS OF INTENSE, HEAVY RAIN. FLOW TO THE SEDIMENT REMOVAL STRUCTURE SHALL NOT EXCEED THE STRUCTURE'S CAPACITY TO SETTLE AND FILTER FLOW OR ITS VOLUME CAPACITY. WHENEVER POSSIBLE, THE DISCHARGE FROM THE SEDIMENT REMOVAL STRUCTURE SHALL DRAIN TO A WELL-VEGETATED BUFFER BY SHEET FLOW WHILE MAXIMIZING THE DISTANCE TO THE NEAREST WATER RESOURCE AND MINIMIZING THE SLOPE OF THE BUFFER AREA. THERE SHALL BE NO DIRECT DISCHARGE TO EXISTING WETLANDS OR STREAMS. ALL DISCHARGE SHALL BE IN COMPLIANCE WITH STATE, LOCAL, AND FEDERAL REQUIREMENTS.

29. INITIATE STABILIZATION OF EXPOSED AREAS IMMEDIATELY IF CONSTRUCTION WORK TEMPORARILY OR PERMANENTLY CEASES.

30. ALL DISCHARGES FROM POLLUTION SOURCES ARE PROHIBITED ONSITE SUCH AS FUELS, WASTEWATER FROM WASH OUT OF CONCRETE, WASTEWATER FROM CLEAN OUT OF PAINTS, FORM RELEASE OILS, SOLVENTS, ADHESIVES, CURING COMPOUNDS, POLLUTANTS USED FOR MAINTENANCE OF VEHICLES AND EQUIPMENT, SOAPS & SOLVENTS, TOXIC OR HAZARDOUS SUBSTANCES, CHEMICALS AND OILS. IF A POLLUTANT IS DISCHARGED IT NEEDS TO BE IMMEDIATELY CLEANED UP BY REMOVING THE CHEMICAL AND AFFECTED SOIL OR AREA OF SPILL FROM THE SITE IN ACCORDANCE WITH BOTH THE MANUFACTURER RECOMMENDATIONS, FEDERAL, STATE, AND LOCAL REQUIREMENTS. DO NOT HOSE DOWN AND SPREAD SPILLED ITEM. ALL CHEMICALS USED ON THE SITE SHALL BE IN LEAK-PROOF CONTAINERS STORED AWAY FROM WETLANDS, SURFACE WATERS, STORMWATER INLETS, AND DRAINAGE MEASURES. SPILL KITS SHALL BE AVAILABLE ONSITE FOR EMERGENCY USE. THERE SHALL BE A SECONDARY CONTAINMENT MEASURE OF ALL CHEMICALS IN ADDITION TO SPILL-PROOF CONTAINERS.

31. PRIOR TO COMMENCEMENT OF CONSTRUCTION, APPLICABLE CONTRACTOR PERSONNEL MUST HAVE AN UNDERSTANDING OF THE EPA CONSTRUCTION GENERAL PERMIT REQUIREMENTS AND THEIR SPECIFIC RESPONSIBILITIES UNDER THE PERMIT. AT A MINIMUM, PERSONNEL MUST BE TRAINED AND UNDERSTAND THE FOLLOWING: LOCATION OF ALL STORMWATER CONTROLS AND HOW TO MAINTAIN THEM, PROCEDURES FOR COMPLYING WITH THE POLLUTION PREVENTION REQUIREMENTS, PROCEDURES FOR CONDUCTING INSPECTIONS, RECORDING FINDINGS, AND TAKING CORRECTIVE ACTION.

32. ALL SEDIMENT TRACKED ONTO ROADWAYS MUST BE REMOVED AT END OF EACH WORK DAY.

33. ALL USE OF CATIONIC TREATMENT CHEMICALS (EXAMPLES INCLUDE POLYMERS, CHITOSAN, CATIONIC PAM, FLOCCULANTS OR OTHER CHEMICAL UTILIZED FOR STABILIZATION) ARE PROHIBITED. IF ALL OTHER AVAILABLE STABILIZATION MEASURES ARE NOT POSSIBLE AND USE OF CATIONIC CHEMICALS IS ABSOLUTELY NECESSARY THE CONTRACTOR WILL NEED TO CONTACT THE EPA NEW ENGLAND OFFICE IN WRITING FOR APPROVAL AND SPECIFIC REQUIREMENTS (MAXIMUM DOSAGE RATE, RESIDUAL TESTING, SPECIFIC LIMITATIONS, ETC) PRIOR TO USE.

34. IF USING NON-VEGETATIVE STABILIZATION MEASURES, IT MUST BE COMPLETED NO LATER THAN 14 DAYS AFTER INITIATING STABILIZATION. ALL AREAS OF EXPOSED SOILS MUST BE COVERED.

35. INSPECTIONS OF EROSION CONTROL MEASURES SHALL BE AT LEAST ONCE EVERY 7 DAYS BY THE CONTRACTOR. AT A MINIMUM INSPECTIONS SHALL INCLUDE ALL DISTURBED AREAS, ALL STORMWATER CONTROLS AND POLLUTION PREVENTION MEASURES, ALL LOCATIONS WHERE STABILIZATION MEASURES HAVE BEEN IMPLEMENTED, EQUIPMENT AND MATERIAL STORAGE AREAS, ALL AREAS WHERE STORMWATER FLOWS AND ALL POINTS OF DISCHARGE. WHEN CORRECTIVE ACTIONS ARE REQUIRED, THE CONTRACTOR MUST IMMEDIATELY TAKE ALL STEPS TO PREVENT POLLUTANT DISCHARGES UNTIL A PERMANENT SOLUTION IS IMPLEMENTED. AS NECESSARY NEW OR MODIFIED CONTROLS MUST BE INSTALLED AND OPERATIONAL. THE REPAIR MUST BE COMPLETED WITHIN 7 DAYS FROM THE TIME OF DISCOVERY. WITHIN 24 HOURS OF A TRIGGERING CONDITION OCCURRING THAT REQUIRES A CORRECTIVE ACTION, A CORRECTIVE ACTION REPORT MUST BE COMPLETED.

APPROVED BY:
TOWN OF LEXINGTON PLANNING BOARD

DATE: _____

THIS PLAN IS SUBJECT TO A COVENANT

DATED _____

THIS PLAN IS SUBJECT TO A CERTIFICATE OF

ACTION DATED _____

THIS PLAN IS SUBJECT TO A SPECIAL PERMIT

DATED _____

I, _____, TOWN CLERK OF THE TOWN OF LEXINGTON, MASSACHUSETTS HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

TOWN CLERK _____ DATE _____



Carlton M. Quinn
PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

APPLICANT/OWNER:

131 HARTWELL LLC
131 HARTWELL AVENUE
LEXINGTON, MA 02421

PROJECT:

DEFINITIVE NON-RESIDENTIAL
SUBDIVISION
131 HARTWELL AVENUE
LEXINGTON, MA

PROJECT NO. 3048-01A DATE: 03-28-2025

SCALE: NONE DWG. NAME: C-3048-01A

DESIGNED BY: DMR CHECKED BY: CMQ

PREPARED BY:

ALLEN & MAJOR ASSOCIATES, INC.

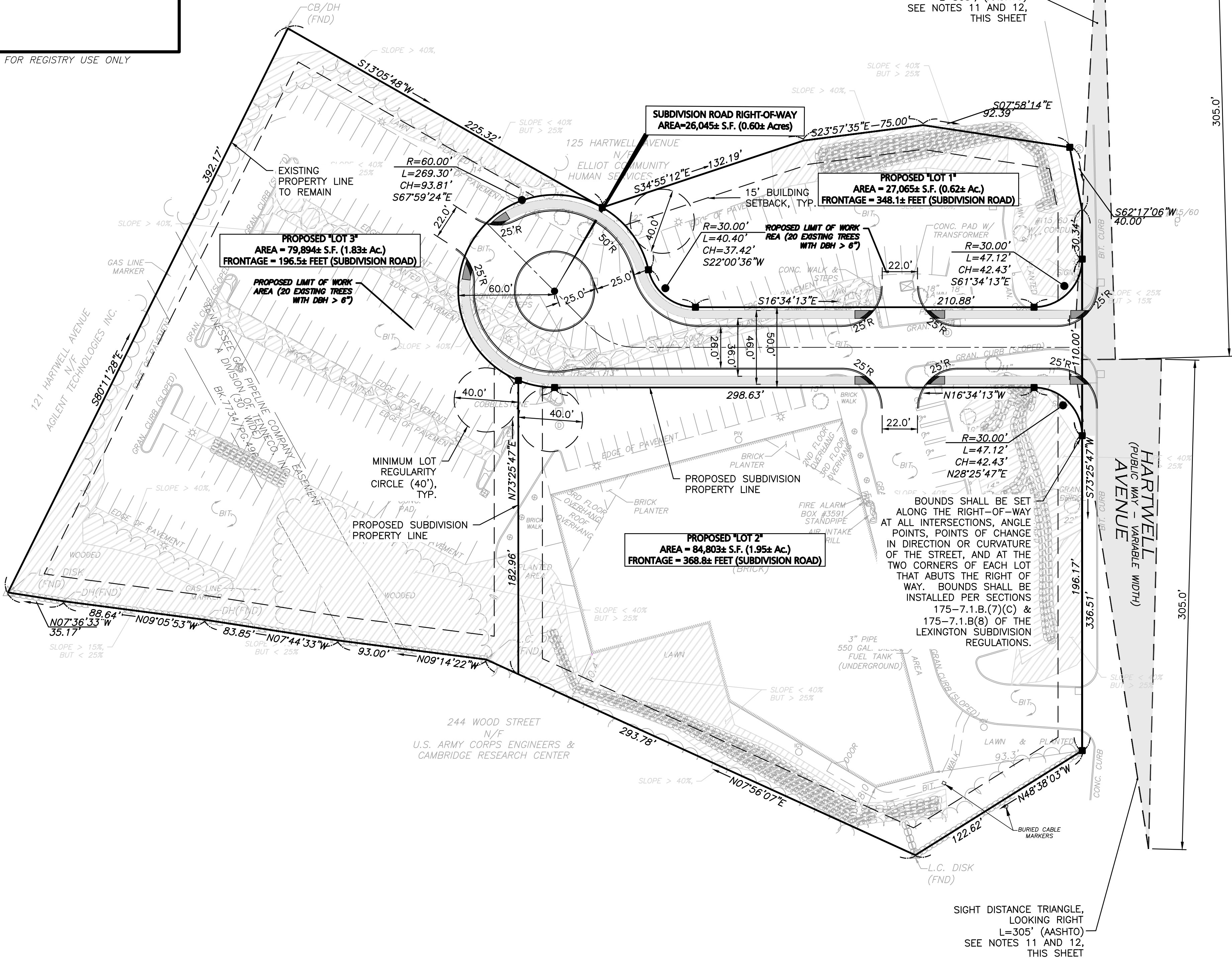
civil engineering • land surveying
environmental consulting • landscape architecture
www.allenmajor.com
100 COMMERCE WAY, SUITE 5
WOBURN MA 01801-8501
TEL: (781) 935-6889
FAX: (781) 935-2896

WOBURN, MA • LAKEVILLE, MA • MANCHESTER, NH

THIS DRAWING HAS BEEN PREPARED IN DIGITAL FORMAT. CLIENT/CUSTOMER'S REPRESENTATIVE OR CONSULTANTS MAY BE PROVIDED COPIES OF DRAWINGS AND SPECIFICATIONS FOR HIS/HER INFORMATION AND/OR SPECIFIC USE ON THIS PROJECT. DUE TO THE POTENTIAL THAT THE PROVIDED INFORMATION MAY BE MODIFIED UNINTENTIONALLY OR OTHERWISE, ALLEN & MAJOR ASSOCIATES, INC. MAY REMOVE ALL INDICATION OF THE DOCUMENT'S AUTHORSHIP ON THE DIGITAL MEDIA. PRINTED REPRESENTATIONS OR PORTABLE DOCUMENT FORMAT OF THE DRAWINGS AND SPECIFICATIONS ISSUED SHALL BE THE ONLY RECORD COPIES OF ALLEN & MAJOR ASSOCIATES, INC.'S WORK PRODUCT.

DRAWING TITLE:	SHEET No.
ABBREVIATIONS & NOTES	C-002

FOR REGISTRY USE ONLY



SIGHT DISTANCE TRIANGLE,
LOOKING LEFT
L=305', (AASHTO)
SEE NOTES 11 AND 12,
THIS SHEET

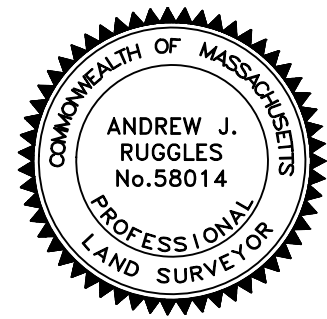
BOUNDS SHALL BE SET
ALONG THE RIGHT-OF-WAY
AT ALL INTERSECTIONS, ANGLE
POINTS, POINTS OF CHANGE
IN DIRECTION OR CURVATURE
OF THE STREET, AND AT THE
TWO CORNERS OF EACH LOT
THAT ABUTS THE RIGHT OF
WAY. BOUNDS SHALL BE
INSTALLED PER SECTIONS
175-7.1.B.(7)(C) &
175-7.1.B.(8) OF THE
LEXINGTON SUBDIVISION
REGULATIONS.

SIGHT DISTANCE TRIANGLE,
LOOKING RIGHT
L=305' (AASHTO)
SEE NOTES 11 AND 12,
THIS SHEET

LEGEND

PROP. PROPERTY LINE	---
SIGN	—
CURB	—
TRAFFIC ARROWS	→ ←
SIDEWALK	—
SETBACK LINE	---
BITUMINOUS ASPHALT	BIT.
VERTICAL GRANITE CURB	VGC
SLOPED GRANITE CURB	SGC
STONE BOUND (TBS)	■
IRON ROD (TBS)	●

THIS PLAN IS THE RESULT OF COMPILED
PLANS ONLY. NO ON THE GROUND SURVEY
WAS PERFORMED BY ALLEN & MAJOR
ASSOCIATES TO CONFIRM THESE LOCATIONS.
INFORMATION SHOWN HEREON IS FOR
PRELIMINARY PURPOSES ONLY. SHOULD THE
PROJECT MOVE FORWARD, A FULL BOUNDARY
SURVEY AND EXISTING CONDITIONS SURVEY
WILL BE REQUIRED.



PROFESSIONAL LAND SURVEYOR FOR
ALLEN & MAJOR ASSOCIATES, INC.

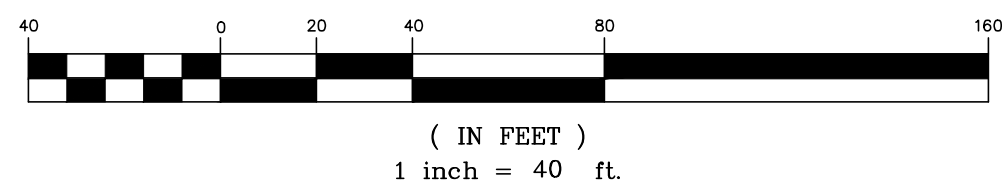
GENERAL NOTES

- PROPERTY LINE AND EXISTING SITE CONDITIONS INFORMATION SHOWN HEREON IS TAKEN FROM A PLAN ENTITLED "ALTA/NSPS LAND TITLE SURVEY - 131 HARTWELL AVENUE IN LEXINGTON, MASSACHUSETTS (MIDDLESEX COUNTY)", DATED FEBRUARY 11, 2019, PREPARED BY BSC GROUP, PREPARED FOR PARSADEA VENTURES, AND PROVIDED TO ALLEN & MAJOR ASSOCIATES BY AZAD LEGACY PARTNERS. THE INFORMATION SHOWN IS SUBJECT TO FIELD VERIFICATION AND MAY BE UPDATED AS NEEDED.
- THERE ARE NO WETLANDS ONSITE BASED UPON AVAILABLE MASS DEP GIS MAPS.
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR IT'S REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
- THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. IT'S INTENDED USE IS TO PROVIDE INFORMATION, ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED..
- THE PURPOSE OF THIS PLAN IS TO CREATE A SUBDIVISION ROAD AND THREE PROPOSED LOTS, LOTS 1, 2 AND LOT 3.
- ALL CURB RADI ARE TO BE 3' UNLESS OTHERWISE NOTED.
- ABBREVIATION "NR" SHALL SIGNIFY NO REQUIREMENT WITH REGARDS TO ZONING DIMENSIONAL REQUIREMENTS.
- PROPOSED DRIVEWAY INCORPORATES A 50' WIDE RIGHT-OF-WAY, A 26' WIDE PAVED DRIVEWAY AND A 60' RADIUS CUL-DE-SAC BULB.
- CONSTRUCTION OF THE PROPOSED ROADWAY SHALL CONFIRM TO 175.2, STREETS AND RIGHTS-OF-WAY. THE PROPOSED STREET INTENDED TO BE A PRIVATE WAY.
- BOUNDS SHALL BE SET ALONG THE RIGHT-OF-WAY AT ALL INTERSECTIONS, ANGLE POINTS, POINTS OF CHANGE IN DIRECTION OR CURVATURE OF THE STREET, AND AT THE TWO CORNERS OF EACH LOT THAT ABUTS THE RIGHT OF WAY. BOUNDS SHALL BE INSTALLED PER SECTIONS 175-7.1.B.(7)(C) & 175-7.1.B.(8) OF THE LEXINGTON SUBDIVISION REGULATIONS.
- SIGNS, LANDSCAPING AND OTHER FEATURES LOCATED WITHIN SIGHT TRIANGLE AREAS SHALL BE DESIGNED, INSTALLED AND MAINTAINED SO AS TO EITHER BE BELOW 2.5- FEET IN HEIGHT OR ABOVE 7- FEET IN HEIGHT (I.E. - BOTTOM OF SIGNS, BOTTOM OF TREE CANOPY ETC.). SNOW ACCUMULATION (WINDROWS) LOCATED WITHIN SITE TRIANGLE AREAS THAT EXCEED 3.5- FEET IN HEIGHT OR THAT WOULD OTHERWISE INHIBIT SIGHT LINES SHALL BE PROMPTLY REMOVED.
- INTERSECTION SIGHT LINE TRIANGLES SHOWN HEREON HAVE BEEN PROVIDED FOR A 40 MPH SPEED LIMIT AT 305 FEET FOR A RIGHT OR LEFT HAND TURN FROM STOP, PER AASHTO APPENDIX 16-1 TABLE 3-1, STOPPING SIGHT DISTANCE ON LEVEL ROADWAY. SIGHT LINE SET BACK 15' FROM EDGE OF ROADWAY. ADEQUATE SIGHT LINES HAVE BEEN PROVIDED.

ZONING SUMMARY TABLE COMMERCIAL MANUFACTURING ZONING DISTRICT & TRANSPORTATION MANAGEMENT OVERLAY (TMO) DISTRICT

ITEM	REQUIRED ZONING (CM)	PROPOSED LOT 1	PROPOSED LOT 2	PROPOSED LOT 3	PROPOSED SUBDIVISION ROAD
MINIMUM LOT AREA	20,000 S.F. (0.46 Ac.)	27,065 S.F. (0.62 Ac.)	84,803 S.F. (1.95 Ac.)	79,894 S.F. (1.83 Ac.)	26,045 S.F. (0.60 Ac.)
MINIMUM LOT FRONTAGE	50'	348.1'	368.8'	196.5'	N/A
MINIMUM FRONT YARD	NR	NR	NR	NR	NR
MINIMUM SIDE YARD	15'	TBD	TBD	TBD	TBD
MINIMUM REAR YARD	15'	TBD	TBD	TBD	TBD
MAXIMUM FLOOR AREA RATIO	NR	NR	NR	NR	NR
MAXIMUM SITE COVERAGE	NR	NR	NR	NR	NR
MAXIMUM BUILDING STORIES	NR	NR	NR	NR	NR
MAXIMUM BUILDING HEIGHT (INCLUDES ACCESSORY BLDGS)	115'	TBD	TBD	TBD	TBD

GRAPHIC SCALE



N:\PROJECTS\3048-01A\CIVIL\DRAWINGS\CURRENT\DEFINITIVE\C-3048-01A_PROPERTY RIGHTS & DIMENIONS.DWG

APPROVED BY:
TOWN OF LEXINGTON PLANNING BOARD

DATE: _____

THIS PLAN IS SUBJECT TO A COVENANT

DATED _____

THIS PLAN IS SUBJECT TO A CERTIFICATE OF

ACTION DATED _____

THIS PLAN IS SUBJECT TO A SPECIAL PERMIT

DATED _____

I, _____, TOWN CLERK
OF THE TOWN OF LEXINGTON,
MASSACHUSETTS HEREBY CERTIFY THAT THE
NOTICE OF APPROVAL OF THIS PLAN HAS
BEEN RECEIVED AND RECORDED AT THIS
OFFICE AND NO NOTICE OF APPEAL WAS
RECEIVED DURING THE TWENTY DAYS NEXT
AFTER SUCH RECEIPT AND RECORDING OF
SAID NOTICE.

TOWN CLERK _____ DATE _____



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
1	2025-06-10	ADDED SIGHT LINE DISTANCES

APPLICANT/OWNER:

131 HARTWELL LLC
131 HARTWELL AVENUE
LEXINGTON, MA 02421

PROJECT:

DEFINITIVE NON-RESIDENTIAL
SUBDIVISION
131 HARTWELL AVENUE
LEXINGTON, MA

PROJECT NO. 3048-01A DATE: 03-28-2025

SCALE: 1" = 40' DWG. NAME: C-3048-01A

DESIGNED BY: DMR CHECKED BY: CMQ

PREPARED BY:

ALLEN & MAJOR ASSOCIATES, INC.
civil engineering • landscape architecture
environmental consulting • landscape architecture
www.allenmajor.com
100 COMMERCE WAY, SUITE 5
WOBURN MA 01801-8501
TEL: (781) 935-6889
FAX: (781) 935-2896

WOBURN, MA • LAKEVILLE, MA • MANCHESTER, NH

THIS DRAWING HAS BEEN PREPARED IN DIGITAL FORMAT. CLIENT/CUSTOMER'S REPRESENTATIVE OR CONSULTANTS MAY BE PROVIDED COPIES OF DRAWINGS AND SPECIFICATIONS FOR HIS/HER INFORMATION AND/OR SPECIFIC USE ON THIS PROJECT. DUE TO THE POTENTIAL THAT THE PROVIDED INFORMATION MAY BE MODIFIED UNINTENTIONALLY OR OTHERWISE, ALLEN & MAJOR ASSOCIATES, INC. MAY REMOVE ALL INDICATION OF THE DOCUMENT'S AUTHORSHIP ON THE DIGITAL MEDIA. PRINTED REPRESENTATIONS OR PORTABLE DOCUMENT FORMAT OF THE DRAWINGS AND SPECIFICATIONS ISSUED SHALL BE THE ONLY RECORD COPIES OF ALLEN & MAJOR ASSOCIATES, INC.'S WORK PRODUCT.

DRAWING TITLE:
PROPERTY RIGHTS &
DIMENSIONAL STANDARDS
PLAN

SHEET NO.

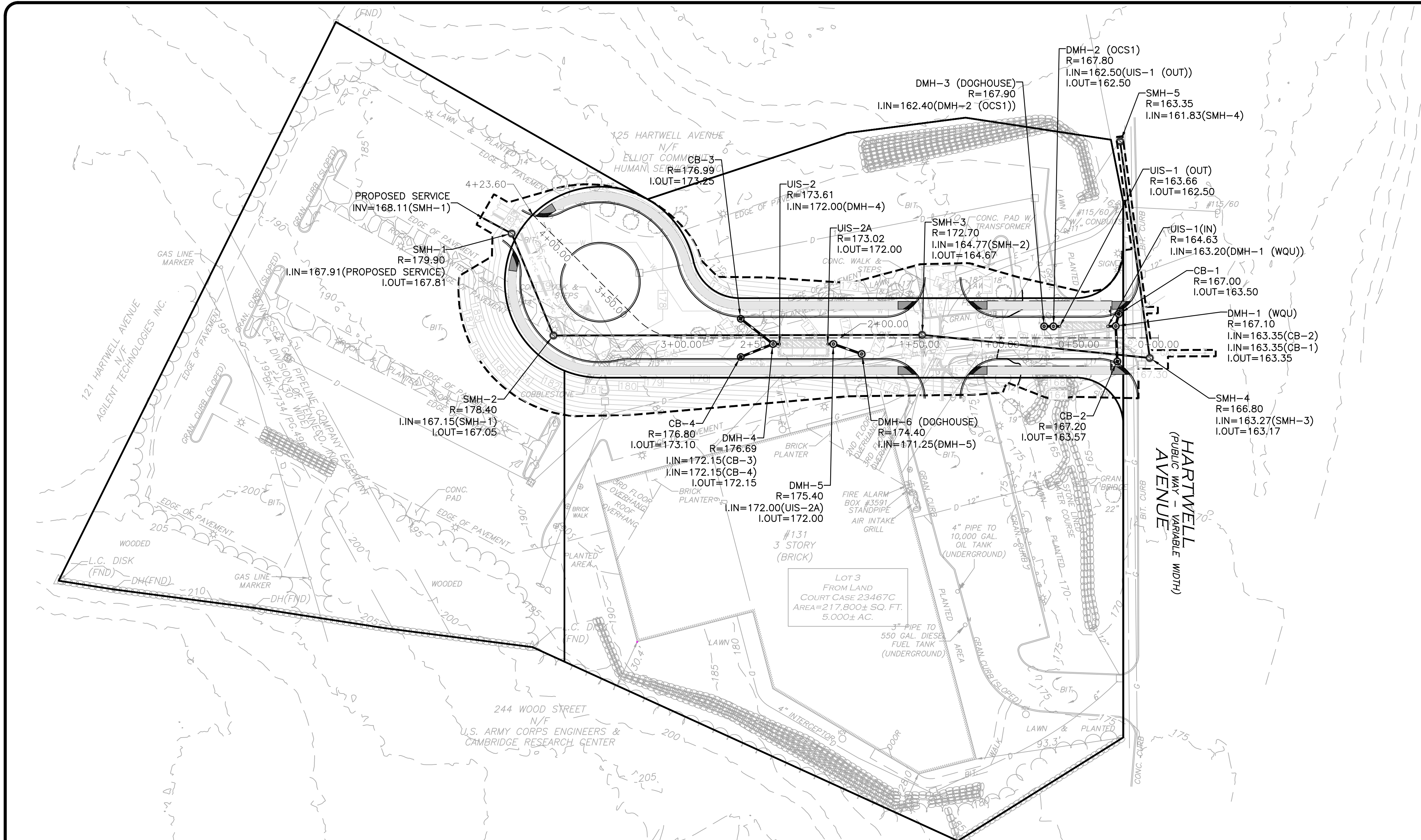
C-102

Copyright © 2025 Allen & Major Associates, Inc.
All Rights Reserved

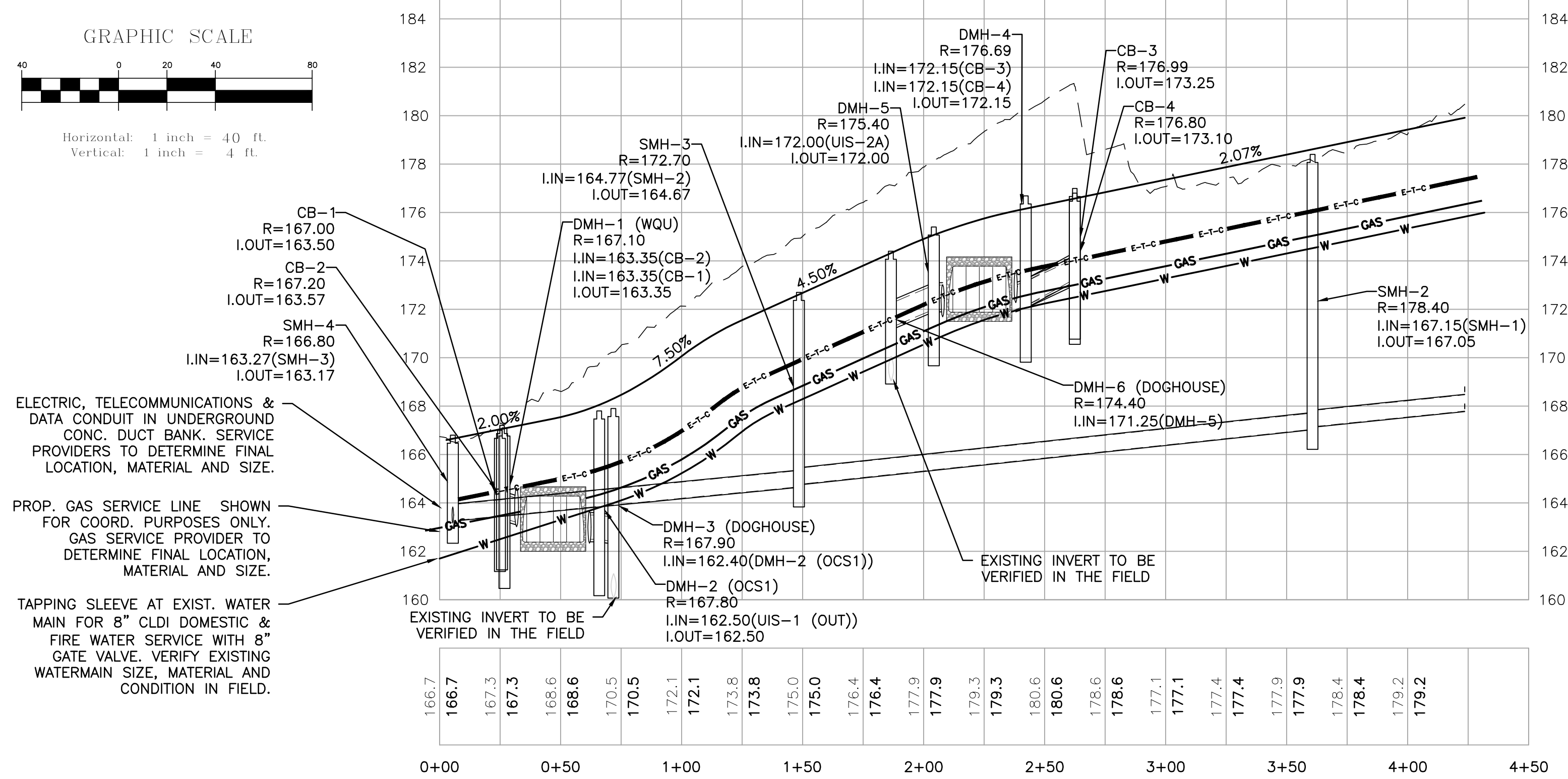
DIG SAFE



BEFORE YOU DIG
CALL 811 OR
1-888-DIG-SAFE
1-888-344-7233



Proposed Roadway Centerline CENTERLINE PROFILE
VERTICAL EXAGGERATION = 10.0



DIG SAFE
BEFORE YOU DIG
CALL 811 OR
1-888-DIG-SAFE
1-888-344-7233

GENERAL NOTES

1. PROPERTY LINE AND EXISTING SITE CONDITIONS INFORMATION SHOWN HEREON IS TAKEN FROM A PLAN ENTITLED "SITE ANALYSIS PLAN - SHEET V-101", DATED MAY 19, 2022, PREPARED BY ALLEN & MAJOR ASSOCIATES.
2. VERTICAL DATUM IS NAVD 88.
3. EXISTING CONTOUR INTERVAL IS ONE FOOT (1').
4. PROPOSED CONTOUR INTERVAL IS ONE FOOT (1').
5. CONTOURS SHOWN HEREON HAVE BEEN TRACED FROM TOWN OF LEXINGTON GIS.
6. WETLANDS SHOWN HEREON HAVE BEEN TRACED FROM MASS DEP WEBSITE.
7. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
8. THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. ITS INTENDED USE IS TO PROVIDE INFORMATION. ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING INVERTS OF ALL AFFECTED DRAINAGE STRUCTURES IN THE FIELD.
10. ALL UTILITY INSTALLATION SHALL CONFORM TO TOWN OF LEXINGTON STANDARDS.
11. ALL UTILITIES SHOWN ON THIS PLAN ARE FOR GENERAL COORDINATION PURPOSES ONLY. INDIVIDUAL UTILITY PROVIDERS AND MEP ENGINEER SHALL DETERMINE THE EXACT LOCATION IN THE BUILDING & SIZE OF EACH UTILITY & METER.
12. REFER TO GRADING & DRAINAGE PLAN AND UTILITIES PLAN FOR ADDITIONAL INFORMATION.

APPROVED BY:
TOWN OF LEXINGTON PLANNING BOARD

DATE:

THIS PLAN IS SUBJECT TO A COVENANT
DATED _____
THIS PLAN IS SUBJECT TO A CERTIFICATE OF ACTION DATED _____
THIS PLAN IS SUBJECT TO A SPECIAL PERMIT DATED _____

I, _____ TOWN CLERK OF THE TOWN OF LEXINGTON, MASSACHUSETTS HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

TOWN CLERK _____ DATE _____



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
-----	------	-------------

APPLICANT/OWNER:
131 HARTWELL LLC
131 HARTWELL AVENUE
LEXINGTON, MA 02421

PROJECT:
DEFINITIVE NON-RESIDENTIAL SUBDIVISION
131 HARTWELL AVENUE
LEXINGTON, MA

PROJECT NO. **3048-01A** DATE: **03-28-2025**
SCALE: **1" = 40'** DWG. NAME: **C-3048-01A**
DESIGNED BY: **DMR** CHECKED BY: **CMQ**

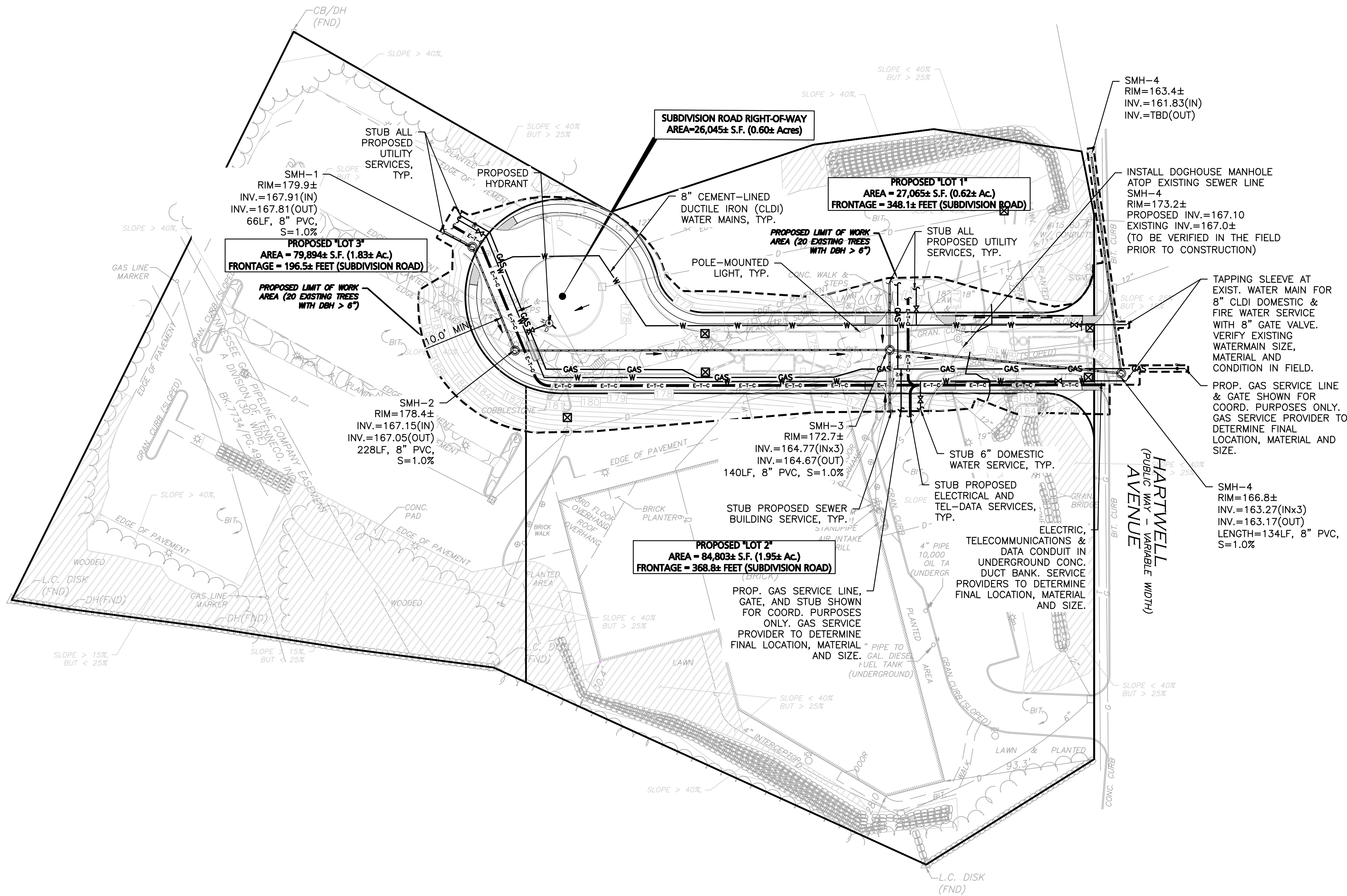
PREPARED BY:

ALLEN & MAJOR ASSOCIATES, INC.
civil engineering • land surveying
environmental consulting • landscape architecture
www.allenmajor.com
100 COMMERCE WAY, SUITE 5
WOBURN MA 01801-8501
TEL: (781) 935-6889
FAX: (781) 935-2896

WOBURN, MA • LAKEVILLE, MA • MANCHESTER, NH

THIS DRAWING HAS BEEN PREPARED IN DIGITAL FORMAT. CLIENT/CUSTOMER'S REPRESENTATIVE OR CONSULTANTS MAY BE PROVIDED COPIES OF DRAWINGS AND SPECIFICATIONS FOR HIS/HER INFORMATION AND/OR SPECIFIC USE ON THIS PROJECT. DUE TO THE POTENTIAL THAT THE PROVIDED INFORMATION MAY BE MODIFIED UNINTENTIONALLY OR OTHERWISE, ALLEN & MAJOR ASSOCIATES, INC. MAY REMOVE ALL INDICATION OF THE DOCUMENT'S AUTHORITY ON THE DIGITAL MEDIA. PRINTED REPRESENTATIONS OR PORTABLE DOCUMENT FORMAT OF THE DRAWINGS AND SPECIFICATIONS ISSUED SHALL BE THE ONLY RECORD COPIES OF ALLEN & MAJOR ASSOCIATES, INC.'S WORK PRODUCT.

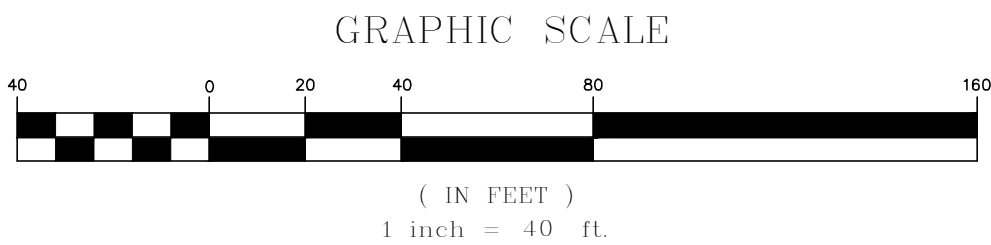
DRAWING TITLE: **STREET LAYOUT & PROFILE PLAN**
SHEET No. **C-104**



LEGEND	
SEWER MANHOLE	
SEWER LINE	
CONCRETE PIPE ENCASEMENT	
WATER LINE	
WATER (FIRE SERVICE)	
WATER VALVE	
HYDRANT	
GAS LINE	
GAS VALVE	
ELEC/TELE/CABLE CONDUIT	

GENERAL NOTES

- PROPERTY LINE AND EXISTING SITE CONDITIONS INFORMATION SHOWN HEREON IS TAKEN FROM A PLAN ENTITLED "EXISTING CONDITIONS", DATED MAY 19, 2022, PREPARED BY ALLEN & MAJOR ASSOCIATES.
- VERTICAL DATUM IS NAVD 88.
- CONTOUR INTERVAL IS ONE FOOT (1').
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR IT'S REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
- THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. IT'S INTENDED USE IS TO PROVIDE INFORMATION. ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING INVERTS OF ALL AFFECTED DRAINAGE STRUCTURES IN THE FIELD.
- ALL UTILITY INSTALLATION SHALL CONFORM TO TOWN OF LEXINGTON STANDARDS.
- ALL UTILITIES SHOWN ON THIS PLAN ARE FOR GENERAL COORDINATION PURPOSES ONLY. INDIVIDUAL UTILITY PROVIDERS AND MEP ENGINEER SHALL DETERMINE THE EXACT LOCATION IN THE BUILDING & SIZE OF EACH UTILITY & METER.
- ALL MANHOLE RIM ELEVATIONS SHALL BE AT FINISH GRADE.
- PER TOWN OF LEXINGTON ALL VALVES AND VALVE BOXES SHALL BE AMERICAN MADE ONLY. ALL VALVES SHALL OPEN RIGHT (CLOCKWISE).
- PER CHAPTER 175.7.1.B.4.A OF THE CODE OF LEXINGTON ALL NEW UTILITY EASEMENTS SHALL BE A MINIMUM OF 20 FEET WIDE.



APPROVED BY:
TOWN OF LEXINGTON PLANNING BOARD

DATE:

THIS PLAN IS SUBJECT TO A COVENANT

DATED

THIS PLAN IS SUBJECT TO A CERTIFICATE OF

ACTION DATED

THIS PLAN IS SUBJECT TO A SPECIAL PERMIT

DATED

I, _____, TOWN CLERK OF THE TOWN OF LEXINGTON, MASSACHUSETTS HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

TOWN CLERK _____ DATE _____



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV DATE DESCRIPTION

APPLICANT/OWNER:

131 HARTWELL LLC
131 HARTWELL AVENUE
LEXINGTON, MA 02421

PROJECT:

DEFINITIVE NON-RESIDENTIAL
SUBDIVISION
131 HARTWELL AVENUE
LEXINGTON, MA

PROJECT NO. 3048-01A DATE: 03-28-2025

SCALE: 1" = 40' DWG. NAME: C-3048-01A

DESIGNED BY: DMR CHECKED BY: CMQ

PREPARED BY:

ALLEN & MAJOR ASSOCIATES, INC.
civil engineering • land surveying
environmental consulting • landscape architecture
www.allenmajor.com
100 COMMERCE WAY, SUITE 5
WOBURN MA 01801-8501
TEL: (781) 935-6889
FAX: (781) 935-2896

WOBURN, MA • LAKEVILLE, MA • MANCHESTER, NH

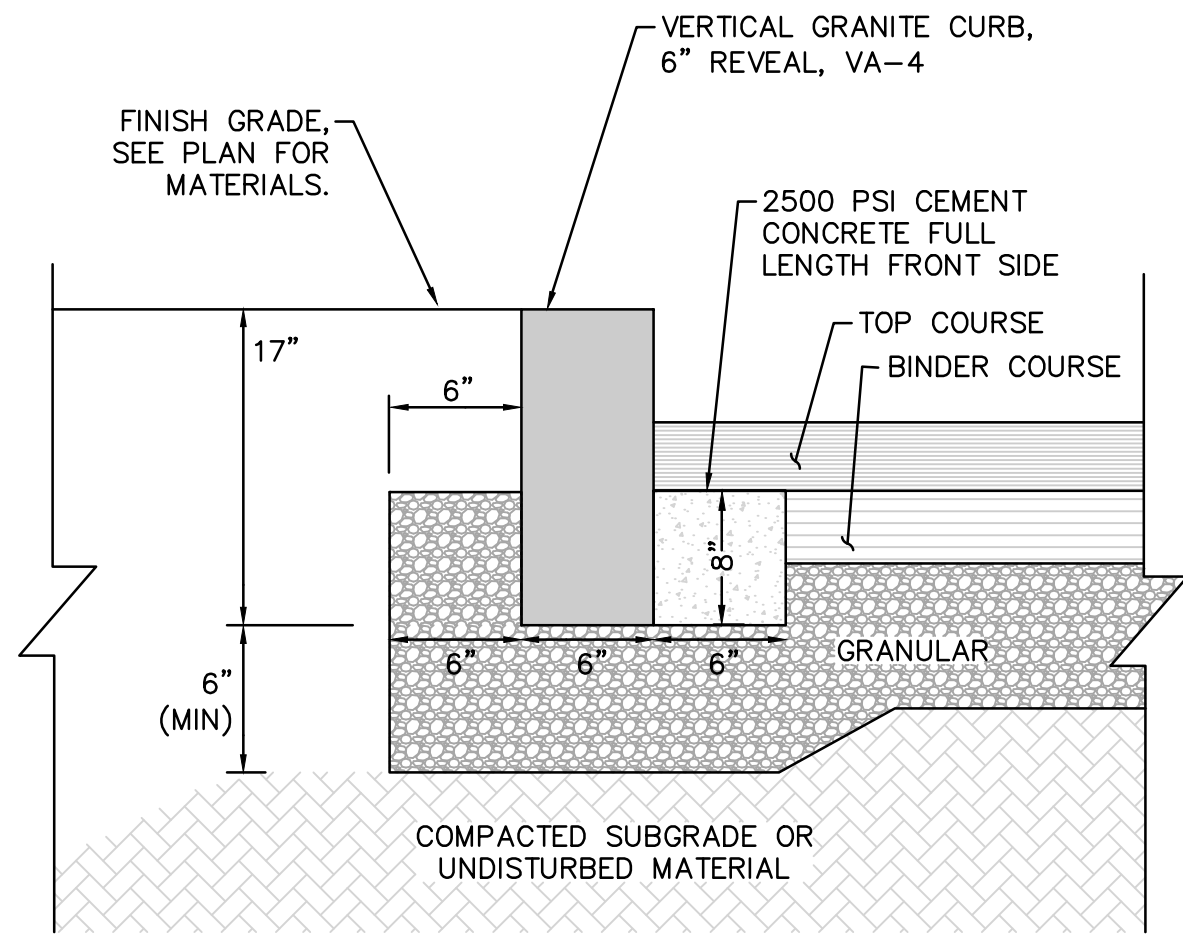
THIS DRAWING HAS BEEN PREPARED IN DIGITAL FORMAT. CLIENT/CLIENTS REPRESENTATIVE OR CONSULTANTS MAY BE PROVIDED COPIES OF DRAWINGS AND SPECIFICATIONS FOR HIS/HER INFORMATION AND/OR SPECIFIC USE ON THIS PROJECT. DUE TO THE POTENTIAL THAT THE PROVIDED INFORMATION MAY BE MODIFIED UNINTENTIONALLY OR OTHERWISE, ALLEN & MAJOR ASSOCIATES, INC. MAY REMOVE ALL INDICATION OF THE DOCUMENTS AUTHORSHIP ON THE DIGITAL MEDIA. PRINTED REPRESENTATIONS OR PORTABLE DOCUMENT FORMAT OF THE DRAWINGS AND SPECIFICATIONS ISSUED SHALL BE THE ONLY RECORD COPIES OF ALLEN & MAJOR ASSOCIATES, INC.'S WORK PRODUCT.

DRAWING TITLE:

UTILITIES PLAN

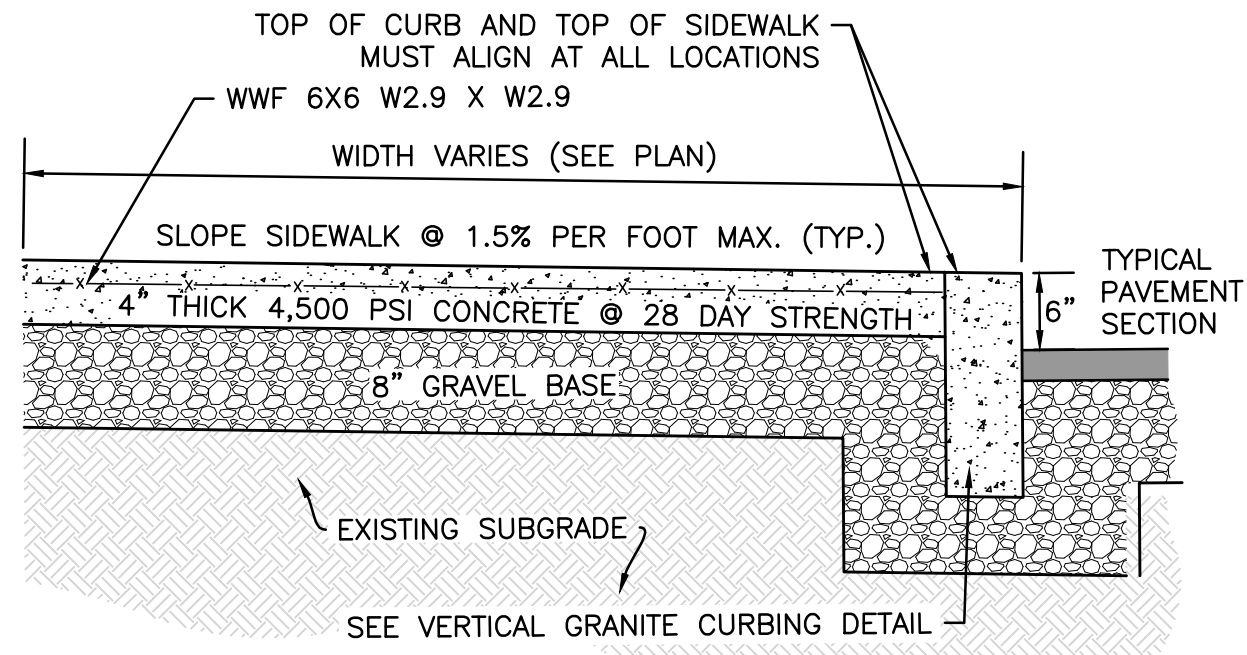
SHEET No.

C-105



NOTE:
INSTALL PER TOWN STANDARD SPECIFICATIONS.

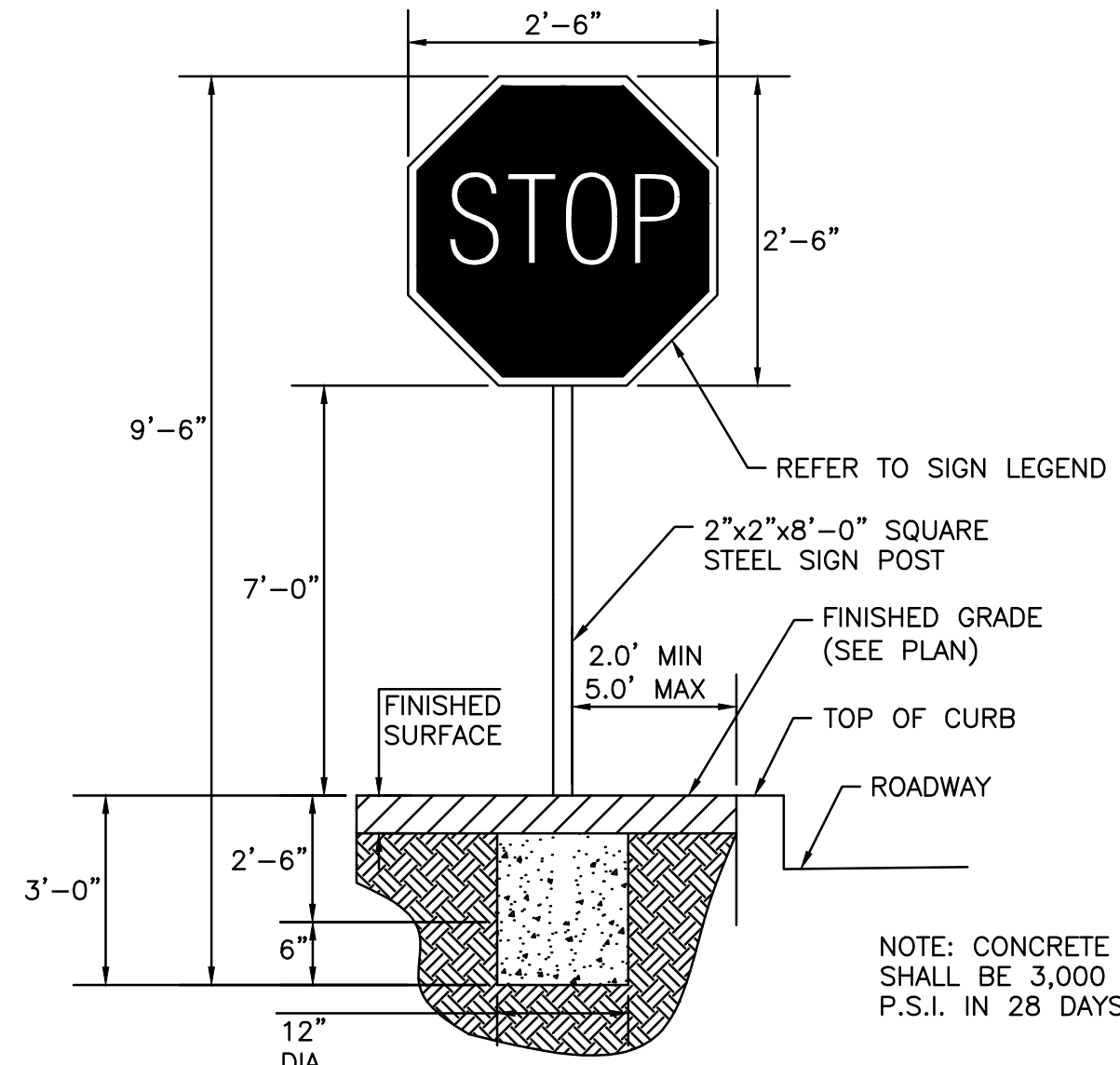
VERTICAL GRANITE CURBING TYPE VA-4 (VGC)
NOT TO SCALE



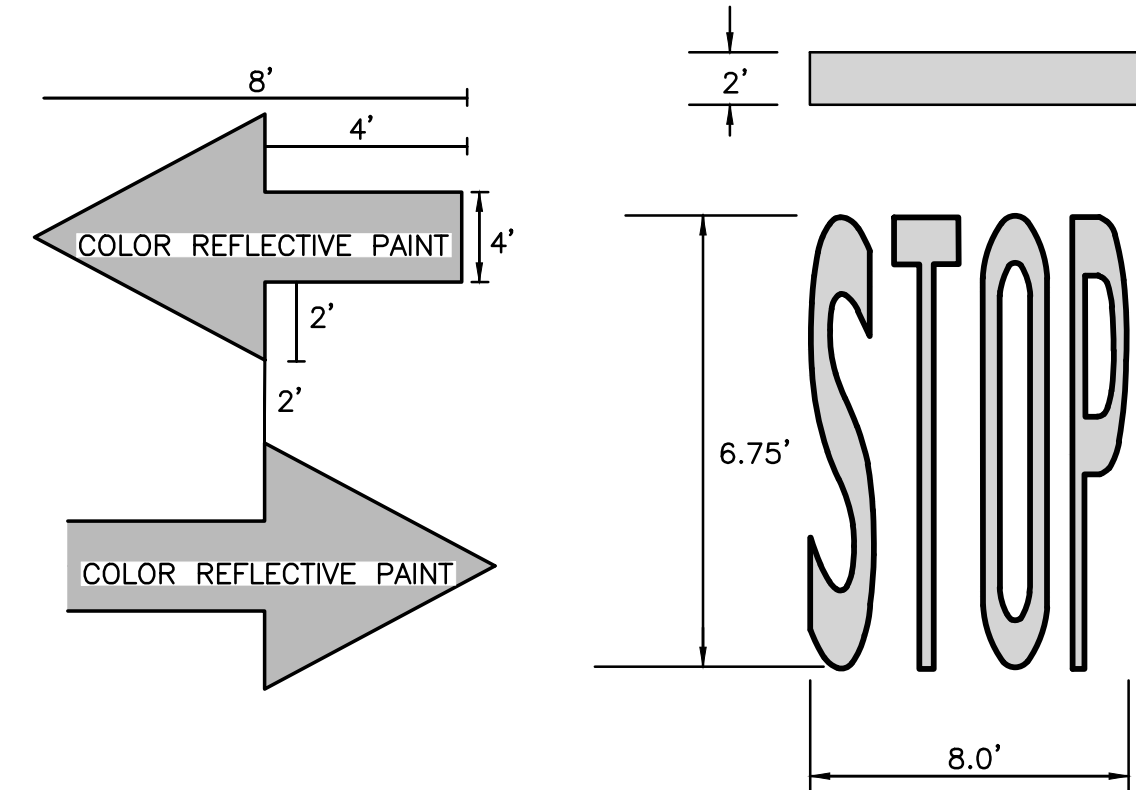
NOTES:

1. SIDEWALK TO HAVE TOOLED JOINTS IN A 5' x 5' (TYP.) GRID WITH EXPANSION JOINTS 15' ON CENTER AND PREMOLDED FILLER
2. TOOLED JOINT 6" FROM FACE OF CURB
3. SEE PLAN FOR ELEVATIONS AT CURB
4. SIDEWALK CROSS SLOPE TO BE 1.5% MAX & SIDEWALK LONGITUDINAL SLOPE TO BE 4.5% MAX, TYP.

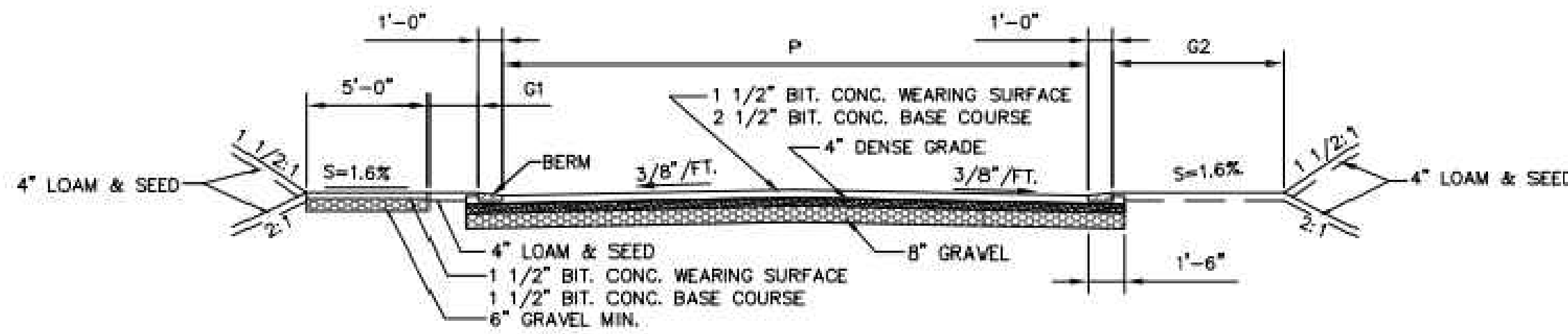
CONCRETE SIDEWALK WITH CURB
NOT TO SCALE



STOP SIGN DETAIL
NOT TO SCALE



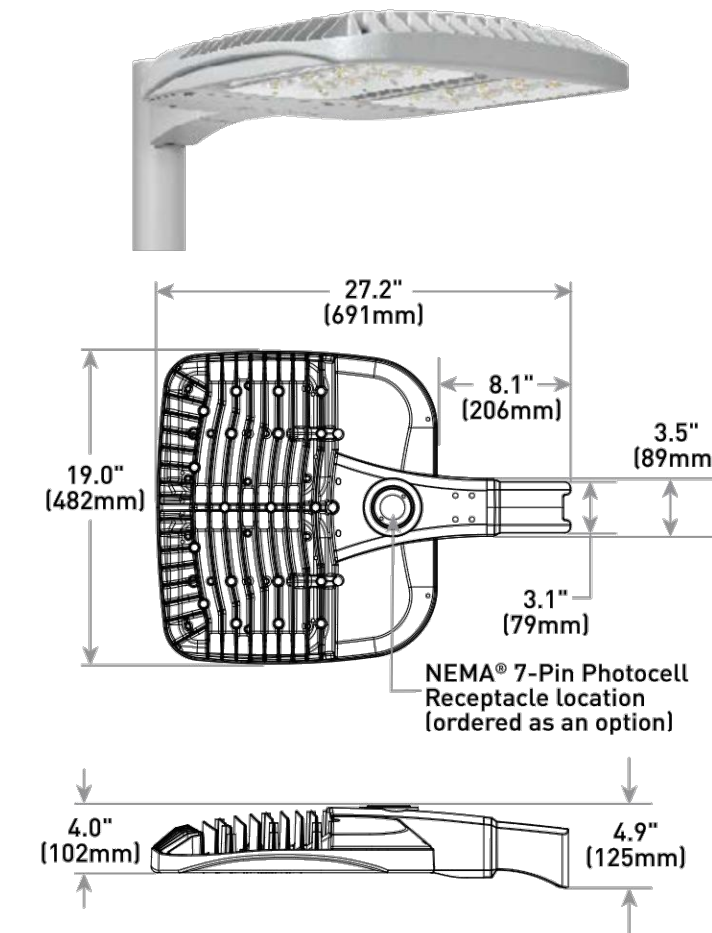
WHITE THERMOPLASTIC LETTERING AND ARROWS
NOT TO SCALE



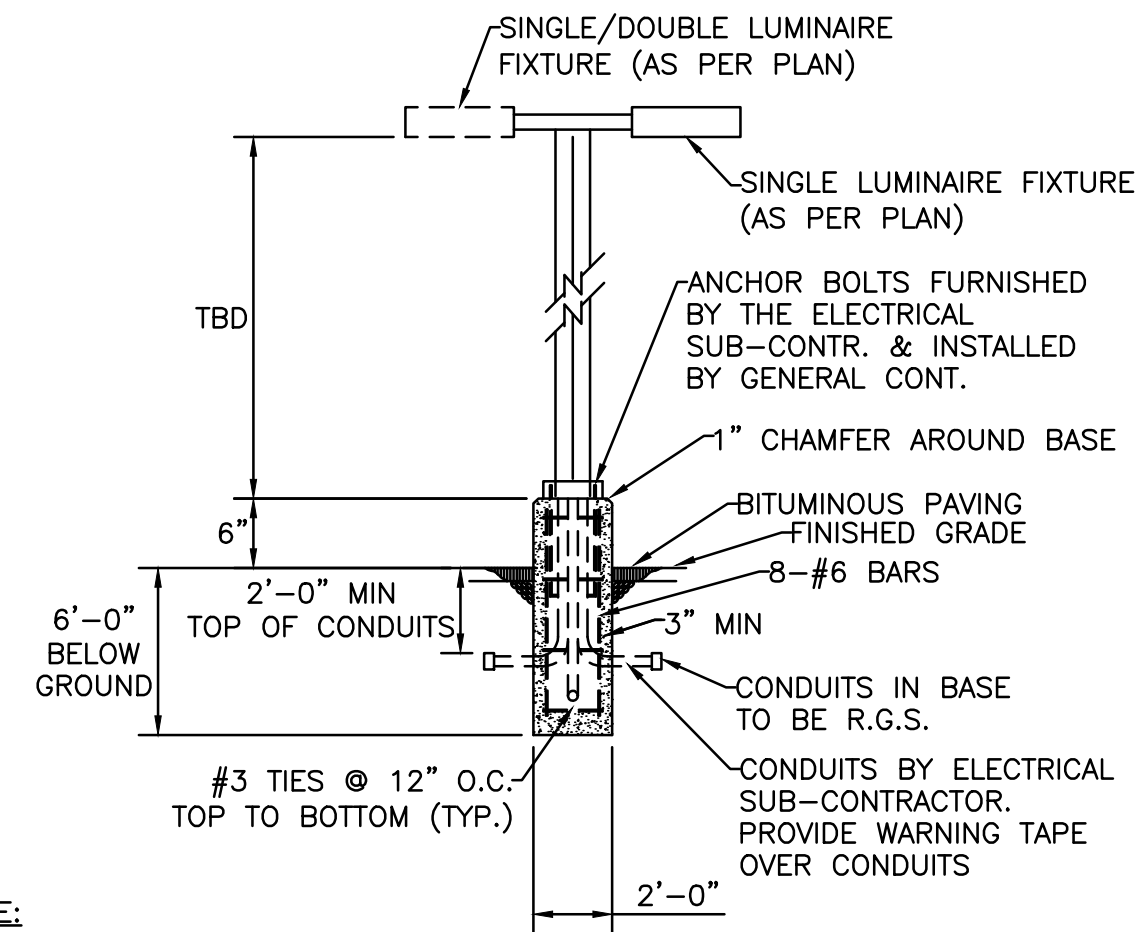
NOTES:

1. TYPICAL CROSS-SECTION FOR COORDINATION PURPOSES ONLY. REFER TO LAYOUT PLAN FOR EXACT DIMENSIONS AND LAYOUT.

TYPICAL 50' MINOR STREET CROSS-SECTIONAL LAYOUT
NOT TO SCALE

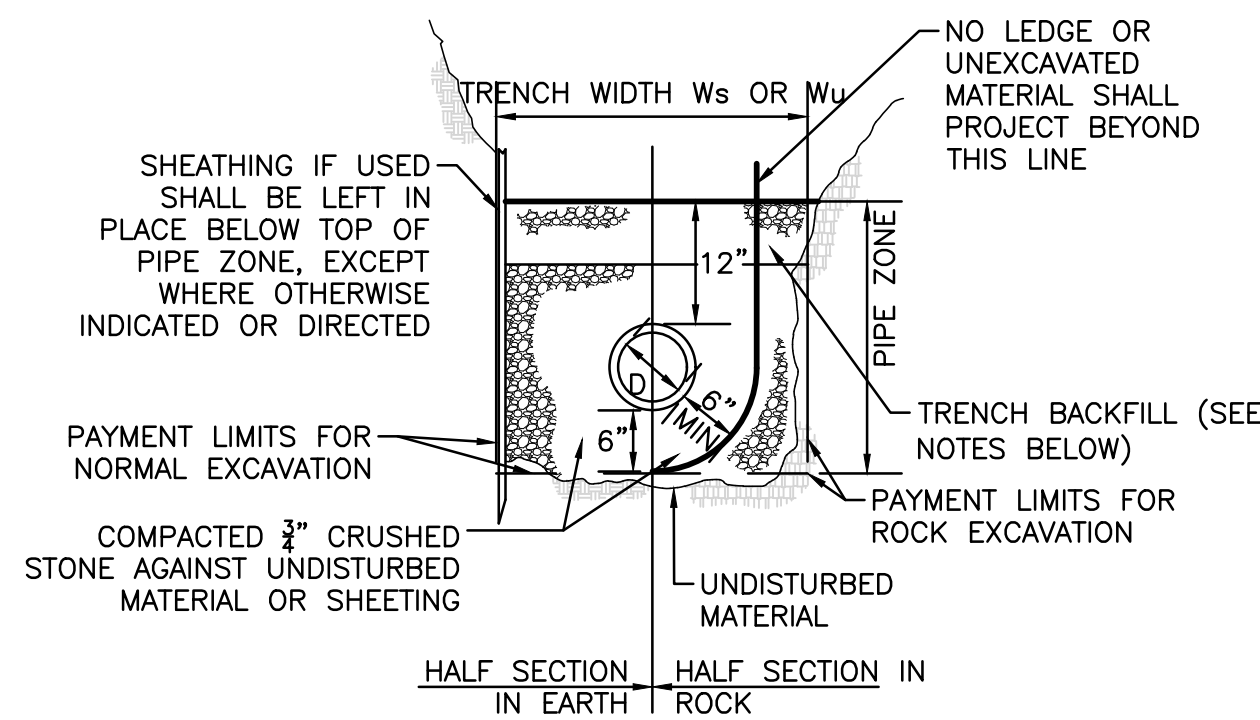


TYPICAL LIGHT FIXTURE - OSO LED AREA - LARGE
NOT TO SCALE



NOTE:
SIZE AND FOOTING FOR BASES TO BE VERIFIED BY STRUCTURAL ENGINEER.

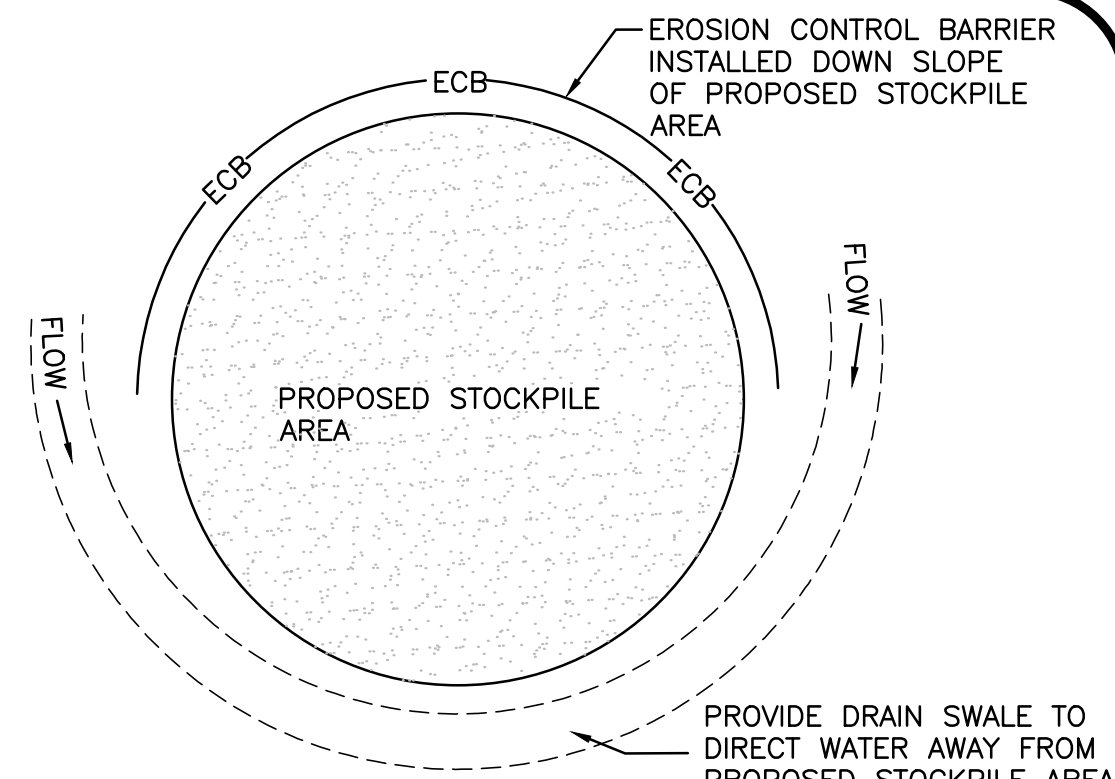
RAISED LIGHT POLE 2' DIAMETER
NOT TO SCALE



NOTES:

1. TRENCH BACKFILL TO BE USED WITHIN THE RIGHT-OF-WAY SHALL CONSIST OF EITHER GRAVEL BORROW MEETING MHD SPECIFICATION M1.03.0, TYPE "B" OR PROCESSED GRAVEL BORROW FOR SUBBASE MEETING MHD SPECIFICATION M1.03.1.
2. WHERE THE REMOVAL OF 100 SQUARE FEET OR LESS OF ASPHALT IS REQUIRED WITHIN THE RIGHT OF WAY, THEN THE TRENCH BACKFILL MATERIAL SHALL CONSIST OF CONTROLLED DENSITY FILL MEETING MHD SPECIFICATION M4.08.0, TYPE "1E" OR "2E".
3. TRENCH BACKFILL MATERIAL TO BE USED OF THE RIGHT-OF-WAY MAY CONSIST OF MATERIAL GENERATED DURING EXCAVATIONS PROVIDED ALL STONES GREATER THAN 4" ARE REMOVED PRIOR TO PLACEMENT AND COMPACTION
4. GRANULAR TRENCH BACKFILL MATERIAL USED WITHIN THE RIGHT-OF-WAY SHALL BE PLACED IN MAXIMUM 6" LIFTS AND MECHANICALLY COMPACTED TO A MINIMUM OF 95% OF THE MATERIAL'S MAXIMUM DRY DENSITY AND TO 90% ELSEWHERE AS DETERMINED BY ASTM D 1557.

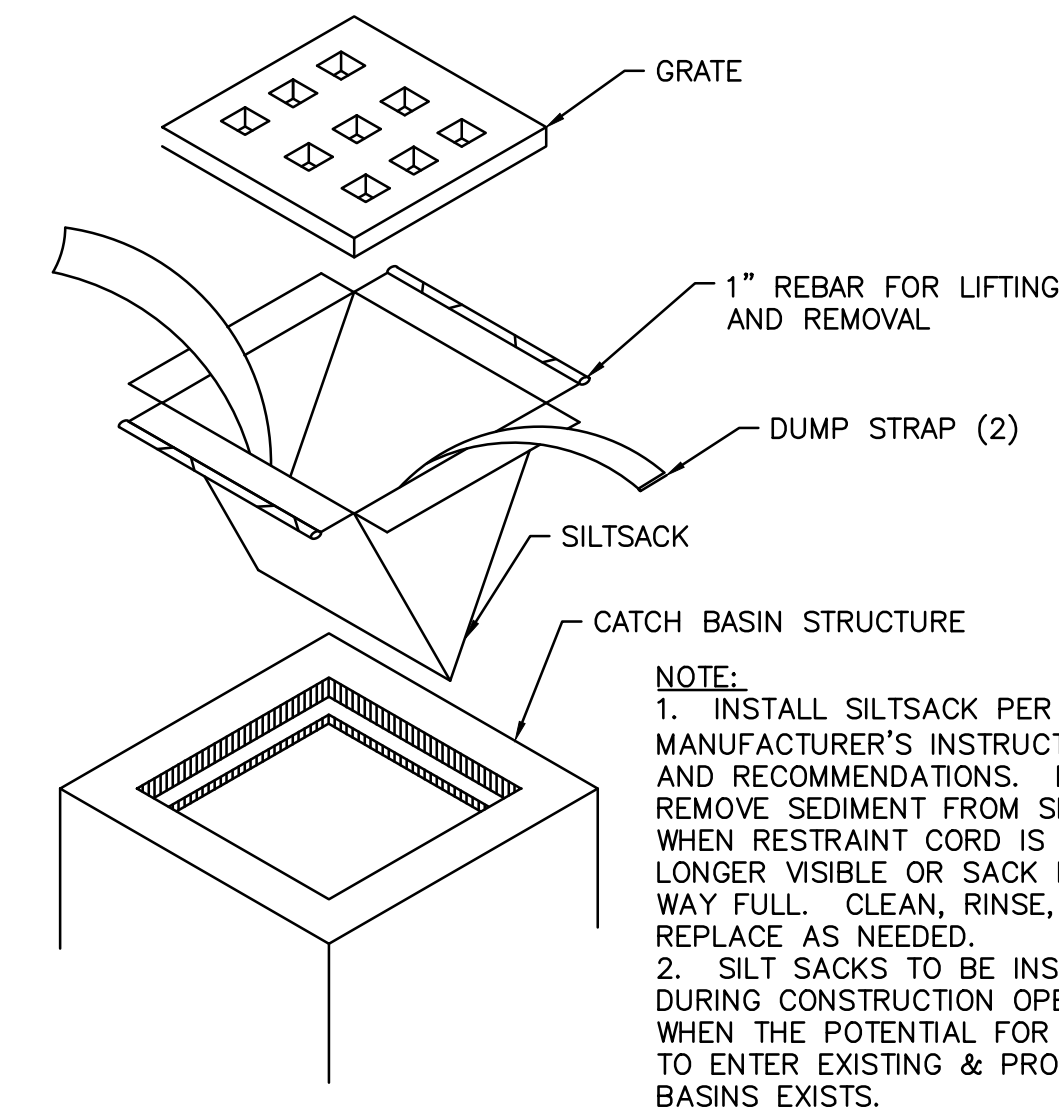
SEWER TRENCH
NOT TO SCALE



NOTES:

1. SOIL AND FILL STOCKPILES EXPECTED TO REMAIN IN PLACE FOR LESS THAN 90 DAYS SHALL BE COVERED WITH STRAW AND MULCH (AT 100 LBS/1,000 S.F.), OR WITH AN ANCHORED TARP WITHIN 7 DAYS OR PRIOR TO ANY RAINFALL.
2. SOIL AND FILL STOCKPILES EXPECTED TO REMAIN IN PLACE FOR 90 DAYS OR MORE SHALL BE SEEDED WITH WINTER RYE (FOR FALL SEEDING AT 1LB/1,000 SF) OR OATS (FOR SUMMER SEEDING AT 2LB/1,000 SF) AND THEN COVERED WITH HAY MULCH (AT 100LB/1,000 SF) OR AN ANCHORED TARP WITHIN 7 DAYS OR PRIOR TO ANY RAINFALL.

STOCKPILE PROTECTION
NOT TO SCALE



SILTSACK INLET DETAIL
NOT TO SCALE

APPROVED BY:
TOWN OF LEXINGTON PLANNING BOARD

DATE:

THIS PLAN IS SUBJECT TO A COVENANT

DATED

THIS PLAN IS SUBJECT TO A CERTIFICATE OF

ACTION DATED

THIS PLAN IS SUBJECT TO A SPECIAL PERMIT

DATED

I, TOWN CLERK, TOWN CLERK OF THE TOWN OF LEXINGTON, MASSACHUSETTS HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

TOWN CLERK

DATE



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV DATE DESCRIPTION

APPLICANT/OWNER:

131 HARTWELL LLC
131 HARTWELL AVENUE
LEXINGTON, MA 02421

PROJECT:

DEFINITIVE NON-RESIDENTIAL
SUBDIVISION
131 HARTWELL AVENUE
LEXINGTON, MA

PROJECT NO. 3048-01A DATE: 03-28-2025

SCALE: AS SHOWN DWG. NAME: C-3048-01A

DESIGNED BY: DMR CHECKED BY: CMQ

PREPARED BY:

ALLEN & MAJOR ASSOCIATES, INC.
civil engineering • land surveying
environmental consulting • landscape architecture
www.allenmajor.com
100 COMMERCE WAY, SUITE 5
WOBURN MA 01801-8501
TEL: (781) 935-6889
FAX: (781) 935-2896

WOBURN, MA • LAKEVILLE, MA • MANCHESTER, NH

THIS DRAWING HAS BEEN PREPARED IN DIGITAL FORMAT. CLIENT/CLIENTS REPRESENTATIVE OR CONSULTANTS MAY BE PROVIDED COPIES OF DRAWINGS AND SPECIFICATIONS FOR HIS/HER INFORMATION AND/OR SPECIFIC USE ON THIS PROJECT. DUE TO THE POTENTIAL THAT THE PROVIDED INFORMATION MAY BE MODIFIED UNINTENTIONALLY OR OTHERWISE, ALLEN & MAJOR ASSOCIATES, INC. MAY REMOVE ALL INDICATION OF THE DOCUMENT'S AUTHORSHIP ON THE DIGITAL MEDIA. PRINTED REPRESENTATIONS OR PORTABLE DOCUMENT FORMAT OF THE DRAWINGS AND SPECIFICATIONS ISSUED SHALL BE THE ONLY RECORD COPIES OF ALLEN & MAJOR ASSOCIATES, INC.'S WORK PRODUCT.

DRAWING TITLE:

DETAILS

SHEET NO.

C-501

STORMTECH CHAMBER SPECIFICATIONS

- CHAMBERS SHALL BE STORMTECH SC-740.
- CHAMBERS SHALL BE MANUFACTURED FROM VIRGIN POLYPROPYLENE OR POLYETHYLENE RESINS.
- CHAMBER ROWS SHALL PROVIDE CONTINUOUS, UNOBSTRUCTED INTERNAL SPACE WITH NO INTERNAL SUPPORT PANELS THAT WOULD IMPEDE FLOW OR LIMIT ACCESS FOR INSPECTION.
- THE STRUCTURAL DESIGN OF THE CHAMBERS, THE STRUCTURAL BACKFILL, AND THE INSTALLATION REQUIREMENTS SHALL ENSURE THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12, ARE MET FOR: 1) LONG-DURATION DEAD LOADS AND 2) SHORT-DURATION LIVE LOADS, BASED ON THE AASHTO DESIGN TRUCK WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCES.
- CHAMBERS SHALL MEET ASTM F2922 (POLYETHYLENE) OR ASTM F2418-16 (POLYPROPYLENE), "STANDARD SPECIFICATION FOR THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- CHAMBERS SHALL BE DESIGNED AND ALLOWABLE LOADS DETERMINED IN ACCORDANCE WITH ASTM F2787, "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- ONLY CHAMBERS THAT ARE APPROVED BY THE SITE DESIGN ENGINEER WILL BE ALLOWED. THE CHAMBER MANUFACTURER SHALL SUBMIT THE FOLLOWING UPON REQUEST TO THE SITE DESIGN ENGINEER FOR APPROVAL BEFORE DELIVERING CHAMBERS TO THE PROJECT SITE:
 - A STRUCTURAL EVALUATION SEALED BY A REGISTERED PROFESSIONAL ENGINEER THAT DEMONSTRATES THAT THE SAFETY FACTORS ARE GREATER THAN OR EQUAL TO 1.95 FOR DEAD LOAD AND 1.75 FOR LIVE LOAD, THE MINIMUM REQUIRED BY ASTM F2787 AND BY AASHTO FOR THERMOPLASTIC PIPE.
 - A STRUCTURAL EVALUATION SEALED BY A REGISTERED PROFESSIONAL ENGINEER THAT DEMONSTRATES THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12, ARE MET, THE 50 YEAR CREEP MODULUS DATA SPECIFIED IN ASTM F2418 OR ASTM F2922 MUST BE USED AS PART OF THE AASHTO STRUCTURAL EVALUATION TO VERIFY LONG-TERM PERFORMANCE.
 - STRUCTURAL CROSS SECTION DETAIL ON WHICH THE STRUCTURAL EVALUATION IS BASED.
- CHAMBERS AND END CAPS SHALL BE PRODUCED AT AN ISO 9001 CERTIFIED MANUFACTURING FACILITY.

IMPORTANT - NOTES FOR THE BIDDING AND INSTALLATION OF THE SC-310/SC-740 SYSTEM

- STORMTECH SC-310 & SC-740 CHAMBERS SHALL NOT BE INSTALLED UNTIL THE MANUFACTURER'S REPRESENTATIVE HAS COMPLETED A PRE-CONSTRUCTION MEETING WITH THE INSTALLERS.
- STORMTECH SC-310 & SC-740 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740DC-780 CONSTRUCTION GUIDE".
- CHAMBERS ARE NOT TO BE BACKFILLED WITH A DOZER OR AN EXCAVATOR SITUATED OVER THE CHAMBERS. STORMTECH RECOMMENDS 3 BACKFILL METHODS:
 - STONESHOOTER LOCATED OFF THE CHAMBER BED.
 - BACKFILL AS ROWS ARE BUILT USING AN EXCAVATOR ON THE FOUNDATION STONE OR SUBGRADE.
 - BACKFILL FROM OUTSIDE THE EXCAVATION USING A LONG BOOM HOE OR EXCAVATOR.
- THE FOUNDATION STONE SHALL BE LEVELED AND COMPACTED PRIOR TO PLACING CHAMBERS.
- JOINTS BETWEEN CHAMBERS SHALL BE PROPERLY SEATED PRIOR TO PLACING STONE.
- MAINTAIN MINIMUM - 6" (150 mm) SPACING BETWEEN THE CHAMBER ROWS.
- EMBEDMENT STONE SURROUNDING CHAMBERS MUST BE A CLEAN, CRUSHED, ANGULAR STONE 3/4-2" (20-50 mm).
- THE CONTRACTOR MUST REPORT ANY DISCREPANCIES WITH CHAMBER FOUNDATION MATERIALS BEARING CAPACITIES TO THE SITE DESIGN ENGINEER.

NOTES FOR CONSTRUCTION EQUIPMENT

- STORMTECH SC-310 & SC-740 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740DC-780 CONSTRUCTION GUIDE".
- THE USE OF CONSTRUCTION EQUIPMENT OVER SC-310 & SC-740 CHAMBERS IS LIMITED:
 - NO EQUIPMENT IS ALLOWED ON BARE CHAMBERS.
 - NO RUBBER TIRED LOADERS, DUMP TRUCKS, OR EXCAVATORS ARE ALLOWED UNTIL PROPER FILL DEPTHS ARE REACHED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740DC-780 CONSTRUCTION GUIDE".
 - WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT CAN BE FOUND IN THE "STORMTECH SC-310/SC-740DC-780 CONSTRUCTION GUIDE".
- FULL 36" (900 mm) OF STABILIZED COVER MATERIALS OVER THE CHAMBERS IS REQUIRED FOR DUMP TRUCK TRAVEL OR DUMPING.

USE OF A DOZER TO PUSH EMBEDMENT STONE BETWEEN THE ROWS OF CHAMBERS MAY CAUSE DAMAGE TO THE CHAMBERS AND IS NOT AN ACCEPTABLE BACKFILL METHOD. ANY CHAMBERS DAMAGED BY THE "DUMP AND PUSH" METHOD ARE NOT COVERED UNDER THE STORMTECH STANDARD WARRANTY.

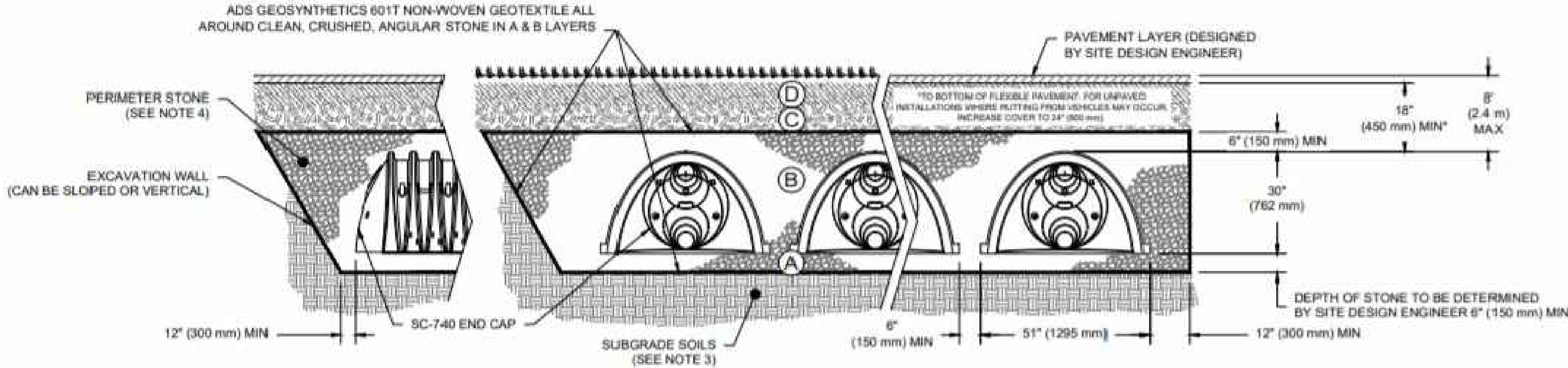
CONTACT STORMTECH AT 1-888-892-2694 WITH ANY QUESTIONS ON INSTALLATION REQUIREMENTS OR WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT.

ACCEPTABLE FILL MATERIALS: STORMTECH SC-740 CHAMBER SYSTEMS

MATERIAL LOCATION		DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER.	SEE PAVEMENT DETAIL	N/A	SEE PAVEMENT DETAIL
C	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 18" (450 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	GRANULAR WELL-GRADED SOIL/AGGREGATE MIXTURES, <35% FINES OR PROCESSED AGGREGATE. MOST PAVEMENT SUBBASE MATERIALS CAN BE USED IN LIEU OF THIS LAYER.	AASHTO M145 ¹ A-1, A-2.4, A-3 OR AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	BEGIN COMPACTIONS AFTER 12" (300 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 6" (150 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL-GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS. ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 12,000 lbs (53 kN). DYNAMIC FORCE NOT TO EXCEED 20,000 lbs (89 kN).
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	CLEAN, CRUSHED, ANGULAR STONE	AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57	NO COMPACTION REQUIRED.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	CLEAN, CRUSHED, ANGULAR STONE	AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. ^{1,3}

PLEASE NOTE:

- THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
- STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 6" (150 mm) (MAX) LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.
- WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.
- ONCE LAYER 'C' IS PLACED, ANY SOIL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.



NOTES:

- CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418-16a, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- SC-740 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
- PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
- REQUIREMENTS FOR HANDLING AND INSTALLATION:
 - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
 - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 2".
 - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, a) THE ARCH STIFFNESS CONSTANT AS DEFINED IN SECTION 6.2.8 OF ASTM F2418 SHALL BE GREATER THAN OR EQUAL TO 550 LBS/IN/IN. AND b) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.

SC-740 STANDARD DETAIL
NOT TO SCALE

1

NOTES:

SEE DRAINAGE PLAN, SHEET C-102 FOR SITE-SPECIFIC ELEVATIONS, INVERTS AND SYSTEM DETAILS.

NOT FOR CONSTRUCTION



APPROVED BY:
TOWN OF LEXINGTON PLANNING BOARD

DATE: _____

THIS PLAN IS SUBJECT TO A COVENANT

DATED _____

THIS PLAN IS SUBJECT TO A CERTIFICATE OF

ACTION DATED _____

THIS PLAN IS SUBJECT TO A SPECIAL PERMIT

DATED _____

I, _____, TOWN CLERK OF THE TOWN OF LEXINGTON, MASSACHUSETTS HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

TOWN CLERK

DATE



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
-----	------	-------------

APPLICANT/OWNER:

131 HARTWELL LLC
131 HARTWELL AVENUE
LEXINGTON, MA 02421

PROJECT:

DEFINITIVE NON-RESIDENTIAL
SUBDIVISION
131 HARTWELL AVENUE
LEXINGTON, MA

PROJECT NO. 3048-01A DATE: 03-28-2025

SCALE: AS SHOWN DWG. NAME: C-3048-01A

DESIGNED BY: DMR CHECKED BY: CMQ

PREPARED BY:

ALLEN & MAJOR ASSOCIATES, INC.
civil engineering • land surveying
environmental consulting • landscape architecture
www.allenmajor.com
100 COMMERCE WAY, SUITE 5
WOBURN MA 01801-8501
TEL: (781) 935-6889
FAX: (781) 935-2896
WOBURN, MA • LAKEVILLE, MA • MANCHESTER, NH

THIS DRAWING HAS BEEN PREPARED IN DIGITAL FORMAT. CLIENT/CLIENTS REPRESENTATIVE OR CONSULTANTS MAY BE PROVIDED COPIES OF DRAWINGS AND SPECIFICATIONS FOR HIS/HER INFORMATION AND/OR SPECIFIC USE ON THIS PROJECT. DUE TO THE POTENTIAL THAT THE PROVIDED INFORMATION MAY BE MODIFIED UNINTENTIONALLY OR OTHERWISE, ALLEN & MAJOR ASSOCIATES, INC. MAY REMOVE ALL INDICATION OF THE DOCUMENT'S AUTHORSHIP ON THE DIGITAL MEDIA. PRINTED REPRESENTATIONS OR PORTABLE DOCUMENT FORMAT OF THE DRAWINGS AND SPECIFICATIONS ISSUED SHALL BE THE ONLY RECORD COPIES OF ALLEN & MAJOR ASSOCIATES, INC.'S WORK PRODUCT.

DRAWING TITLE:

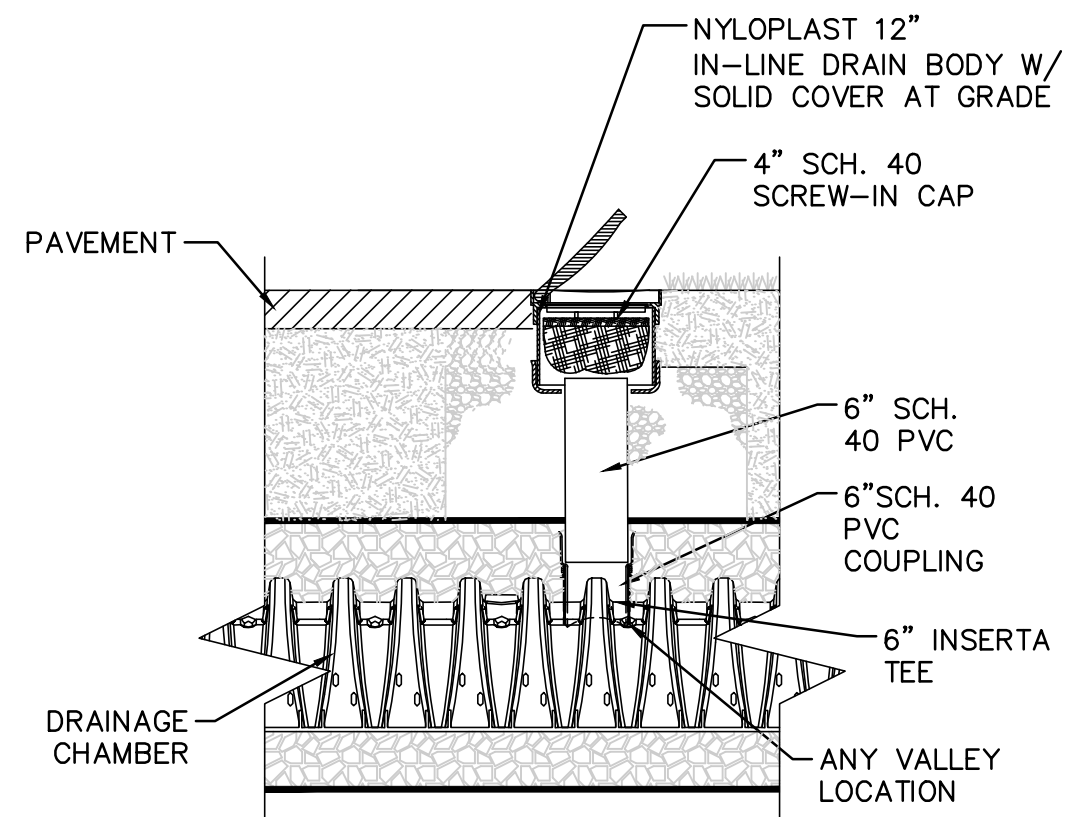
DETAILS

SHEET NO.

C-502

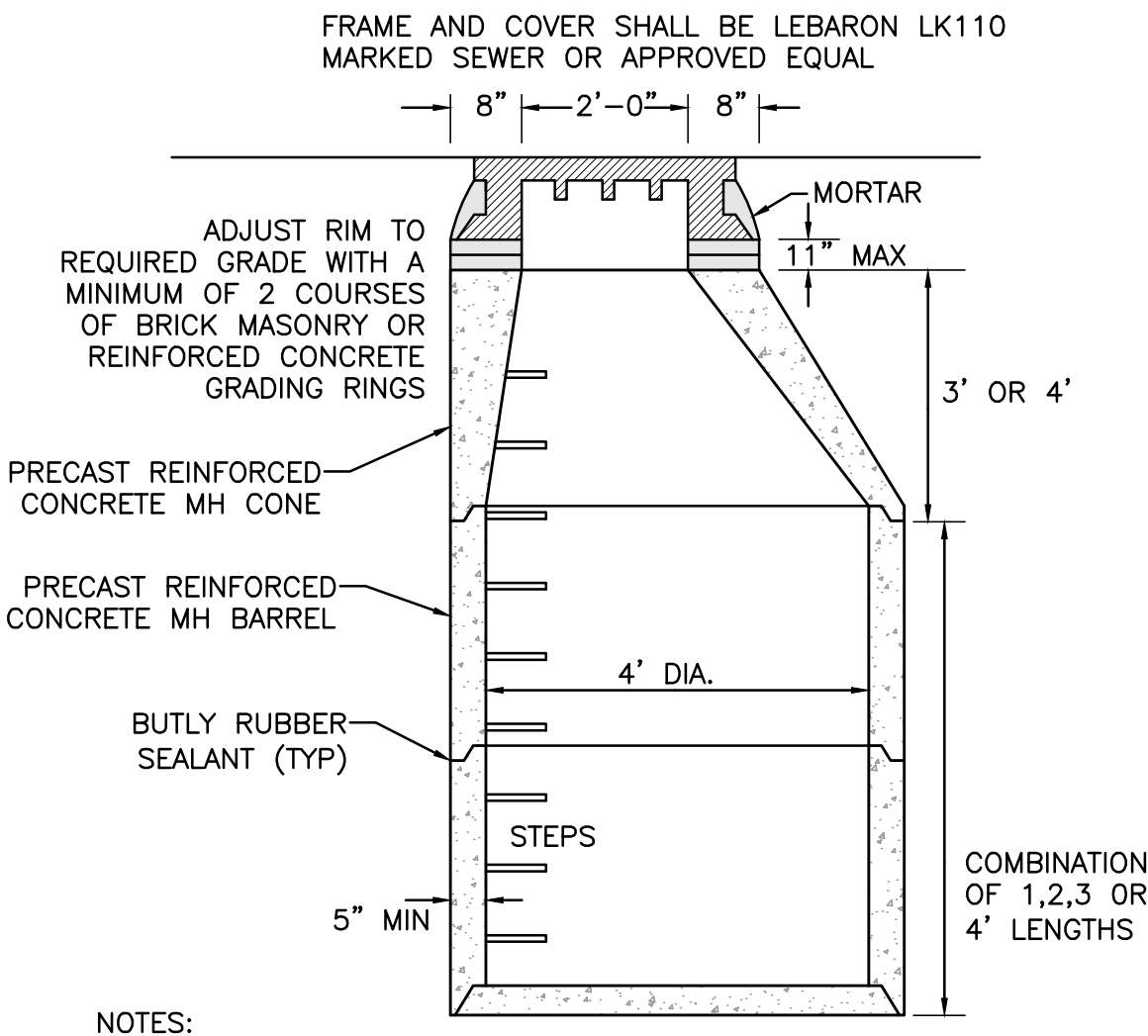
Copyright ©2025 Allen & Major Associates, Inc.
All Rights Reserved

N:\PROJECTS\3048-01A\CIVIL\DRAWINGS\CURRENT\DEFINITIVE\C-3048-01A_DETAILS.DWG



TYPICAL DRAINAGE INSPECTION PORT
NOT TO SCALE

2

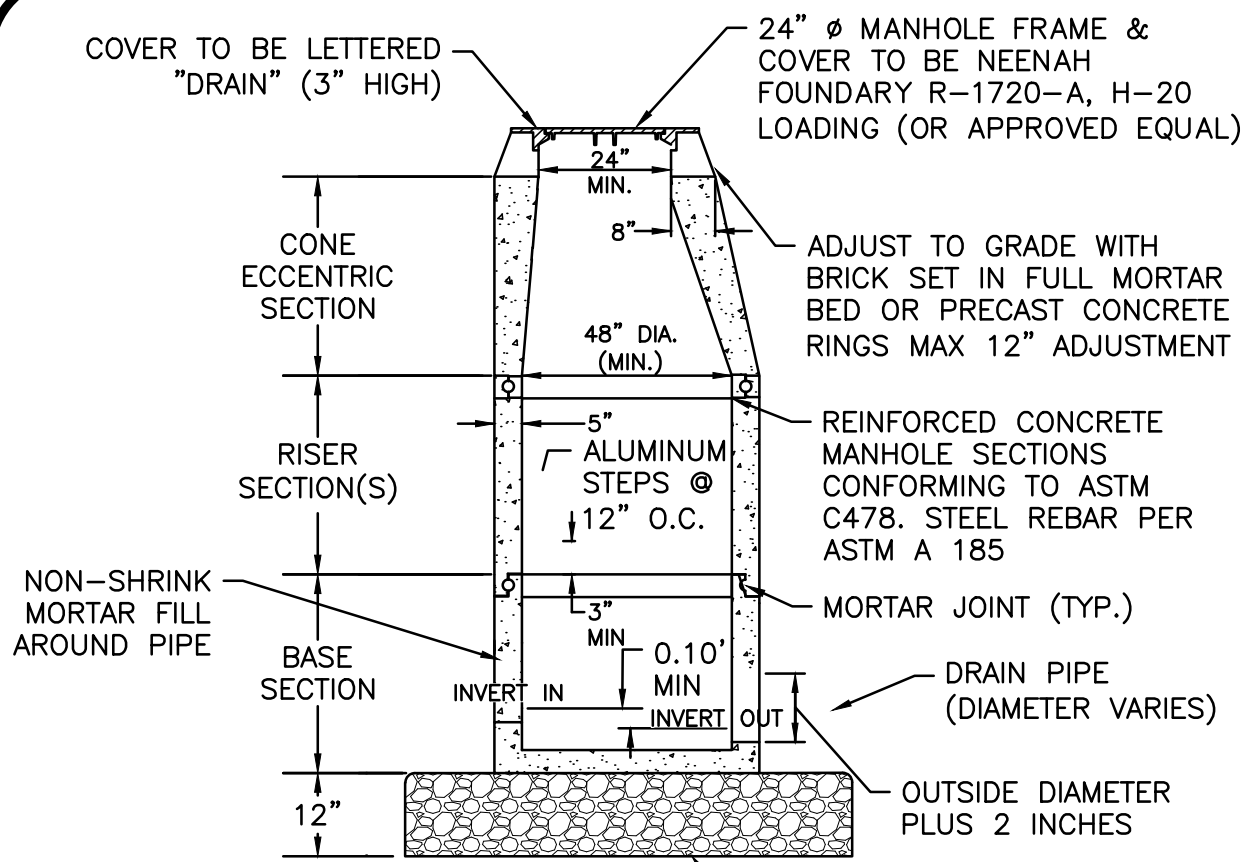


NOTES:

- ALL EXTERIOR SURFACES OF MANHOLE GRADE ADJUSTMENT COURSES SHALL BE COVERED WITH 1/4" TO 3/8" MASONRY CEMENT PLASTER.
- PROVIDE SHOP DRAWING FOR REVIEW & APPROVAL.

PRECAST CONCRETE SEWER MANHOLE
NOT TO SCALE

3



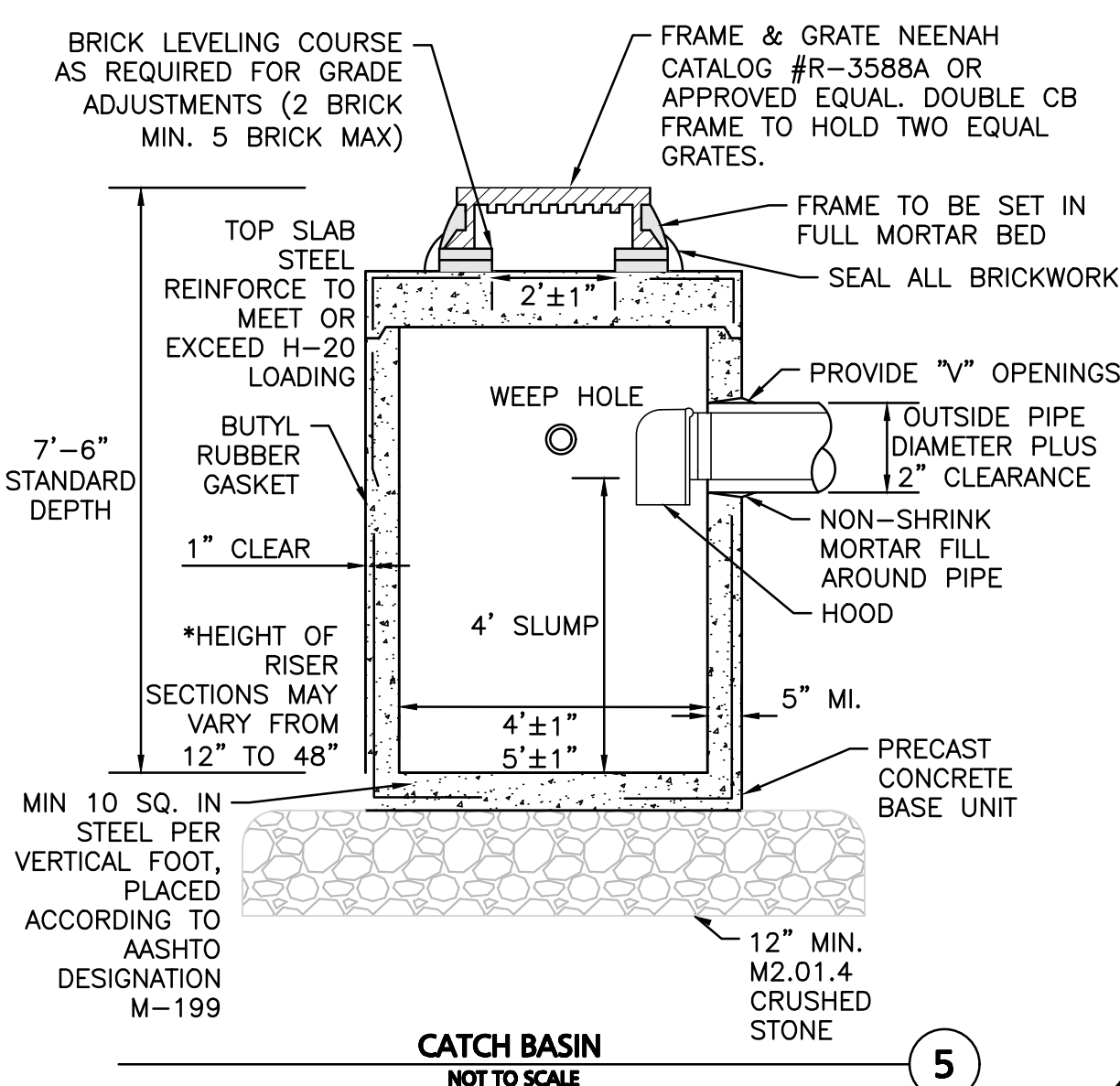
NOTES:

- THE MANHOLE, INCLUDING ALL COMPONENT PARTS, SHALL HAVE ADEQUATE SPACE AND STRENGTH QUALITIES CONSIDERED NECESSARY FOR THE INTENDED SERVICE. SPACE REQUIREMENT AND CONFIGURATIONS SHALL BE AS SHOWN ON THE DRAWING. THE COMPLETE STRUCTURE SHALL BE OF SUCH MATERIAL AND QUALITY AS TO WITHSTAND (H-20 LOADING) WITHOUT FAILURE.

VERTICAL FOOT OF MANHOLE.

PRECAST DRAIN MANHOLE
NOT TO SCALE

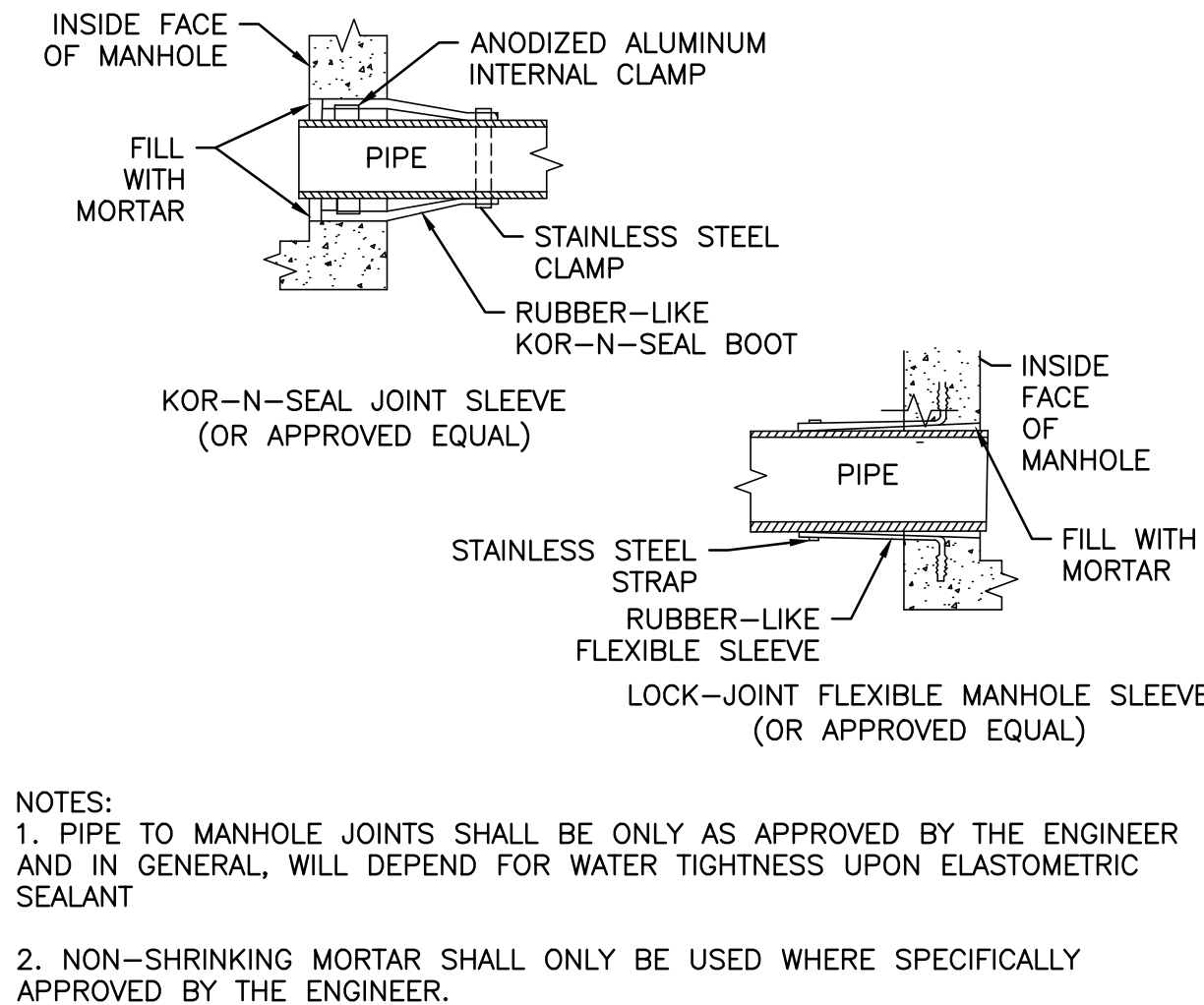
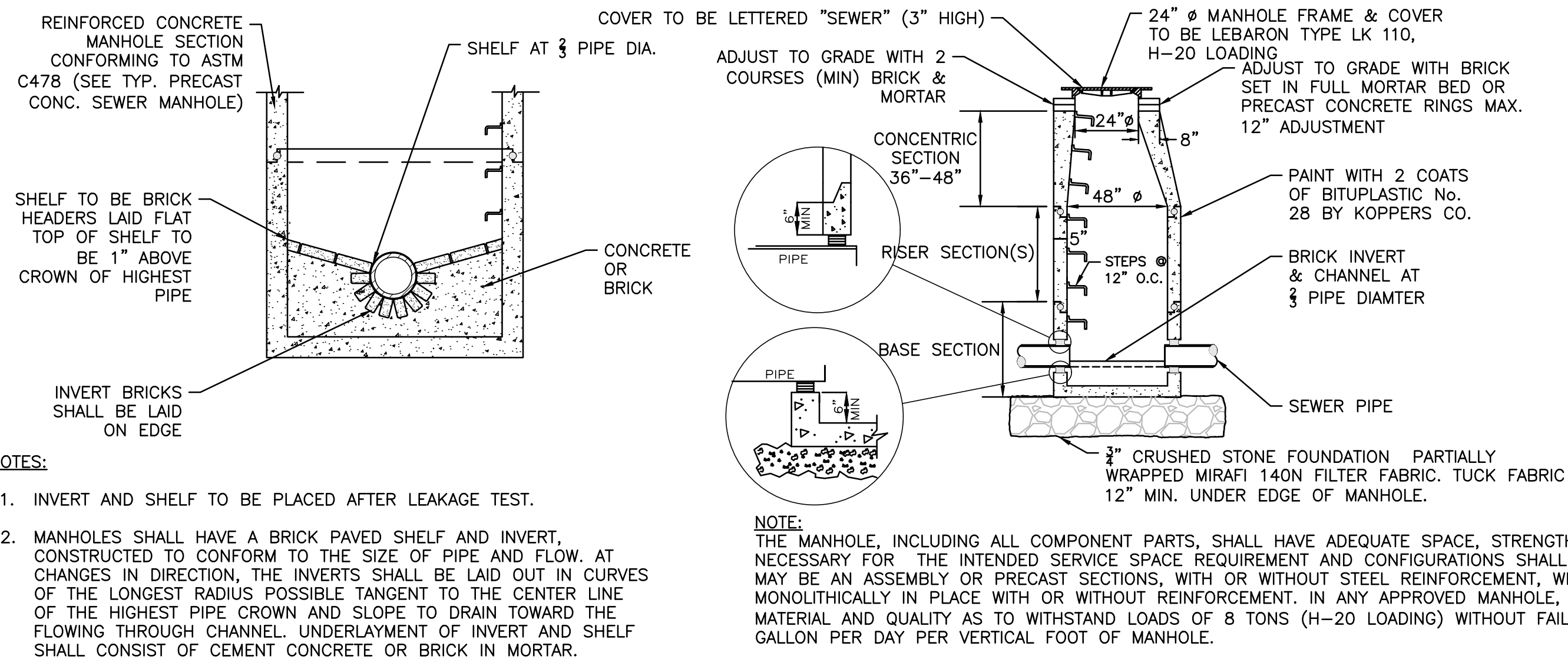
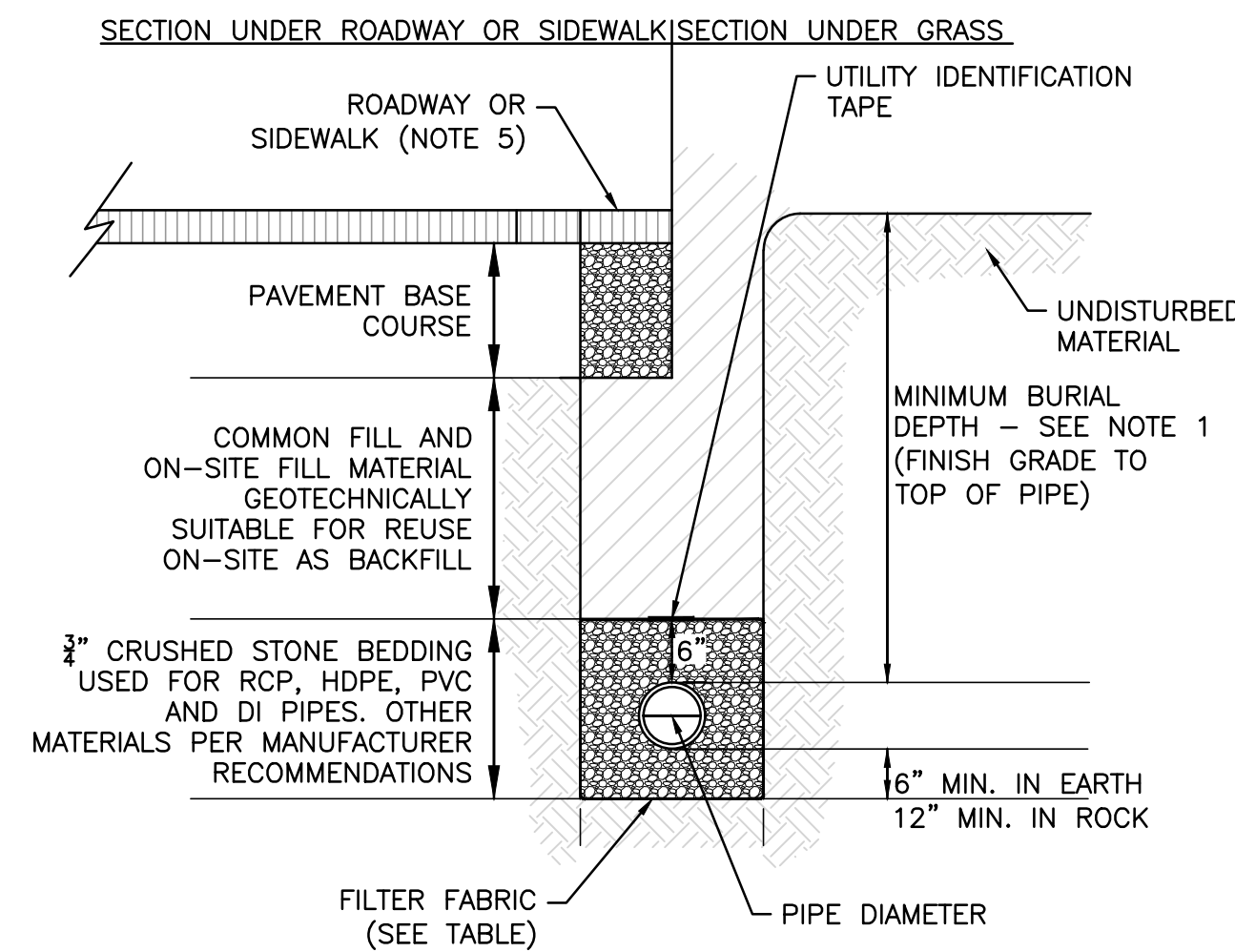
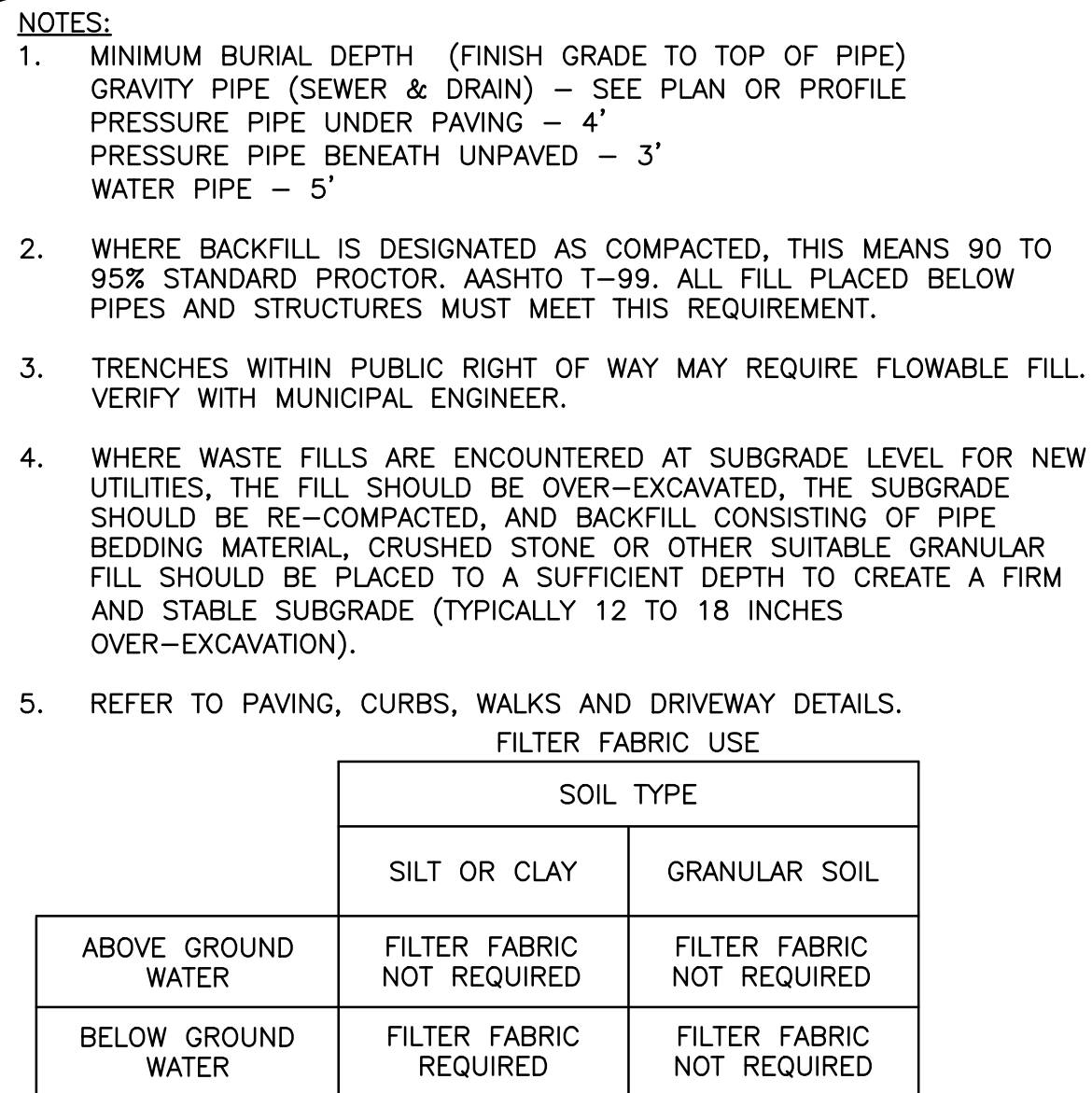
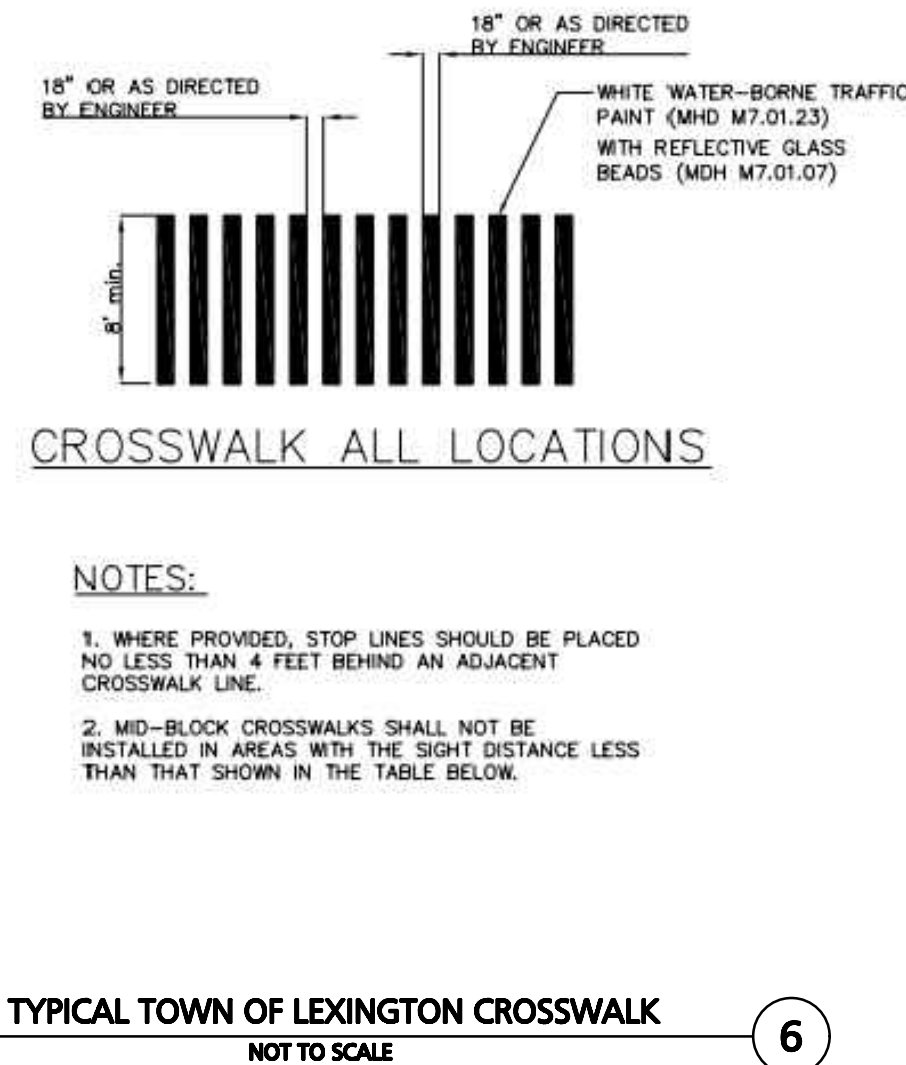
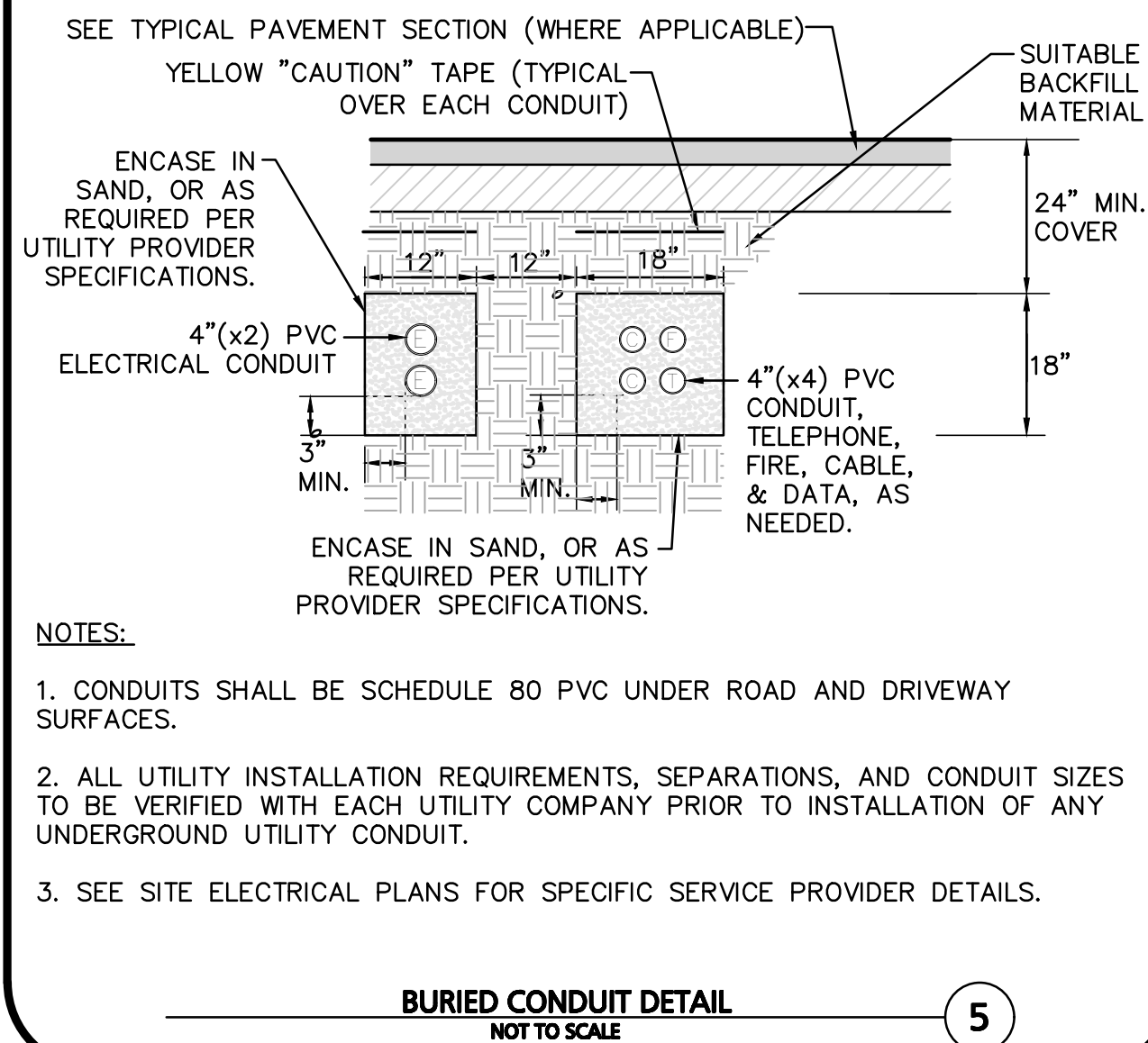
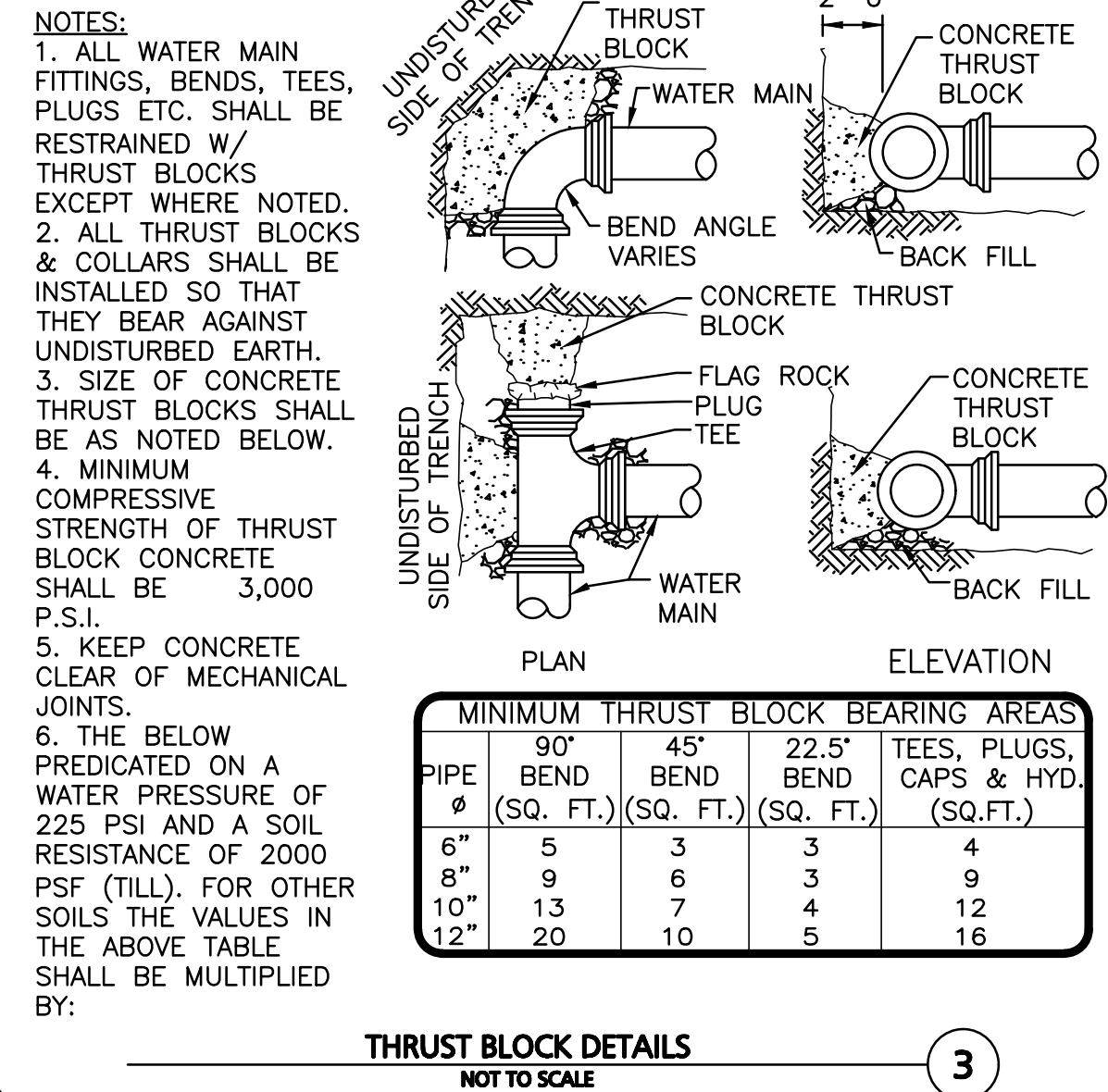
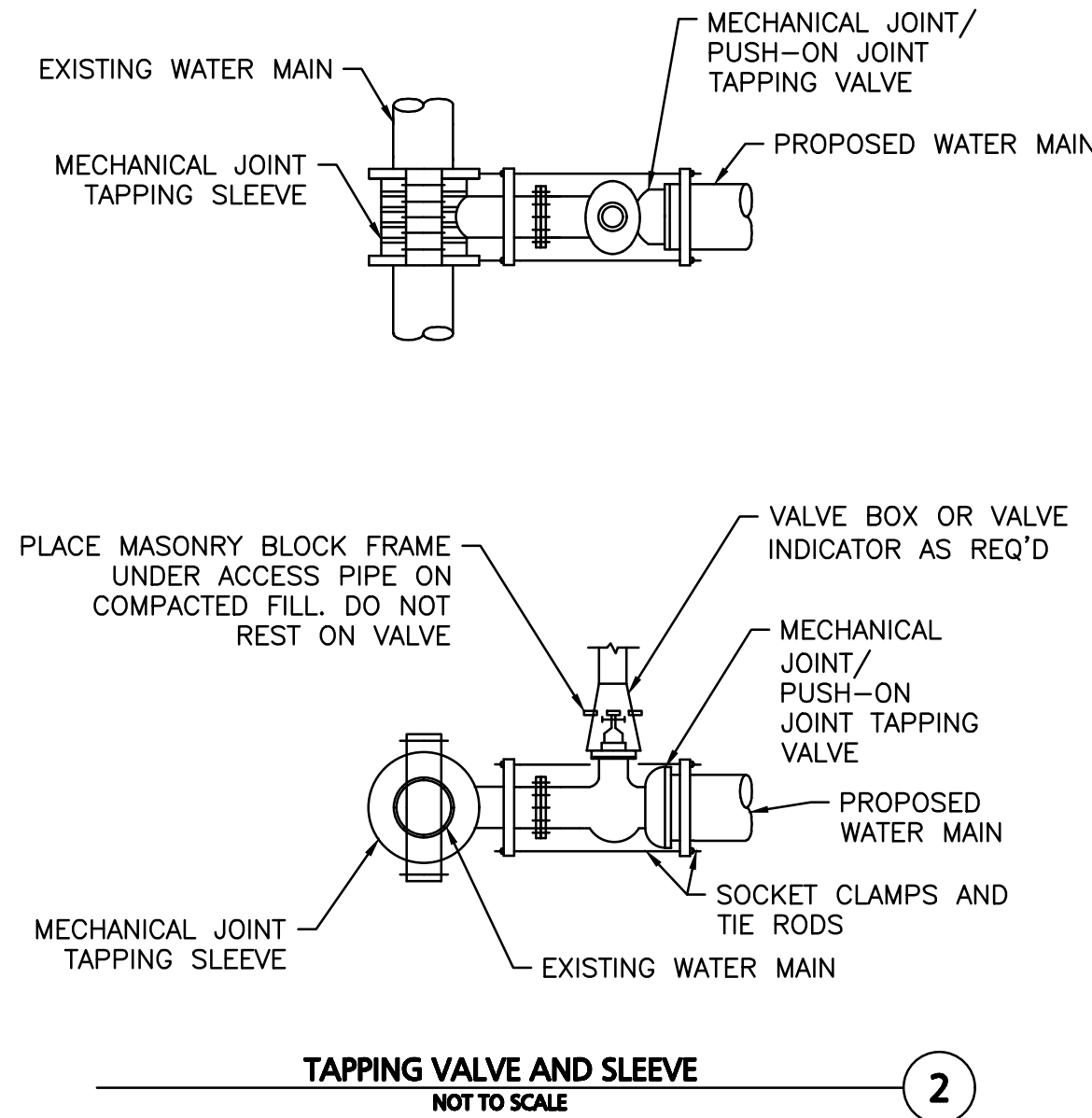
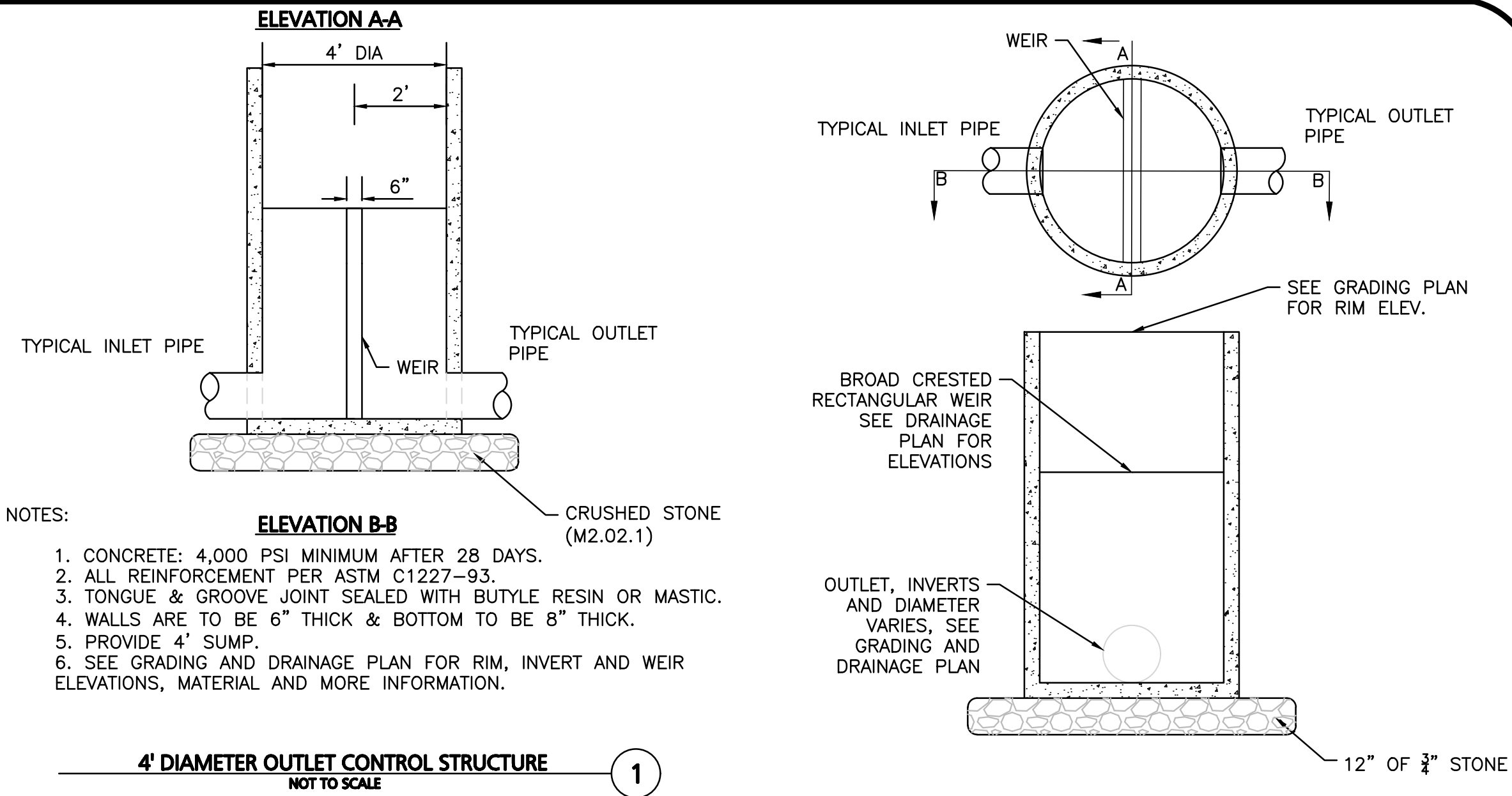
4



CATCH BASIN
NOT TO SCALE

5

NOT FOR CONSTRUCTION



APPROVED BY:
TOWN OF LEXINGTON PLANNING BOARD

DATE:

THIS PLAN IS SUBJECT TO A COVENANT
DATED
THIS PLAN IS SUBJECT TO A CERTIFICATE OF
ACTION DATED
THIS PLAN IS SUBJECT TO A SPECIAL PERMIT
DATED

I, _____ TOWN CLERK
OF THE TOWN OF LEXINGTON,
MASSACHUSETTS HEREBY CERTIFY THAT THE
NOTICE OF APPROVAL OF THIS PLAN HAS
BEEN RECEIVED AND RECORDED AT THIS
OFFICE AND NO NOTICE OF APPEAL WAS
RECEIVED DURING THE TWENTY DAYS NEXT
AFTER SUCH RECEIPT AND RECORDING OF
SAID NOTICE.

TOWN CLERK DATE



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV DATE DESCRIPTION

APPLICANT/OWNER:

131 HARTWELL LLC
131 HARTWELL AVENUE
LEXINGTON, MA 02421

PROJECT:

DEFINITIVE NON-RESIDENTIAL
SUBDIVISION
131 HARTWELL AVENUE
LEXINGTON, MA

PROJECT NO. 3048-01A DATE: 03-28-2025

SCALE: AS SHOWN DWG. NAME: C-3048-01A

DESIGNED BY: DMR CHECKED BY: CMQ

PREPARED BY:



**ALLEN & MAJOR
ASSOCIATES, INC.**

civil engineering • land surveying
environmental consulting • landscape architecture
www.allenmajor.com

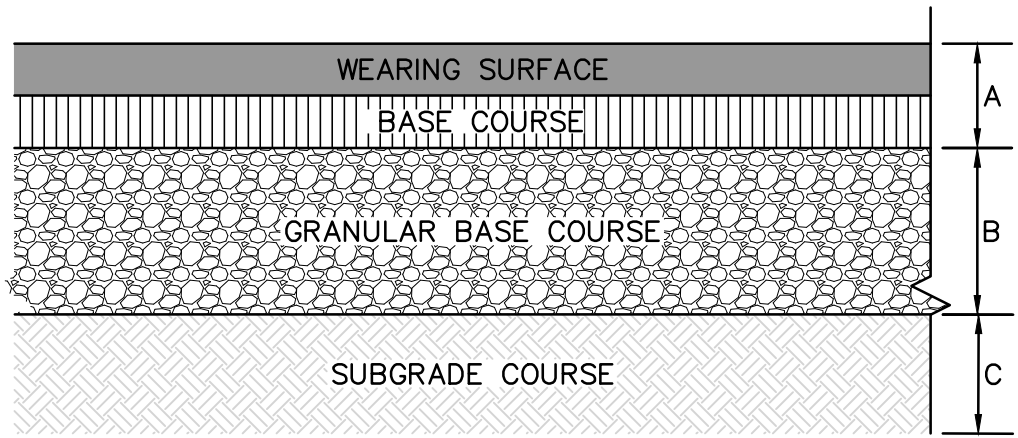
100 COMMERCE WAY, SUITE 5
WOBURN MA 01801-8501
TEL: (781) 935-6889
FAX: (781) 935-2896

WOBURN, MA • LAKEVILLE, MA • MANCHESTER, NH

THIS DRAWING HAS BEEN PREPARED IN DIGITAL FORMAT. CLIENTS/CLIENTS REPRESENTATIVE OR CONSULTANTS MAY BE PROVIDED COPIES OF DRAWINGS AND SPECIFICATIONS FOR HIS/HER INFORMATION AND/OR SPECIFIC USE ON THIS PROJECT. DUE TO THE POTENTIAL THAT THE PROVIDED INFORMATION MAY BE MODIFIED UNINTENTIONALLY OR OTHERWISE, ALLEN & MAJOR ASSOCIATES, INC. MAY REMOVE ALL INDICATION OF THE DOCUMENT'S AUTHORSHIP ON THE DIGITAL MEDIA. PRINTED REPRESENTATIONS OR PORTABLE DOCUMENT FORMAT OF THE DRAWINGS AND SPECIFICATIONS ISSUED SHALL BE THE ONLY RECORD COPIES OF ALLEN & MAJOR ASSOCIATES, INC.'S WORK PRODUCT.

DRAWING TITLE: SHEET NO.

DETAILS C-503



NOTES:

1. COMPACT SOIL SUBGRADE UNIFORMLY TO AT LEAST 95 PERCENT OF ASTM D1557 LABORATORY DENSITY.
2. PROOF-ROLL PREPARED SUBGRADE TO IDENTIFY SIFT POCKETS AND AREAS OF EXCESS YIELDING. EXCAVATE SOFT SPOTS, UNSATISFACTORY SOILS, AND AREAS OF EXCESSIVE PUMPING OR RUTTING, AS DETERMINED BY GEOTECHNICAL ENGINEER AND REPLACE WITH COMPACTED BACKFILL OR FILL AS DIRECTED.
3. CONTRACTOR SHALL COORDINATE SURFACE, BINDER, BASE, AND SUBBASE COURSES WITH GEOTECHNICAL OR SOILS REPORT. REFER TO REPORT FOR RECOMMENDATIONS FOR LOCAL SOILS OR DRAINAGE CONDITIONS AND/OR METHODS.
4. BASE COURSE SHALL EXTEND 6 INCHES MIN. BEYOND PAVEMENT EDGE WHERE PAVEMENT DOES NOT ABUT CURB, WALL, STEPS, OR FIXED OBJECT.
5. PAVEMENT EDGES SHALL BE TAMPED WHERE PAVEMENT DOES NOT ABUT CURB, WALL, STEPS, OR FIXED OBJECT.
6. PROVIDE SHOP DRAWING FOR APPROVAL.

STANDARD DUTY PAVING

A= 1.5" BITUMINOUS ASPHALT CONCRETE - WEARING SURFACE COURSE (M.3.11.3, TABLE A, TOP COURSE)

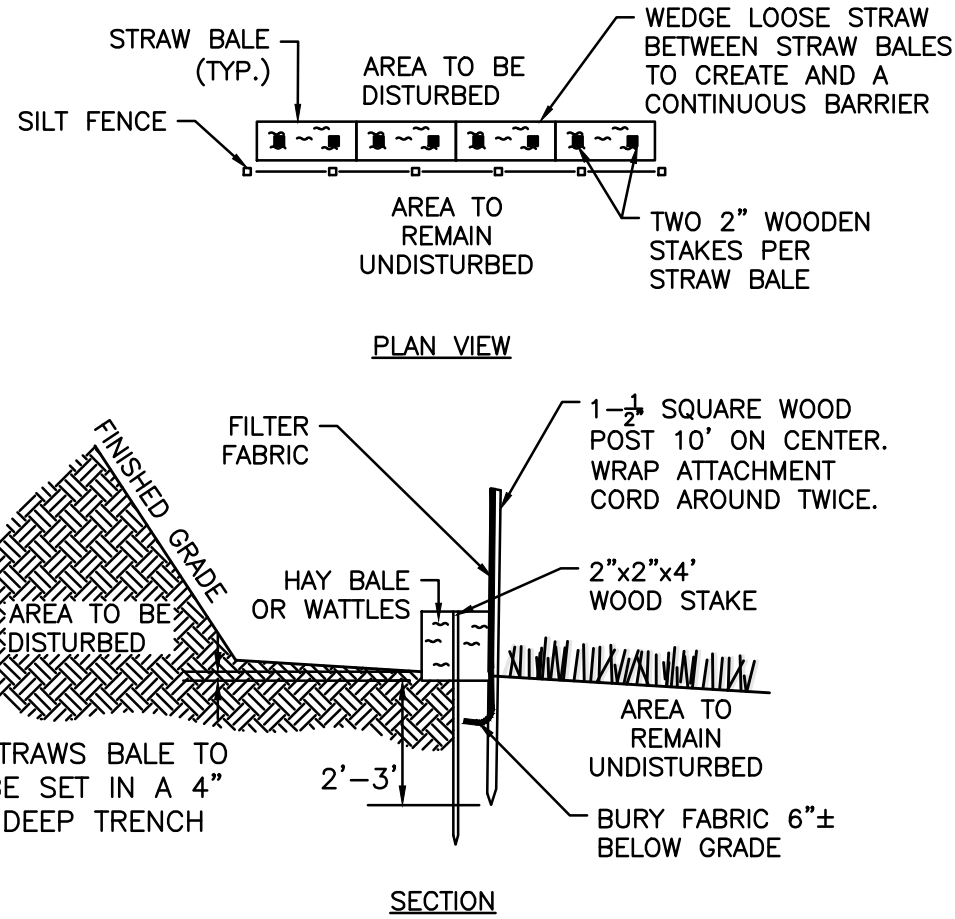
2.5" ASPHALT CONCRETE - BASE COURSE (M.3.11.3, TABLE A, BINDER COURSE)

B= 4" DENSE GRADE BASE COURSE (MHD 2.01.7)

C= 8" GRAVEL SUBBASE COURSE (MHD 1.03.1, PROCESSED GRAVEL FOR SUBBASE)

STANDARD DUTY BITUMINOUS PAVEMENT
NOT TO SCALE

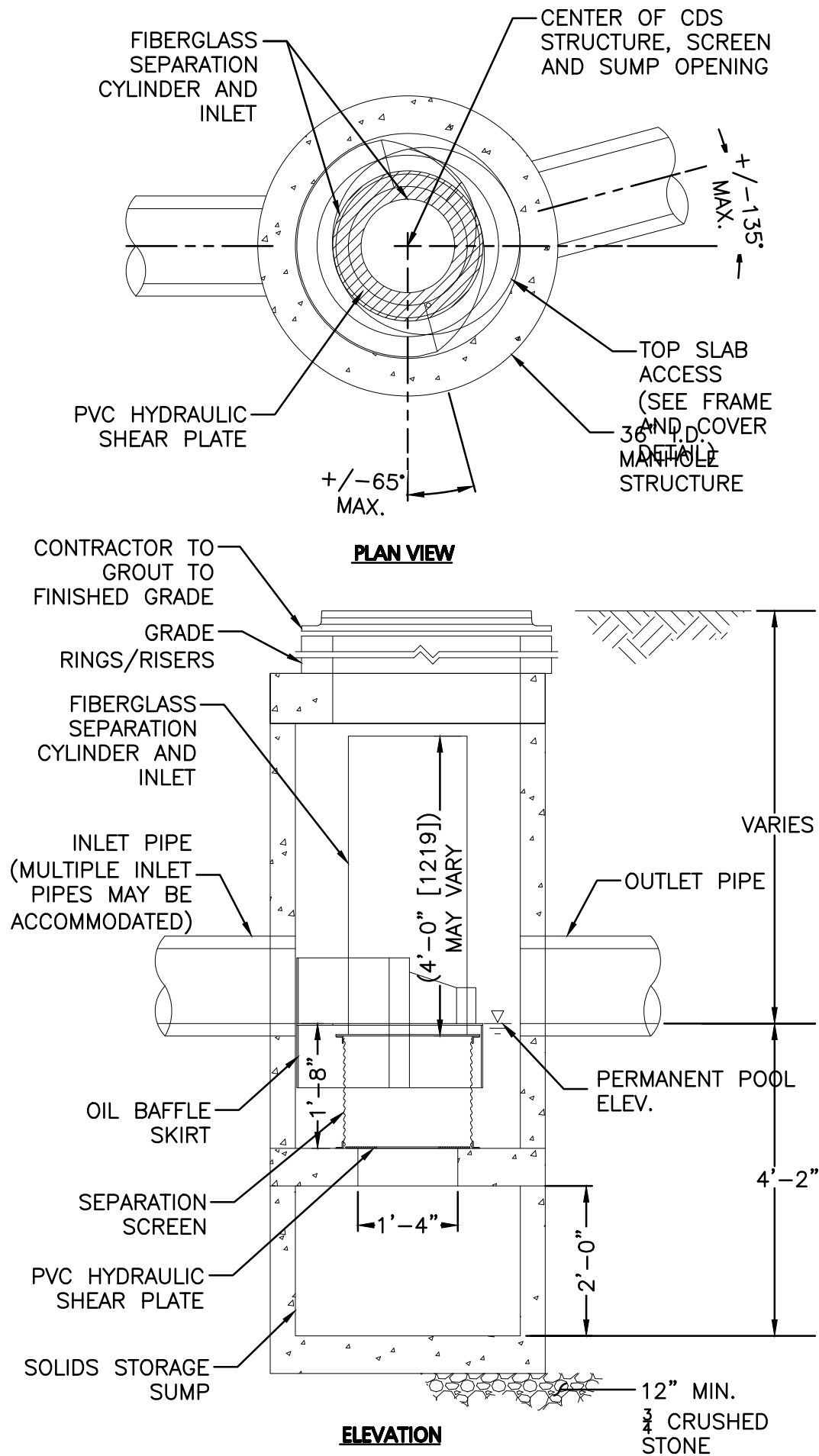
1



NOTE:
DEPTH TO BE 2' UNLESS POST IS TO BE SET IN PEAT THEN 3' OR GREATEST DEPTH POSSIBLE BY PUSHING BY HAND SHALL BE REQUIRED.

SILT FENCE AND HAY BALE DETAIL
NOT TO SCALE

5

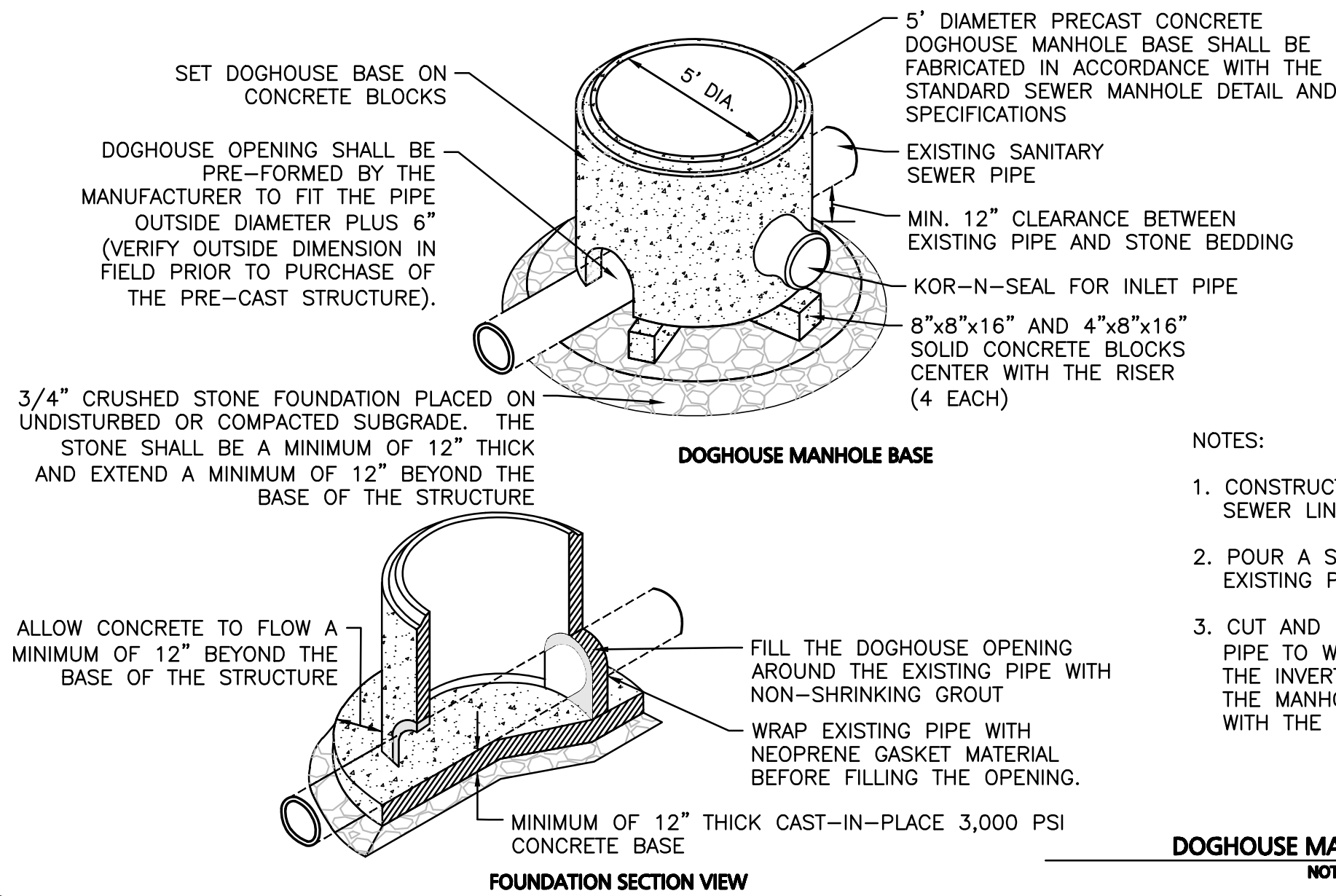


NOTES:

1. SEE PLAN FOR PIPE ALIGNMENT AND ELEVATIONS.
2. SUBMIT SHOP DRAWINGS FOR REVIEW AND APPROVAL.
3. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.

WATER QUALITY UNITS - CONTECH CDS1515-3
NOT TO SCALE

2

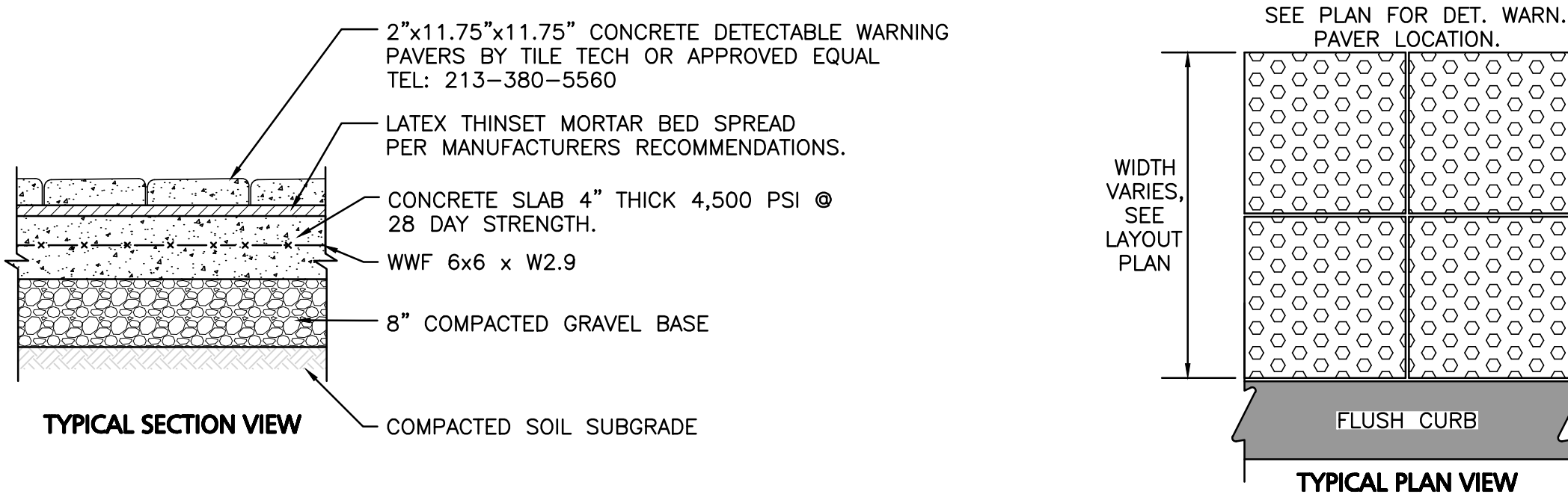


NOTES:

1. CONSTRUCT A FORMED INVERT FROM THE NEW SEWER LINE TO ALLOW FLOW TO THE EXISTING PIPE.
2. POUR A SHELF TO THE LOWER HALF OF THE EXISTING PIPE.
3. CUT AND REMOVE THE TOP HALF OF THE EXISTING PIPE TO WITHIN 6" OF THE MANHOLE WALLS AFTER THE INVERT AND SHELF HAVE BEEN FORMED AND THE MANHOLE HAS BEEN TESTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.

DOGHOUSE MANHOLE STRUCTURE
NOT TO SCALE

3

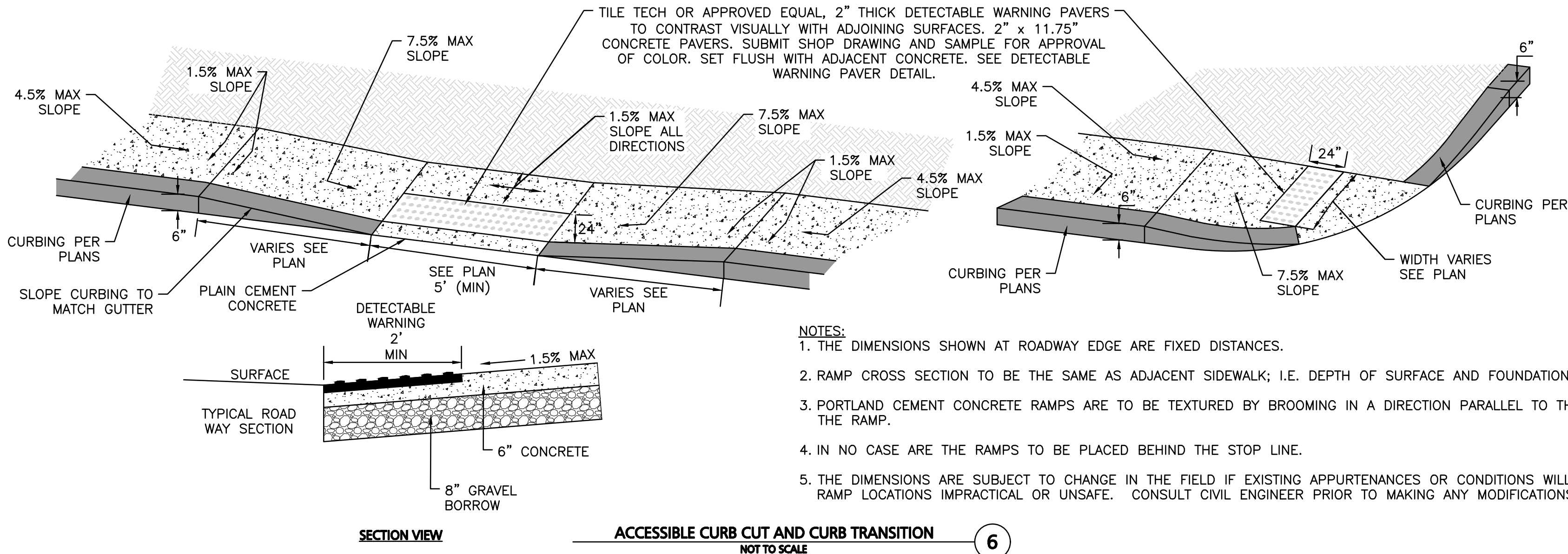


NOTES:

1. CONCRETE SLAB SHALL BE SLOPED 1.5% CROSS PITCH MAX TO PROVIDE COMPLETE SURFACE DRAINAGE. SEE GRADING PLAN & HANDICAP CURB CUT / CURB TRANSITION DETAIL.
2. SLAB TO HAVE STEEL TROWEL AND FINE BROOM FINISH. DO NOT USE CURING COMPOUNDS. CONTRACTOR TO ADD EXPANSION JOINTS AND PREMOLDED FILLER AT EDGE OF TILES AND ADJACENT MATERIAL.
3. SET TILES FLUSH WITH ADJACENT MATERIALS.
4. SUBMIT SHOP DRAWINGS OF TILES AND SAMPLE FOR APPROVAL OF COLOR TO OWNER / ARCH.
5. INSTALL DETECTABLE WARNING PAVERS PER MANUFACTURER'S RECOMMENDATIONS OR DESIGN ENGINEER.
6. ALL DET. WARN. PAVERS SHALL COMPLY WITH ADA REGULATIONS.

DETECTABLE WARNING PAVERS
NOT TO SCALE

4



NOTES:

1. THE DIMENSIONS SHOWN AT ROADWAY EDGE ARE FIXED DISTANCES.
2. RAMP CROSS SECTION TO BE THE SAME AS ADJACENT SIDEWALK; I.E. DEPTH OF SURFACE AND FOUNDATION.
3. PORTLAND CEMENT CONCRETE RAMPS ARE TO BE TEXTURED BY BROOMING IN A DIRECTION PARALLEL TO THE LENGTH OF THE RAMP.
4. IN NO CASE ARE THE RAMPS TO BE PLACED BEHIND THE STOP LINE.
5. THE DIMENSIONS ARE SUBJECT TO CHANGE IN THE FIELD IF EXISTING APPURTENANCES OR CONDITIONS WILL MAKE THE RAMP LOCATIONS IMPRACTICAL OR UNSAFE. CONSULT CIVIL ENGINEER PRIOR TO MAKING ANY MODIFICATIONS.

ACCESSIBLE CURB CUT AND CURB TRANSITION
NOT TO SCALE

6

APPROVED BY:
TOWN OF LEXINGTON PLANNING BOARD

DATE:

THIS PLAN IS SUBJECT TO A COVENANT

DATED

THIS PLAN IS SUBJECT TO A CERTIFICATE OF

ACTION DATED

THIS PLAN IS SUBJECT TO A SPECIAL PERMIT

DATED

I, _____, TOWN CLERK OF THE TOWN OF LEXINGTON, MASSACHUSETTS HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

TOWN CLERK

DATE



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV DATE DESCRIPTION

APPLICANT/OWNER:

131 HARTWELL LLC
131 HARTWELL AVENUE
LEXINGTON, MA 02421

PROJECT:

DEFINITIVE NON-RESIDENTIAL
SUBDIVISION
131 HARTWELL AVENUE
LEXINGTON, MA

PROJECT NO. 3048-01A DATE: 03-28-2025

SCALE: AS SHOWN DWG. NAME: C-3048-01A

DESIGNED BY: DMR CHECKED BY: CMQ

PREPARED BY:

ALLEN & MAJOR ASSOCIATES, INC.
civil engineering • land surveying
environmental consulting • landscape architecture
www.allenmajor.com
100 COMMERCE WAY, SUITE 5
WOBURN MA 01801-8501
TEL: (781) 935-6889
FAX: (781) 935-2896
WOBURN, MA • LAKEVILLE, MA • MANCHESTER, NH

THIS DRAWING HAS BEEN PREPARED IN DIGITAL FORMAT. CLIENT/CUSTOMER'S REPRESENTATIVE OR CONSULTANTS MAY BE PROVIDED COPIES OF DRAWINGS AND SPECIFICATIONS FOR HIS/HER INFORMATION AND/OR SPECIFIC USE ON THIS PROJECT. DUE TO THE POTENTIAL THAT THE PROVIDED INFORMATION MAY BE MODIFIED UNINTENTIONALLY OR OTHERWISE, ALLEN & MAJOR ASSOCIATES, INC. MAY REMOVE ALL INDICATION OF THE DOCUMENT'S AUTHORSHIP ON THE DIGITAL MEDIA. PRINTED REPRESENTATIONS OR PORTABLE DOCUMENT FORMAT OF THE DRAWINGS AND SPECIFICATIONS ISSUED SHALL BE THE ONLY RECORD COPIES OF ALLEN & MAJOR ASSOCIATES, INC.'S WORK PRODUCT.

DRAWING TITLE:

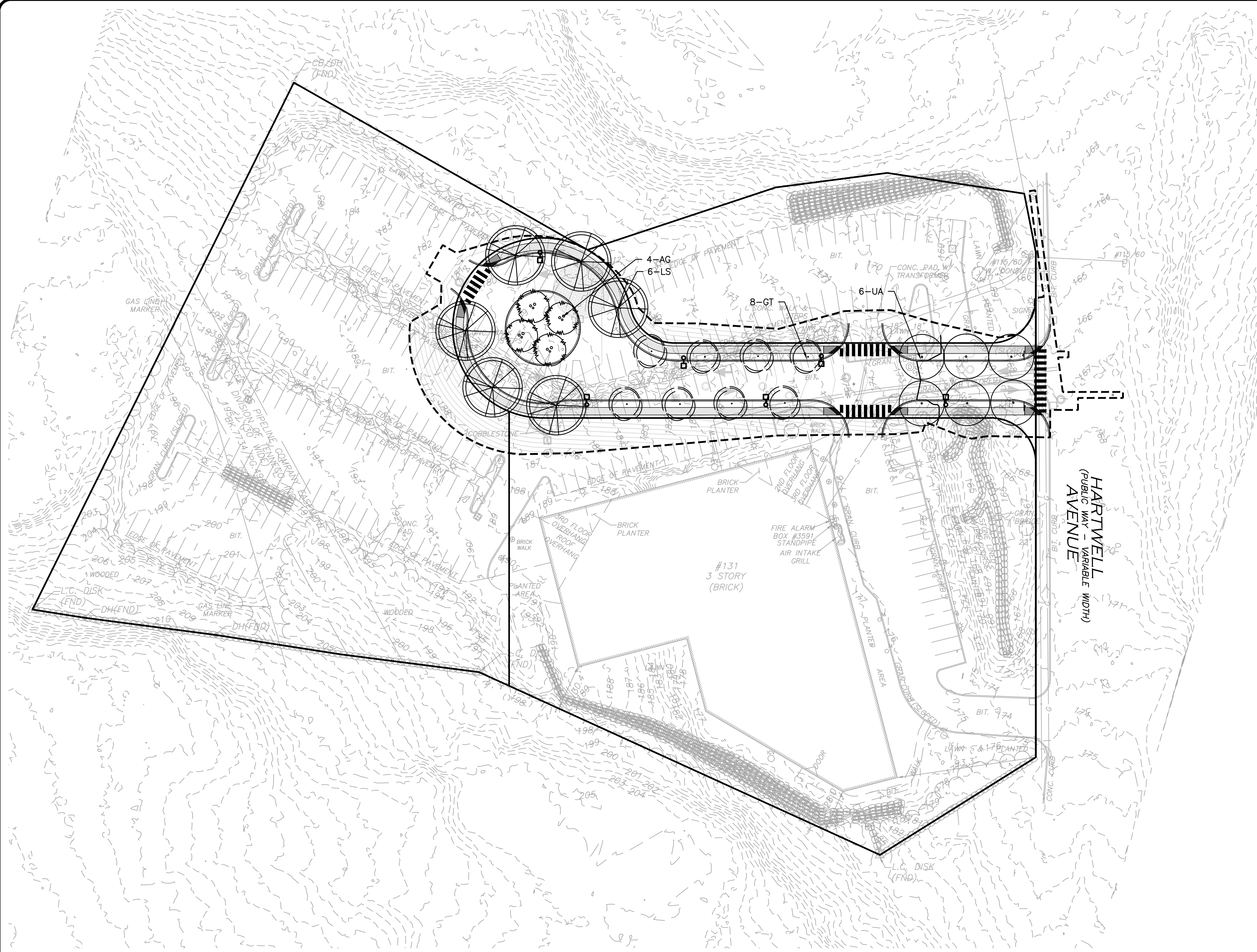
DETAILS

SHEET NO.

C-504

Copyright ©2025 Allen & Major Associates, Inc.
All Rights Reserved

N:\PROJECTS\3048-01A\CIVIL\DRAWINGS\CURRENT\DEFINITIVE\C-3048-01A_DETAILS.DWG



LEGEND

DECIDUOUS TREE

GENERAL NOTES

- PROPERTY LINE AND EXISTING SITE CONDITIONS INFORMATION SHOWN HEREON IS TAKEN FROM A PLAN ENTITLED "SITE ANALYSIS PLAN - SHEET V-101", DATED MAY 19, 2022, PREPARED BY ALLEN & MAJOR ASSOCIATES.
- VERTICAL DATUM IS NAVD 88.
- CONTOUR INTERVAL IS ONE FOOT (1').
- CONTOURS SHOWN HEREON HAVE BEEN GENERATED FROM LIDAR DATA OBTAINED FROM THE NATIONAL OCEANIC AND ATMOSPHERIC ADMINISTRATION (NOAA).
- THERE ARE NO WETLANDS ONSITE BASED UPON AVAILABLE MASS DEP GIS MAPS.
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR IT'S REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
- THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. IT'S INTENDED USE IS TO PROVIDE INFORMATION. ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.
- THIS PLAN IS PRELIMINARY IN NATURE ONLY, IS SUBJECT TO CHANGE AND IS NOT FOR CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING INVERTS OF ALL AFFECTED DRAINAGE STRUCTURES IN THE FIELD.
- SEE SHEET L-501 FOR NOTES AND DETAILS.

APPROVED BY:
TOWN OF LEXINGTON PLANNING BOARD

DATE:

THIS PLAN IS SUBJECT TO A COVENANT

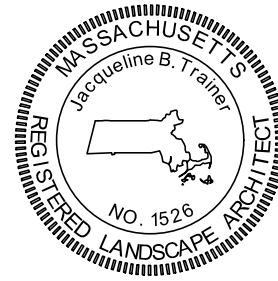
DATED

THIS PLAN IS SUBJECT TO A CERTIFICATE OF ACTION DATED

THIS PLAN IS SUBJECT TO A SPECIAL PERMIT DATED

I, _____, TOWN CLERK OF THE TOWN OF LEXINGTON, MASSACHUSETTS HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

TOWN CLERK DATE



03.28.2025
PROFESSIONAL LANDSCAPE ARCHITECT FOR ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
-----	------	-------------

APPLICANT/OWNER:

131 HARTWELL LLC
131 HARTWELL AVENUE
LEXINGTON, MA 02421

PROJECT:

DEFINITIVE NON-RESIDENTIAL
SUBDIVISION
131 HARTWELL AVENUE
LEXINGTON, MA

PROJECT NO.	3048-01A	DATE:	03-28-2025
-------------	----------	-------	------------

SCALE:	1" = 40'	DWG. NAME:	L-3048-01
--------	----------	------------	-----------

DESIGNED BY:	JBT	CHECKED BY:	CMQ
--------------	-----	-------------	-----

PREPARED BY:

ALLEN & MAJOR ASSOCIATES, INC.

civil engineering • land surveying
environmental consulting • landscape architecture
www.allenmajor.com
100 COMMERCE WAY, SUITE 5
WOBURN MA 01801-8501
TEL: (781) 935-6889
FAX: (781) 935-2896

WOBURN, MA • LAKEVILLE, MA • MANCHESTER, NH

THIS DRAWING HAS BEEN PREPARED IN DIGITAL FORMAT. CLIENT/CUSTOMER'S REPRESENTATIVE OR CONSULTANTS MAY BE PROVIDED COPIES OF DRAWINGS AND SPECIFICATIONS FOR HIS/HER INFORMATION AND/OR SPECIFIC USE ON THIS PROJECT. DUE TO THE POTENTIAL THAT THE PROVIDED INFORMATION MAY BE MODIFIED UNINTENTIONALLY OR OTHERWISE, ALLEN & MAJOR ASSOCIATES, INC. MAY REMOVE ALL INDICATION OF THE DOCUMENT'S AUTHORSHIP ON THE DIGITAL MEDIA. PRINTED REPRESENTATIONS OR PORTABLE DOCUMENT FORMAT OF THE DRAWINGS AND SPECIFICATIONS ISSUED SHALL BE THE ONLY RECORD COPIES OF ALLEN & MAJOR ASSOCIATES, INC.'S WORK PRODUCT.

DRAWING TITLE:	SHEET No.
----------------	-----------

LANDSCAPE PLAN	L-101
----------------	-------

Copyright © 2025 Allen & Major Associates, Inc.
All Rights Reserved

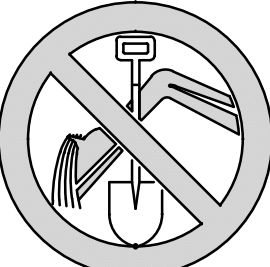
TOWN OF LEXINGTON ZONING SUMMARY - LANDSCAPE

REGULATION	ITEM	REQUIRED / ALLOWED	PROPOSED
SECTION 175-7.0	REQUIRED IMPROVEMENTS AND DESIGN STANDARDS		
7.6 B. (1)	TREES SHOULD BE PLANTED WITHIN THE RIGHT-OF-WAY'S PLANTING STRIP(S) AND SPACED BETWEEN 27 FEET AND 35 FEET APART ON CENTER.	27 FEET AND 35 FEET APART ON CENTER	35 FEET ON CENTER
7.6 B. (2) (b)	NO MORE THAN 50% OF ANY ONE GENUS MAY BE PROPOSED.	<50% OF ANY ONE GENUS	FOUR (4) SPECIES PROPOSED
7.6 B. (2) (d)	BE A MINIMUM SIZE OF THREE INCHES IN CALIPER, MEASURED FOUR FEET FROM THE GROUND LEVEL, AND EIGHT TO 10 FEET OF HEIGHT IN PLACE.	THREE INCHES IN CALIPER	3" CALIPER PROPOSED
7.6 C.	CUL-DE-SAC PLANTINGS. THE CENTER ISLAND OF A CUL-DE-SAC MUST BE LANDSCAPED.	LANDSCAPE CENTER CUL-DE-SAC.	LANDSCAPE CENTER CUL-DE-SAC.

PLANTING SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	COMMENTS
DECIDUOUS SHADE AND FLOWERING TREES						
*	AG	4	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	10-12' HT.	AS SHOWN B&B, MULTISTEM
*	GT	8	GLEDITSIA TRIACANTHOS V. INERMIS	HONEYLOCUST	3" CAL.	AS SHOWN B&B
*	LS	6	LIQUIDAMBAR STYRACIFLUA	SWEET GUM	3" CAL.	AS SHOWN B&B
*	UA	6	ULMUS AMERICANA 'PRINCETON'	PRINCETON AMERICAN ELM	3" CAL.	AS SHOWN B&B
* DENOTES NATIVE SPECIES OR NATIVE CULTIVAR						
NOTE: ALL TREES TO MEET THOSE LISTED IN THE LEXINGTON 2019 TREE MANUAL						
	20	TREES REMOVED				
	0	TREES TO REMAIN				
	24	TREES PROPOSED				

DIG SAFE

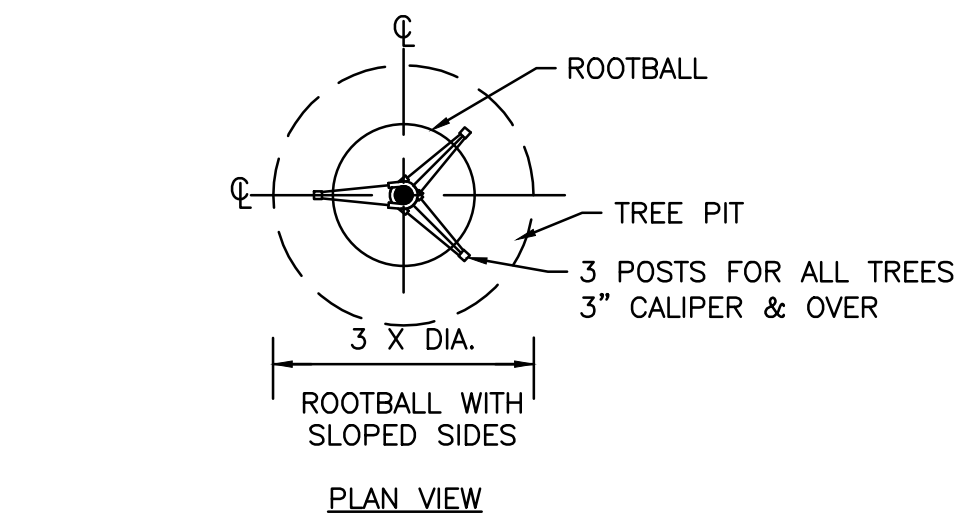
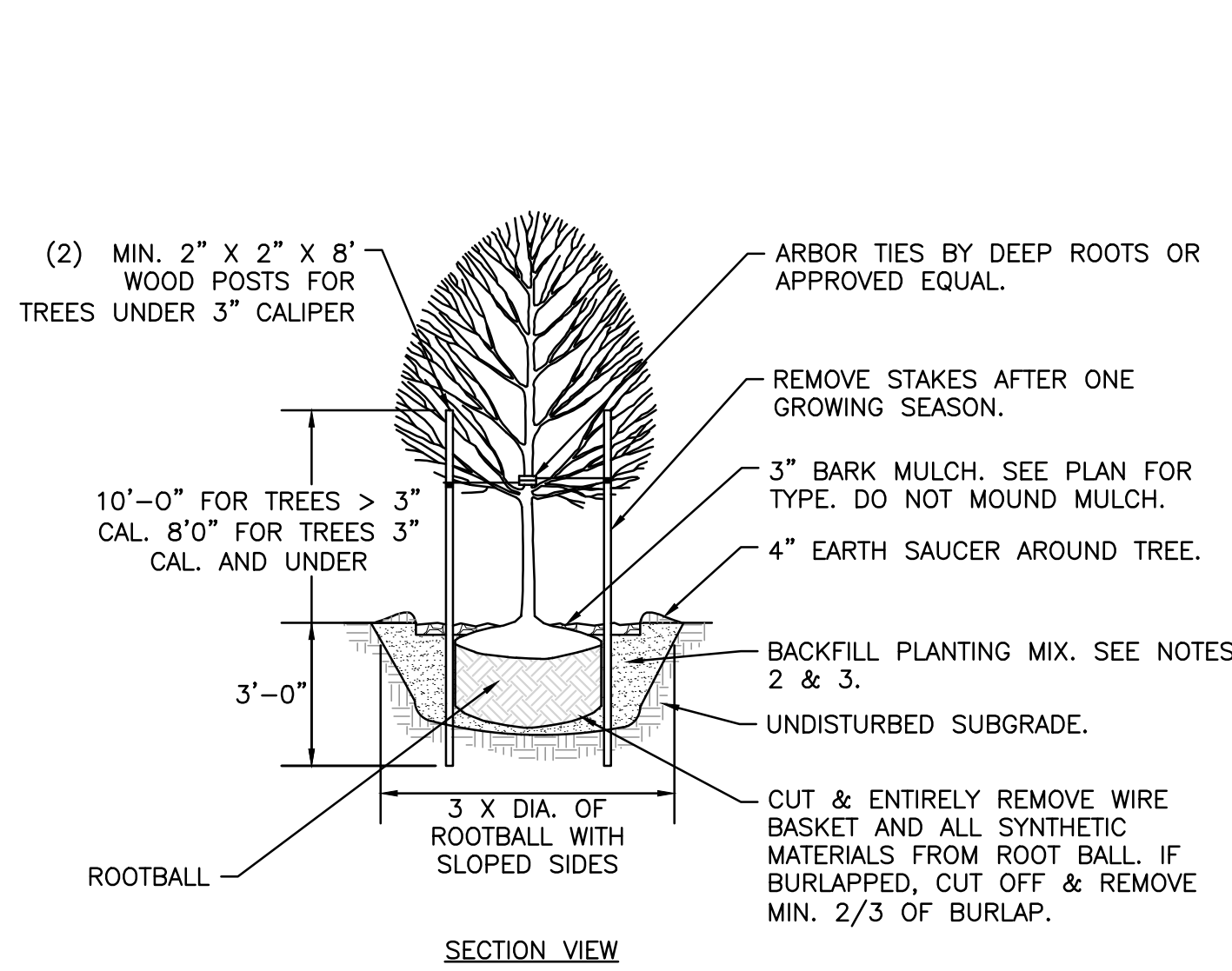


BEFORE YOU DIG
CALL 811 OR
1-888-DIG-SAFE
1-888-344-7233

GRAPHIC SCALE



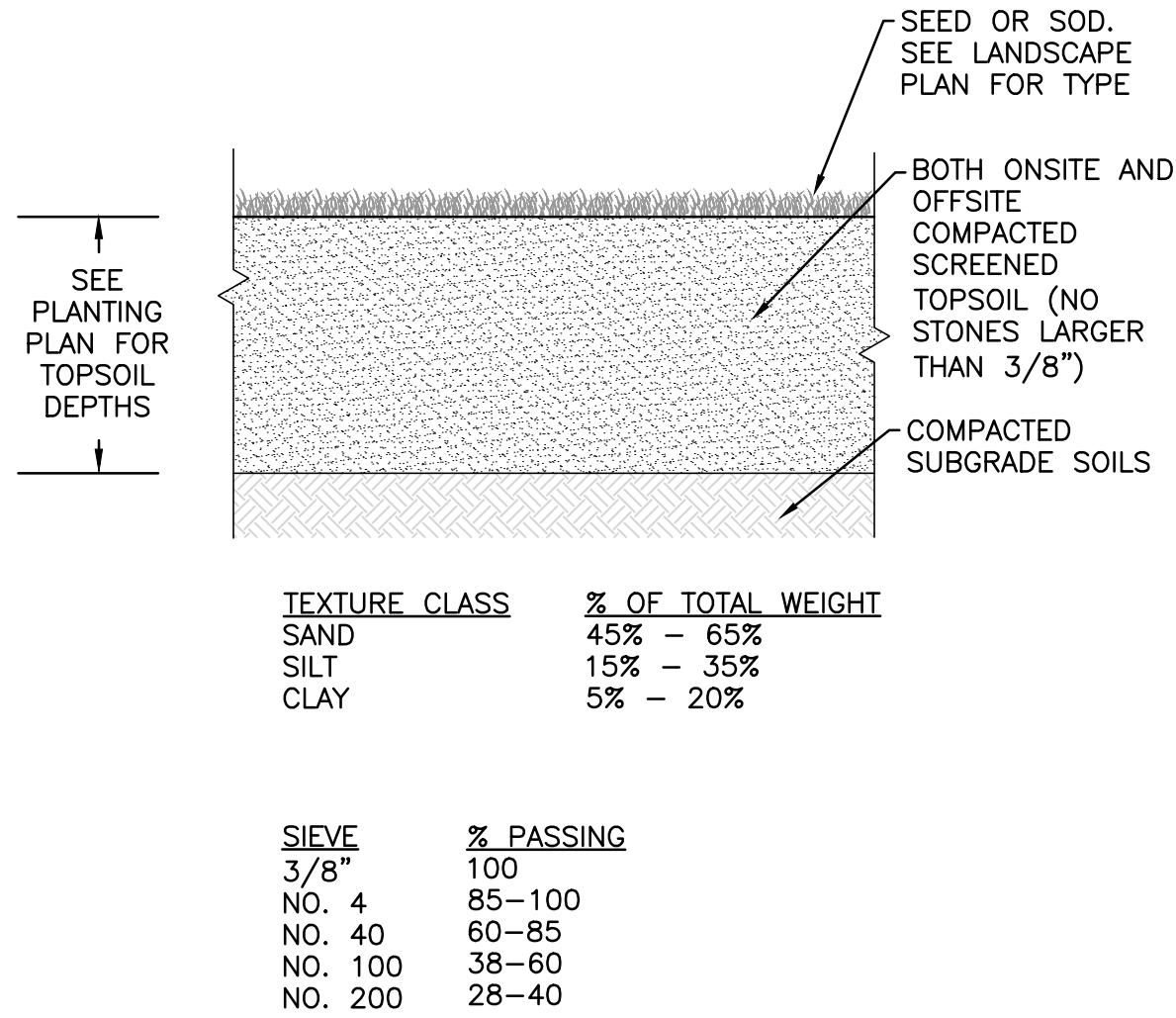
(IN FEET)
1 inch = 40 ft.



- NOTES:
- ALL TREES SHALL HAVE THE SAME RELATIONSHIP TO FINISH GRADE AFTER PLANTING AS THEY HAD AT THE ORIGINAL NURSERY SETTING. ROOT FLARE SHALL BE 2" ABOVE FINISH GRADE. REMOVE SOIL FROM TRUNK FLARE OF TREE TO DETERMINE ACTUAL ROOTBALL AREA.
 - BACKFILL WITH PLANTING MIX. PLANT MIX TO BE: 50% NATIVE TOPSOIL, 20% BLENDED AND GROUND COMPOST (LEAVES & ORGANIC MATERIAL, NO ASH OR TOXIC MATERIALS) 20% PEAT MOSS, 10% SAND.
 - ADD MYCORRHIZA SOIL ADDITIVES AND SLOW RELEASE FERTILIZER WHEN PLANT HOLES ARE 50% FILLED AND WATER THOROUGHLY AT COMPLETION.

DECIDUOUS TREE
NOT TO SCALE

1



TEXTURE CLASS	% OF TOTAL WEIGHT
SAND	45% - 65%
SILT	15% - 35%
CLAY	5% - 20%

SIEVE	% PASSING
3/8"	100
NO. 4	85-100
NO. 40	60-85
NO. 100	38-60
NO. 200	28-40

- NOTES:
- TOP OF LOAM (TOPSOIL) IS FINISH GRADE.
 - ALL TOPSOIL (BOTH ONSITE AND OFFSITE SOURCES) SHALL BE COMPOSED OF A NATURAL, FERTILE, FRIABLE SOIL TYPICAL OF CULTIVATED TOPSOILS OF THE LOCALITY. SOIL SHALL BE SUITABLE FOR THE GERMINATION OF SEEDS AND SUPPORT OF VEGETATIVE GROWTH, WITH ADDITIVES, IF REQUIRED, TO ACHIEVE PARTICLE DISTRIBUTION AND ORGANIC CONTENT BELOW. TOPSOIL SHALL BE TAKEN FROM A WELL-DRAINED, ARIABLE SITE, FREE OF SUBSOIL, LARGE STONES, EARTH CLODS, STICKS, TRASH, STUMPS, CLAY LUMPS, ROOTS, OTHER OBJECTIONABLE, EXTRANEOUS MATTER OR DEBRIS NOR CONTAIN TOXIC SUBSTANCES.
 - THE CONTRACTOR SHALL PROVIDE THE OWNER / LANDSCAPE ARCHITECT WITH TOPSOIL TEST RESULTS (RECOMMEND UMASS AMHERST SOIL TESTING LAB) FOR APPROVAL PRIOR TO OBTAINING AND PLACING THE SOIL. IF THE PLANTING SOIL (BOTH ONSITE AND OFFSITE SOURCES) DOES NOT FALL WITHIN THE REQUIRED SIEVE ANALYSIS, TEXTURAL CLASS, ORGANIC CONTENT, OR PH RANGE, IT SHALL BE ADJUSTED TO MEET THE SPECIFICATIONS THROUGH THE ADDITION OF SAND, COMPOST, LIMESTONE, OR ALUMINUM SULFATE TO BRING IT WITHIN THE SPECIFIED LIMITS AT NO ADDITIONAL COST TO THE OWNER.
 - TOPSOIL SHALL HAVE A PH VALUE BETWEEN 5.5 AND 6.5. TOPSOIL SHALL CONTAIN BETWEEN 4% AND 8% ORGANIC MATTER OF TOTAL DRY WEIGHT AND SHALL CONFORM TO THE FOLLOWING GRADATION AND TEXTURE CLASS ABOVE.

TOPSOIL FOR LAWN & TREES
NOT TO SCALE

2

LANDSCAPE NOTES

- ALL WORK SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE TOWN OF LEXINGTON.
- PLANTING PLAN IS DIAGRAMMATIC IN NATURE. FINAL PLACEMENT OF PLANTS TO BE APPROVED BY THE LANDSCAPE ARCHITECT IN THE FIELD.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES, ANY PERMITTING AGENCIES, AND "DIG-SAFE" (1-888-344-7233) AT LEAST 72 HOURS IN ADVANCE OF ANY WORK THAT WILL REQUIRE EXCAVATION. CONTRACTOR SHALL NOTIFY THE OWNERS REPRESENTATIVE OF ANY CONFLICTS IN WRITING.
- NO PLANT MATERIAL SHALL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- ANY TREES NOTED AS "SEAL OR SELECTED SPECIMEN" SHALL BE TAGGED AND SEALED BY THE LANDSCAPE ARCHITECT.
- ALL TREES SHALL BE BALLED AND BURLAPPED (B&B) UNLESS OTHERWISE NOTED OR APPROVED BY THE OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL VERIFY QUANTITIES SHOWN ON PLANT LIST. QUANTITIES SHOWN ON PLANS SHALL GOVERN OVER PLANT LIST.
- ANY PROPOSED PLANT SUBSTITUTIONS MUST BE APPROVED IN WRITING BY OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT.
- ALL PLANT MATERIALS INSTALLED SHALL MEET THE GUIDELINES ESTABLISHED BY THE AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY AMERICANHORT (LATEST EDITION).
- ALL PLANT MATERIALS SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING DATE OF ACCEPTANCE.
- ALL DISTURBED AREAS NOT OTHERWISE NOTED SHALL RECEIVE 6" OF SUITABLE LOAM & SEED. LAWNS WITH 3:1 OR GREATER SLOPES SHALL BE PROTECTED WITH AN EROSION CONTROL BLANKET.
- ANY FALL TRANSPLANTING HAZARD PLANTS SHALL BE DUG IN THE SPRING AND STORED FOR FALL PLANTING.
- TREES SHALL HAVE A MINIMUM CALIPER AS INDICATED ON THE PLANTING SCHEDULE TAKEN ONE FOOT ABOVE THE ROOT CROWN.
- ALL PLANT BEDS AND TREE SAUCERS TO RECEIVE 3" OF PINE BARK MULCH. GROUNDCOVER AREAS SHALL RECEIVE 1" OF PINE BARK MULCH.
- ALL DECIDUOUS TREES ADJACENT TO WALKWAYS AND ROADWAYS SHALL HAVE A BRANCHING PATTERN TO ALLOW FOR A MINIMUM OF 7' OF CLEARANCE BETWEEN THE GROUND AND THE LOWEST BRANCH.
- ALL TREE STAKES SHALL BE STAINED DARK BROWN.
- CONTRACTOR RESPONSIBLE FOR WATERING AND RESEEDING OF BARE SPOTS UNTIL A UNIFORM STAND OF VEGETATION IS ESTABLISHED AND ACCEPTED.
- SOIL SAMPLES, TESTS, AND SHOP DRAWINGS SHALL BE PROVIDED TO THE LANDSCAPE ARCHITECT OR THE OWNER FOR APPROVAL PRIOR TO CONSTRUCTION.

LOAM AND SEED NOTES:

CONTRACTOR SHALL SEED ALL DISTURBED AREAS NOT NOTED TO RECEIVE OTHER MATERIALS, AND AT AREAS SHOWN ON THE PLAN PER SPECIFICATIONS BELOW

SCIENTIFIC NAME	COMMON NAME	PROPORTION BY WEIGHT	PERCENT PURITY	PERCENT GERMINATION
FESTUCA RUBRA "RUBRA"	CREeping RED FESCUE	37%	95%	90%
PAO PRAENTENSIS "BARON"	BARON KENTUCKY BLUEGRASS	40%	85%	90%
LOLIUM PERENNE "PALMER"	PALMER PERENNIAL RYEGRASS	15%	95%	90%
FESTUCA RUBRA COMMUTATA WILMA	WILMA CHEWINGS	8%	95%	80%

- SEED TO BE SPREAD AT MINIMUM RATE OF 5 LBS. PER 1000 SQ. FT.
- SEEDING TO BE COMPLETED "IN SEASON" BETWEEN APRIL 1 TO JUNE 15 OR AUGUST 15 TO OCTOBER 1, EXCEPT FOR RESEEDING OF BARE SPOTS. IF UNABLE TO SEED WITHIN THESE TIMEFRAMES, CONTRACTOR TO INSTALL EROSION CONTROL MATS ON ALL SLOPES 3:1 AND OVER, HYDROSEED ALL EXPOSED AREAS, ADD SOIL STABILIZER "FLUX TERRA HP-FGM SOIL STABILIZER" AS MANUFACTURED BY "PROFILE" TO HYDROSEED (AT RATE OF 3,000 LBS PER ACRE). CONTRACTOR TO COMPLETE ALL ABOVE "OUT OF SEASON" REQUIREMENTS AND THEN ALSO BE RESPONSIBLE FOR RE-GRADING AND RE-SEEDING ALL DISTURBED, ERODED, OR BARE SPOTS WITHIN NEXT CLOSEST PLANTING SEASON IN FALL OR SPRING.
- COMMERCIAL FERTILIZER SHALL BE APPLIED AT THE RATE OF 25 POUNDS PER 1000 SQ. FT. OR AS RECOMMENDED BY THE TESTING AGENCY. LIME TO BE SPREAD AT THE RATE OF 100 POUNDS PER 1000 SQ. FT. OR AS RECOMMENDED BY THE TESTING AGENCY. COMMERCIAL FERTILIZER SHALL BE A COMPLETE FERTILIZER CONTAINING AT LEAST 50% OF THE NITROGEN OF WHICH IS DERIVED FROM NATURAL ORGANIZE SOURCES OF UREAFORM. IT SHALL CONTAIN THE FOLLOWING PERCENTAGES BY WEIGHT: NITROGEN (N) 10%, PHOSPHORUS (P) 6%, POTASH (K) 4%. LIME SHALL BE AN APPROVED AGRICULTURAL LIMESTONE CONTAINING NOT LESS THAN 85% OF TOTAL CARBONATES. LIMESTONE SHALL BE GROUND TO SUCH FINENESS THAT 50% WILL PASS A 100 MESH SIEVE AND 90% WILL PASS THROUGH A 20 MESH SIEVE.
- LAWN AREAS TO BE SEEDDED BY SOWING EVENLY WITH AN APPROVED MECHANICAL SEEDER AT THE RATE OF TEN POUNDS PER 1000 SQUARE FEET.
- CONTRACTOR RESPONSIBLE FOR WATERING, MOWING, AND RESEEDING OF LAWN BARE SPOTS UNTIL A UNIFORM, HEALTHY STAND OF GRASS IS ESTABLISHED AND ACCEPTED.

APPROVED BY:
TOWN OF LEXINGTON PLANNING BOARD

DATE: _____

THIS PLAN IS SUBJECT TO A COVENANT

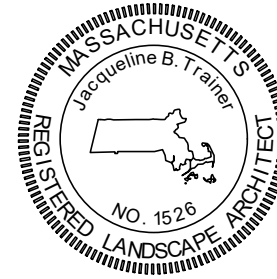
DATED _____

THIS PLAN IS SUBJECT TO A CERTIFICATE OF
ACTION DATED _____

THIS PLAN IS SUBJECT TO A SPECIAL PERMIT
DATED _____

I, _____, TOWN CLERK
OF THE TOWN OF LEXINGTON,
MASSACHUSETTS HEREBY CERTIFY THAT THE
NOTICE OF APPROVAL OF THIS PLAN HAS
BEEN RECEIVED AND RECORDED AT THIS
OFFICE AND NO NOTICE OF APPEAL WAS
RECEIVED DURING THE TWENTY DAYS NEXT
AFTER SUCH RECEIPT AND RECORDING OF
SAID NOTICE.

TOWN CLERK _____ DATE _____



Paul B. L. 03.28.2025
PROFESSIONAL LANDSCAPE ARCHITECT FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV DATE DESCRIPTION

APPLICANT/OWNER:

131 HARTWELL LLC
131 HARTWELL AVENUE
LEXINGTON, MA 02421

PROJECT:

DEFINITIVE NON-RESIDENTIAL
SUBDIVISION
131 HARTWELL AVENUE
LEXINGTON, MA

PROJECT NO. 3048-01A DATE: 03-28-2025

SCALE: AS SHOWN DWG. NAME: L-3048-01

DESIGNED BY: JBT CHECKED BY: CMQ

PREPARED BY:

ALLEN & MAJOR ASSOCIATES, INC.
civil engineering • land surveying
environmental consulting • landscape architecture
www.allenmajor.com
100 COMMERCE WAY, SUITE 5
WOBURN MA 01801-8501
TEL: (781) 935-6889
FAX: (781) 935-2896

WOBURN, MA • LAKEVILLE, MA • MANCHESTER, NH

THIS DRAWING HAS BEEN PREPARED IN DIGITAL FORMAT. CLIENT/CLIENTS REPRESENTATIVE OR CONSULTANTS MAY BE PROVIDED COPIES OF DRAWINGS AND SPECIFICATIONS FOR HIS/HER INFORMATION AND/OR SPECIFIC USE ON THIS PROJECT. DUE TO THE POTENTIAL THAT THE PROVIDED INFORMATION MAY BE MODIFIED UNINTENTIONALLY OR OTHERWISE, ALLEN & MAJOR ASSOCIATES, INC. MAY REMOVE ALL INDICATION OF THE DOCUMENT'S AUTHORSHIP ON THE DIGITAL MEDIA. PRINTED REPRESENTATIONS OR PORTABLE DOCUMENT FORMAT OF THE DRAWINGS AND SPECIFICATIONS ISSUED SHALL BE THE ONLY RECORD COPIES OF ALLEN & MAJOR ASSOCIATES, INC.'S WORK PRODUCT.

DRAWING TITLE: SHEET No.

LANDSCAPE DETAILS L-501

Copyright © 2025 Allen & Major Associates, Inc.
All Rights Reserved

N:\PROJECTS\3048-01A\CIVIL\DRAWINGS\CURRENT\DEFINITIVE\L-3048-01A_LANDSCAPE.DWG

May 6, 2025

To: Abigail McCabe
Planning Director
Town of Lexington
Planning Office
1625 Massachusetts Avenue
Lexington, MA 02420

A&M Project #: 3048-01A
Re: Rescission of Previously
Granted Definitive Subdivision

131 Hartwell Avenue
Lexington, MA

Copy: 131 Hartwell, LLC

Dear Ms. McCabe:

On behalf of the Applicant, 131 Hartwell, LLC; Allen & Major Associates, Inc. (A&M) respectfully submits a request to rescind a previously granted Non-Residential Definitive Subdivision approval granted on July 18, 2022 by the Lexington Planning Board and as shown on the definitive subdivision site plans filed with the Planning Department on May 19, 2022. It is understood that the appeals period for the definitive subdivision application has expired and that no appeals had been filed.

Please reach out with any question or concerns to me at 781.305.9426 or drobinson@allenmajor.com, thank you.

Very Truly Yours,
ALLEN & MAJOR ASSOCIATES, INC.



David M. Robinson, EIT
Project Manager
781.305.9426
drobinson@allenmajor.com

COVENANT

131 Hartwell LLC (the "Applicant") submitted an application to the Lexington Planning Board (the "Board") on April 4, 2025, for the approval of a plan entitled "Plans for Definitive Non-Residential Subdivision of Land", 131 Hartwell Avenue Lexington, Massachusetts, Prepared for 131 Hartwell LLC. dated March 28, 2025 prepared by Allen & Major Associates, Inc., Woburn, Massachusetts.

In consideration of the Lexington Planning Board approving said plan without requiring a performance bond or other surety, and in consideration of one dollar in hand paid, receipt whereof is hereby acknowledged, the Applicant, who is the owner of all the land included in the aforesaid subdivision, represents, covenants and agrees with the Town pursuant to Massachusetts General Law, Chapter 41, Section 81U, as amended as follows:

1. Applicant is the owner in fee simple of all the land included in the aforesaid subdivision, and there are no mortgages of record or otherwise on any of said land.
2. No lot shall be conveyed until the construction of ways and the installation of municipal services have been approved to serve such lot in accordance with any covenants, conditions, agreements, terms, and conditions specified in the following:
 - a. The Application for Approval, dated April 22, 2025, as qualified by the definitive plan as approved.
 - b. The Planning Board's Development Regulations governing this development.
 - c. The definitive plan as approved
 - e. Other document(s) specifying construction to be completed, namely:

It is understood and agreed that the lots within the development shall, respectively, be released from the foregoing conditions only upon the recording of a written release executed by a majority of the Board specifically enumerating the lots to be released.

3. This Covenant shall be binding upon and inure to the benefit of the successors and assigns of the Applicant. It is understood and agreed that this Covenant shall run with the land included in the aforesaid subdivision and shall operate as a restriction upon said land.
4. The ways and municipal services required to serve the lots in said subdivision shall be installed and constructed as shown on the definitive plan and in accordance with the Subdivision Regulations adopted by the Board, with such modifications or conditions, if any, as have been imposed by the Board, before such lot may be conveyed other than by a mortgage deed; provided that a mortgagee who acquires title to the mortgaged premises by foreclosure or otherwise and any succeeding owner of such premises or part thereof may sell any such lot subject to the limitation that no lot shall be conveyed until such ways and services have been provided to serve such lot; and provided further that nothing herein shall be deemed to prohibit a conveyance by a single deed, subject to this Covenant, of either the entire parcel of land shown on said subdivision plan

or of all lots shown on such plan not previously released by the Board.

5. Reference to this Covenant shall be entered upon said plan and this Covenant shall be recorded when said plan is recorded.

6. This Covenant shall take effect upon the endorsement of said plan and shall promptly be recorded with the Middlesex South Registry District of the Land Court by the Applicant with the appropriate marginal reference to the Covenant placed on the plan.

7. Upon final completion of the construction of ways and installation of municipal services as specified herein, in or within four (4) years, the Board shall release this covenant by an appropriate instrument duly recorded. Failure to complete construction and installation within the time specified herein, or such later date as may be specified by vote of the Board with a written concurrence by the Applicant, shall result in the automatic rescission of the approval of the plan.

8. Lots within the subdivision may be released from the foregoing conditions only upon the recording of a written release executed by a majority of the Planning Board and specifically enumerating the lots to be released thereunder.

9. Title references for the premises are as follows:

Executed as a sealed instrument this ____ day of _____, 2025.

Applicant

By:

Charles Minasian,
Authorized Representative

Signature of Planning Board Member

Planning Board Member's Name Printed

Signature of Planning Board Member

Planning Board Member's Name Printed

Signature of Planning Board Member

Planning Board Member's Name Printed

Signature of Planning Board Member

Planning Board Member's Name Printed

Signature of Planning Board Member

Planning Board Member's Name Printed

Signatures of a Majority of the Members of the
Planning Board of the Town of Lexington

COMMONWEALTH OF MASSACHUSETTS

Middlesex, ss

_____, 2025

On this _____ day of _____, 2025, before me, the undersigned notary public, personally appeared Charlie Minasian, Authorized Representative as aforesaid, who proved to me through satisfactory evidence of identification, which was a Massachusetts driver's license, to be the person whose name is signed on the preceding document and acknowledged to me that she signed it voluntarily for its stated purposes as her free act and deed and the free act and deed of 131 Hartwell LLC.

Notary Public

My commission expires:

April 22, 2025

To: Abigail McCabe
Planning Director
Town of Lexington
Planning Office
1625 Massachusetts Avenue
Lexington, MA 02420

A&M Project #: 3048-01A
Re: Definitive Subdivision
131 Hartwell Avenue
Lexington, MA

Copy: 131 Hartwell LLC

Dear Ms. McCabe:

On behalf of the applicant, 131 Hartwell LLC; Allen & Major Associates, Inc. (A&M) is submitting the attached, formal Non-Residential Definitive Subdivision package for your review, for the purposes of a "zoning freeze" per MGL Chapter 40A section 6. Please note the property currently has a Preliminary Subdivision approval (attached) that was stamped by the Town Clerk on October 22, 2021.

Please find the following written responses to the comments sent to Allen & Major Associates on March 12, 2025 titled "Decision of The Lexington Planning Board Preliminary Subdivision":

1. Approval of a preliminary subdivision plan does not constitute approval of a subdivision or guarantee that the Board will approve a definitive subdivision plan. The Registry of Deeds is not permitted to record a preliminary subdivision plan.

Applicant Response:

The applicant takes no exception to this comment.

2. Per §175-7.2E(7)(c)[2], the dead-end street turnaround pavement must have an outside turning radius of at least 50 feet.

Applicant Response:

The applicant takes no exception to this comment, the Property Rights & Dimension Standards Plan shows a 50' outside turning radius.

3. Per §175-5.3B(6), the approximate boundary lines of proposed lots, with approximate areas and dimensions, shall be shown on each sheet of the plan.

Applicant Response:

Property lines are shown on all plans and lot areas can be found on both the Property Rights & Dimension Standards Plan and the Utilities Plan.

4. All existing easements shall be shown on the definitive plan submission.

Applicant Response:

All existing easements (if applicable) are shown on all plans.

5. Any new utility easements shall be a minimum of twenty (20) feet wide, per §175-7.1B(4)(a).

Applicant Response:

The applicant takes no exception to this comment, there are no proposed utility easements.

6. Per §175-7.1B(7), bounds shall be set along each right-of-way line at all intersections, angle points, points of change in direction or curvature of the street, and at the two corners of each lot that abuts the right of way. Such permanent bounds shall be installed per §175-7.1B(7)(c) and §175-7.1B(8).

Applicant Response:

The Applicant takes no exception to this comment. Proposed bounds are shown on the Property Rights & Dimension Standards Plan and detailed in the Legend.

7. Construction of the proposed roadway shall conform to §175-7.2, Streets and Rights-of-way. The Applicant shall note on the Definitive Subdivision Plan whether the street will remain private or is intended to be an accepted way. If the Applicant wishes to have the Town accept the Road, road construction must follow Town standards and be inspected at certain milestones during construction. The property owners will be responsible for the stormwater facilities regardless of road ownership.

Applicant Response:

The Applicant takes no exception to this comment. The roadway is intended to remain private.

8. Per §175-7.2E(7)(b), Dead-end Streets, the Applicant shall install a "Dead End" or "Not a Through Way" sign per the specifications of the Town Engineer. Such signage shall be shown on the definitive subdivision plan.

Applicant Response:

Signage shall be coordinated at time of construction and Building Permit, if applicable.

9. The cul-de-sac is required to have a landscaped center island per §175-7.2E(7)(c)[1]; such planting schedule should utilize the Lexington Preferred Planting List, dated October 6, 2021.

Applicant Response:

Proposed plantings are shown in the landscaped center island on Landscape Plan Sheet L-101.

10. The sidewalks and crosswalks shall be ADA compliant with ramps and tactile pads, per §175-7.3; ADA compliant ramps shall run in the direction of travel.

Applicant Response:

The Applicant takes no exception to this comment.

11. Ensure that curbing allows for roadway runoff to be directed to the proposed catch basins and does not collect in the area of the crosswalk and ADA ramp.

Applicant Response:

The applicant takes no exception to this comment, see Site Construction Plan and the Drainage Report.

12. Fire hydrants shall be placed not more than 500 feet apart and approved per §175-7.4B(3) by the Fire Department.

Applicant Response:

The Applicant takes no exception to this comment.

13. The definitive subdivision shall demonstrate compliance with §175-7.5, per a National Pollutant Discharge Elimination System (NPDES) general permit.

Applicant Response:

The Applicant takes no exception to this comment. A NPDES permit shall be applied for and received prior to the start of construction, if applicable.

14. The Definitive Subdivision shall demonstrate compliance with §175-7.5 for above-threshold projects detailed in Article VI, Stormwater Management Regulations, Chapter 181 of the Code of Lexington.

Applicant Response:

The Applicant takes no exception to this comment, see the Drainage Report.

15. Per §175-7.4A, all elements of the water and sanitary sewer service must be designed to comply with the Town's Water, Sewer and Drain Regulations and the Standard Specifications. All sewer extensions with proposed flows in excess of 15,000 gallons per day will require the removal of 4 gallons of infiltration and inflow for each gallon of permitted wastewater flow requested.

Applicant Response:

The Applicant takes no exception to this comment, there are no proposed buildings.

16. Per §175-7.6, the Applicant shall submit a landscaping and planting plan that demonstrates compliance with street tree requirements and conforms with Lexington Preferred Planting List, adopted October 6, 2021, or EPA Eco Regional III.

Applicant Response:

The Applicant takes no exception to this comment, see Landscape Plan.

17. Per the rules adopted by the Conservation Commission pursuant to Chapter 130, Section 5(2) "Performance Standards", any proposed work that discharges to a protected resource area or connects to a storm drain system that discharges to a protected resource area shall not result in an increase in the peak rate of surface runoff during 2-year, 10-year, or 100-year return period storm events and shall

not result in an increase in the total volume of surface runoff for the 1-year return period storm at all design points. A drainage connection into the Lexington Municipal Separate Storm Sewer System (MS4) will require review and approval through a Request for Determination of Applicability, or a Notice of Intent if any conservation regulatory performance standards are requested to be waived.

Applicant Response:

The Applicant takes no exception to this comment, see Drainage Report. No connection to the Lexington MS4 is proposed.

Please reach out with any question or concerns to me at (781) 305-9426 or drobinson@allemajor.com.

Very Truly Yours,

ALLEN & MAJOR ASSOCIATES, INC.



David M. Robinson, EIT
Project Manager

Attachments: Definitive Subdivision Application (Online via ViewPoint Permitting portal)
 Form W Application for Waivers
 Draft Covenant
 Copy of Deeds for 131 Hartwell Ave deed
 Copy of Decision of The Lexington Planning Board Preliminary Subdivision, dated
 March 12, 2025
 Definitive Subdivision Plans, dated March 28, 2025
 Drainage Report, dated March 28, 2025



TOWN OF LEXINGTON
PLANNING OFFICE

1625 Massachusetts Avenue
Lexington, Massachusetts 02420
Tel: 781-698-4560
planning@lexingtonma.gov
www.lexingtonma.gov/planning



Abby McCabe, Planning Director
Meghan McNamara, Assistant Director
Aaron Koepper, Planner
Carolyn Morrison, Planning Coordinator

To: Lexington Planning Board

From: Aaron Koepper, Planner

Re: Project Review for 131 Hartwell Avenue: Non-Residential Definitive Subdivision

Date: June 16, 2025

Property Information	
Project Address	131 Hartwell Avenue
Applicant/Owner	Charlie Minasian / 131 HARTWELL LLC
Type of Review	Non-Residential Definitive Subdivision
Permit Number	PLAN-25-28
Parcel ID	Map 74, Lot 6A
Zoning District	CM – Manufacturing & TMO-1 (Hartwell Ave. Area Transportation Management Overlay)
Property Size	217,800 SF or 5 Acres

Land Conditions	
Existing Conditions	The 5-acre property is presently improved with a 3-story brick building and surface parking with 274 parking spaces.
Environmental Conditions	The property slopes down from north to south with a stream/drainage swale that connects to wetlands on the adjacent property and across Hartwell Avenue. The structures are subject to the Hanscom Airfield aviation easement. In addition, the rear of the property is bisected by a 30-foot wide Tennessee Gas Pipeline Easement.

Dates & Deadlines	
Filed with Town Clerk	May 20, 2025
Filed with Health	May 22, 2025
Public Hearing Date	June 25, 2025
Action Deadline	August 18, 2025

Action Required	Approve with or without conditions and waivers; OR Disapprove with reasons stated in detail where the plan does not comply with the subdivision regulations.
Appeal Period	20 days from decision filing with Town Clerk

Waiver Requests	
Ch. 175 § 6.1D(2)	The Applicant requests a waiver for c. 175 § 6.1(D)(2) for Soil Surveys, Test Pits, and Test Borings. The Applicant requests the required test pits and test borings be provided as a condition of approval.
Ch. 175 § 6.1(D)(11)(b)	The Applicant requests a waiver for c. 175 § 6.1 (D)(11)(b) for an agreement allocating the responsibility for costs and maintenance among owners. The Applicant requests the required agreement be provided as a condition of approval.

Project Summary
<p>The Applicant is requesting approval of a definitive subdivision plan which proposes three lots on an approximate 400-foot long roadway with a cul-de-sac.</p> <p>As outlined in MGL c. 41 § 81S, preliminary subdivision plans for nonresidential subdivisions are required before submission of a definitive subdivision plan. The Applicant submitted a preliminary subdivision plan with the Town Clerk on February 11, 2025 in order to freeze the 2024 Zoning Bylaw. The Planning Board granted a decision to approve the preliminary plan on March 12, 2025.</p> <p>Per Massachusetts state law, a submission of a preliminary subdivision plan can freeze the zoning for a parcel if a definitive subdivision plan is also submitted within 7 months.</p> <p>The Applicant is continuing with the subdivision process and has applied for a definitive subdivision plan freezing the 2024 Zoning Bylaw and Zoning Map that includes a VHO (Village High-rise Overlay) district on the property. On March 17, 2025, Special Town Meeting (STM 2025-1) approved <u>Article 2 – Amend Section 7.5 of the Zoning Bylaw to Reduce Multi-Family Dwelling Unit Capacity</u>, removing the overlay district. If the Definitive Plan is approved and endorsed by the Planning Board, the full 2024 Zoning Bylaw and Zoning Map including the VHO overlay district can be applied to the property for eight years from the date of the plan’s endorsement.</p>

Staff Comments
<p>The plan set was revised on June 10, 2025 per c. 175 § 6.1(5)(a)[6], to include sight lines at the intersection of Hartwell Avenue and the proposed new road and the drainage report was updated on June 10, 2025 to reference the latest FEMA FIRM maps.</p> <p>The proposed lots meet the required frontage of 50 feet, area of 20,000 sq. ft. and access requirements.</p>

The proposed 50-foot ROW with a 26-foot wide roadway is appropriate for a nonresidential subdivision.

The Fire Department does not have any concerns.

The Health Division does not have any concerns.

Building Commissioner notes that prior to any construction Applicant is responsible for coordination with and obtaining any necessary approvals from MassPort and FAA Regulations related to ground or airway protection and buffer zones.

Conservation notes that this lot has jurisdictional wetland resource areas and the proposed plans do not adequately delineate the applicable resource areas on site. The proposed roadway layout may not meet applicable wetland protection performance standards once wetland resource areas are accurately delineated on site, meaning a Conservation Commission Order of Conditions approval may not be issued during review of the Notice of Intent process. In addition, the proposed Stormwater Management Plan does not meet Conservation Commission Section 5(6) -Pre-development Conditions.

Engineering: a full review of the stormwater will be reviewed upon receipt of the full application to Conservation Commission. Test pits will be required to confirm the ESHGW and there should be a 2 ft. separation between the ESHGW and the bottom of any infiltration system.

The Applicant has provided a response to all staff comments (dated 4/22/25) from the Preliminary Subdivision Approval.

A draft definitive subdivision approval for the Board's review and consideration has been provided to the applicant and board members.

Staff recommend a condition of approval pertaining to the Applicant's responsibility for obtaining and necessary approvals from MassPort and FAA Regulations, or any other permits, licenses or approvals as necessary including the required application to the Conservation Commission.

Staff recommend a condition of approval requiring the Applicant to file a Notice of Intent with the Conservation Commission and receive an Order of Conditions prior to any site disturbance or construction related to this definitive subdivision plan. If the roadway layout and subsequently the layout of the lots to be created changes as part of the Conservation Commission review, the Applicant will be required to submit notice of modification to the Planning office and may require a new hearing with the Planning Board.

AGENDA ITEM SUMMARY

LEXINGTON PLANNING BOARD

AGENDA ITEM TITLE:

Public Hearing for Amendments to Planning Board's Zoning Regulations

PRESENTER:

Board Discussion

ITEM NUMBER:

SUMMARY:

Public Hearing to amend Planning Board's Zoning Regulations Ch. 176. Various sections to be amended including: § 3.0 General Regulations, § 4.0 Fee Schedule, § 5.0 Submission Material, § 9.0 Site Plan Review, § 9.5 Limited Site Plan Review, § 12.0 Site Plan Review Design Regulations, § 14.4 Payments in lieu for Special Residential Developments.

Continued from 6/11 meeting

The Board will review proposed amendments and updates since the June 11 hearing. Attached are the proposed amendments with edits since the June 11th meeting in purple font. The Board will discuss changes then re-open the hearing for public comments. At the end of the night, staff recommends the hearing be further continued to the Board's July 16 meeting.

SUGGESTED MOTION:

Staff recommends at the end of the discussion, continuing the public hearing to the Board's July 16 meeting to review a further updated draft of proposed changes.




Move to continue the public hearing to amend the Planning Board's Zoning Regulations Chapter 176 to **Wednesday, July 16 at or after 6:00 pm on Zoom.**

FOLLOW-UP:

DATE AND APPROXIMATE TIME ON AGENDA:

6/25/2025

ATTACHMENTS:

Description		Type
	Bike Examples	Cover Memo
	DRAFT Sustainability Narrative	Exhibit
	DRAFT Regulation Amendments 06.25.25	Exhibit

Approved Plans												Proposed Regulations							
Address	# Units	# Required	# Provided	# Oversize	%	# at Grade	%	# Lifted	%	# EV	%	# Oversize		# at Grade		# Lifted		# EV	
89 Bedford St	30	45	48	0	0%	48	100%	0	0%	some		5	11%	34	76%	12	27%	12	27%
185 Bedford St	25	37.5	38	0	0%	38	100%	0	0%	1	3%	4	11%	29	77%	10	27%	10	27%
231 Bedford St	7	10.5	11	0	0%	11	100%	0	0%	0	0%	2	19%	8	76%	3	29%	3	29%
331 Concord Ave	200	300	301	1	0%	177	59%	124	41%	some		30	10%	225	75%	75	25%	75	25%
7 Hartwell Ave	130	195	195	4	2%	131	67%	64	33%	20	10%	20	10%	147	75%	49	25%	49	25%
17 Hartwell Ave	312	468	468	some		318	68%	150	32%	4	1%	47	10%	351	75%	117	25%	117	25%
217-241 Mass Ave	44	66	66	6	9%	52	79%	14	21%	8	12%	7	11%	50	76%	17	26%	17	26%
3,4,5 Militia Drive	292	438	438	7	2%	438	100%	0	0%	unknown		44	10%	329	75%	110	25%	110	25%
5-7 Piper Road	46	69	71	2	3%	71	100%	0	0%	10	14%	7	10%	52	75%	18	26%	18	26%
287 Waltham St	15	23	28	0	0%	28	100%	0	0%	unknown		3	13%	18	78%	6	26%	6	26%
952 Waltham St	8	12	16	0	0%	16	100%	0	0%	unknown		2	17%	9	75%	3	25%	3	25%

DRAFT SUSTAINABILITY NARRATIVE QUESTIONS FOR APPLICATION SUBMISSIONS

- What kind of heating system will be used?
- What kind of cooling system will be used?
- What type of water heating system will be used?
- Will it be an all-electric building?
- If it is not all-electric, what fossil fuel systems are planned (e.g. water heating, indoor/outdoor stoves or fire appliances)?
- Are any green building certifications being pursued (e.g. Passive House, LEED, Living Building Challenge)?
- Will this project include any onsite renewable energy generation? How much?
- Will this project include any on-side energy storage systems? How much?
- If there is no onsite solar planned, how has the building been designed to maximize solar generation potential in the future?
- What measures will be taken to optimize building envelope performance?
- How has the design team integrated energy performance into the building and site design (e.g. orientation, massing, mechanical systems, envelope)?
- What steps has the design team taken to limit toxics and embodied carbon in the materials chosen for the project?
- Will the building accommodate both recycling and compost collection?

**TOWN OF LEXINGTON
PLANNING BOARD
NOTICE OF PUBLIC HEARING
AMENDMENTS TO PLANNING BOARD ZONING REGULATIONS**

The Planning Board held a virtual public hearing via Zoom on Wednesday, June 11 at or after 6:00 pm, and **continued to Wednesday, June 25 at or after 6:00 pm**, to consider various amendments to Chapter 176 of the Code of Lexington, Planning Board Zoning Regulations. The following changes are proposed; additional changes may be considered.

The current Regulations may be found at [Chapter 176](#). Proposed amendments are as follows, where ~~struck through text~~ is to be removed and underlined text is to be added. Purple font indicates changes made after the June 11 hearing.

1. Amend § 176-3.6.4 as follows:

3.6.4 Field Changes. Field changes are minor adjustments to decisions or approved plans based on actual conditions encountered in the field, such as shifting the location of a pipe or catch basin, minor adjustments in landscaping and utilities, or substituting like and kind materials. Changes as a result of other approvals or permits such as from the Conservation Commission, Historic Districts Commission, utility company, or state entity may also be considered field changes. Change in paint color does not require approval.

Field changes are approved by the Planning Director, in writing.

2. Amend § 176-4.1.2 Administrative Fee Schedule. The following schedule applies to the types of applications to the Board.

Type of Application	Administrative Fee
Unaccepted street: street adequacy determination (SAD),	\$500
Special Permit or Site Plan Review, Sections 176-6.0, 176-9.0, 176-11.0, or 176-13.0	
Minor site plan review	\$500
Limited site plan review	\$800
Major site plan review or special permit	\$2,000, plus \$0. 09 <u>06</u> per square foot of <u>new</u> gross floor area for each new or expanded building. <i>(max. limit removed)</i>
Minor modification to an approved major site plan review or special permit	\$500
Minor modification to an approved minor site plan review	\$250

PD rezoning, Section 176-8.0	
Sketch plan	\$900 <u>2,000</u>
Petition and PSDUP	\$4,000

3. Amend § 176-9.2.4 Disapproval as follows:

Disapproval. Site Plan Review cannot be used to prohibit a use otherwise permitted. The Planning Board, or its designee in the case of a minor site plan review, may disapprove an application ~~where:~~ for the following reasons only:

- ~~1. The application is incomplete, as determined by the Planning Board or Planning Office, Information required by these regulations to review the application is not submitted with the application,~~ the applicant has been so notified, and has failed to remedy the ~~application deficiency; or~~
- The imposition of reasonable conditions ~~will not~~ cannot ensure the project's compliance with the substantive requirements of the Zoning Bylaw or requirements of these regulations. ~~or~~
- ~~3. The project, as proposed, does not comply with the Zoning Bylaw.~~

4. Amend § 176-9.3.1 Major Site Plan Review by adding:

4. Installation of a canopy or large-scale solar energy system if the photovoltaic surface area is greater than 5,000 square feet when site plan review is required.

5. Amend § 176-9.3.2 Required Submittals, as follows:

2. Architectural plans, which include but are not limited to building elevations, and color renderings of outdoor gathering spaces, all sides of the proposed structures which shall show and label exterior material types, such as roofing, siding, and window details, including trim, to illustrate what the proposal will look like from the public way and abutting views sufficient to understand massing within context of the surroundings. Renderings shall include views from the public way within context of adjacent buildings and nearby properties.
- ~~7. A list indicating which items on the LEED Core and Shell Checklist, or equivalent scorecard, are intended to be included in the design and construction of the building(s).~~
- ~~8. The SITES v2 Checklist Scorecard indicating which performance standards are being incorporated into the project site.~~

9. A narrative summary of sustainability features on a form submitted with the application that includes: any proposed on-site solar generation or other energy efficient measures proposed or explored to reduce the project's greenhouse gas emissions; any proposed LEED construction methods; SITES v2 Checklist Scorecard or sustainable landscape design measures; or other similar sustainable features. [This form will be a separate document and is still in progress]

18. A narrative describing the location and dimensions for accessibility of common outdoor spaces, including, but not limited to, materials used, slopes of surfaces and parking space locations, etc. If applicable, provide the number of accessible dwelling units proposed and their location(s).

6. Amend § 176-9.4 Minor Site Plan as follows:

3. Installation of a solar energy system when site plan review is required.

7. Amend § 176-9.5.1 Limited Site Plan Review as follows:

9.5.1 Limited Site Plan Review. Site plan review of uses protected under § 135-9.5.6 shall require only limited review. Site plan review shall be limited in such circumstances to the imposition of reasonable regulations concerning the bulk and height of structures, yard sizes, lot area, setbacks, open space, off-street parking, ~~and~~ building coverage requirements, and stormwater management regulations as applicable pursuant to § 181-71.

9.5.2 Required Submittals. An applicant shall submit a minor site plan review application package in an electronic format to the Planning Office.

9.5.3 Procedures. Limited site plan review applications shall follow § 176-9.3.1 for Major Site Plan Review or § 176-9.4.1 for Minor Site Plan Review. ~~Minor Site Plan Review Compliance. Site plan review shall follow the procedures for a minor site plan in § 176-9.4 or of , regardless of whether the proposed change would otherwise meet or exceed the threshold for major site plan in § 176-9.3 depending on the proposal.~~

8. Amend § 176-12.4.2 Bicycle and Other Device Parking as follows:

1. Bicycle parking intended for Long-term bicycle parking use by employees and residents shall be protected from the elements and in a covered and secure location. The bicycle parking shall be easily accessible and no more than 200 feet from a building entrance.
2. In multi-family developments containing 200 50 or more dwelling units, a bike share station is encouraged for residents and any employees of the development. The bike share system shall follow the same standards for long-term bicycle storage and may count towards the overall long-term space requirements.
3. In addition to bicycle parking, Residential developments shall have both short-term parking areas and covered long-term parking areas, for have an area for strollers, at least one per development.

~~devices such as scooters and strollers~~

4. Where there are residential units, there shall be space for 1.5 long-term bicycle spaces per dwelling unit and 0.1 short-term bicycle space per dwelling unit, with a minimum of two spaces.
5. Bicycle parking serving multiple uses or buildings may be pooled into a single secure area, enclosure, or facility.
- ~~—4. Bicycle racks shall be easily accessible for both long-term and short-term use.~~
6. Bicycle parking shall be separated by at least three (3) feet from any motor vehicle parking spaces to minimize possible damage to bicycles and vehicles.
7. Bicycle racks placed perpendicular to a wall must be at least 4 feet from the wall to the center of the rack. Racks parallel to a wall must be at least 3 feet from the rack to the wall.
8. Short-term bicycle racks shall be located no further away from the main entrance than the nearest non-accessible off-street parking space in the development near main entrances, be visible (where possible) from a public way, and be at least two feet from any wall or other obstruction.
9. Bicycle parking in parking garages must be either on the same level as the entrance to the garage from the street, or near an elevator that has interior dimensions of at least 80" x 54".
10. Each Ten (10%) of the long-term bicycle parking space shall be for oversized bicycles with ten (10) foot by three (3) foot spaces on the same level as the entrance from the street, the remaining spaces shall be at least six (6) feet by two (2) feet. Up to 50% of the long-term spaces may be smaller than 6 ft. by 2 ft. if in a bicycle racking system that supports a reduced width by staggering handlebar heights.
11. Where there are multiple rows of bicycle parking there shall be a pedestrian aisle for clearance of a minimum of five feet between bicycle parking spaces racks.
12. At least 75% of the long-term bicycle parking spaces Parking shall be at grade and not require lifting bicycles off the floor or carrying bicycles up or down stairs, whether indoors or outdoors. Up to 25% of the long-term bicycle parking may be above grade, if in a mechanical lift assist system.
13. Accessibility standards must be met, including maximum slope of ramps and access widths leading to bicycle parking areas.
14. Provisions for e-bike battery charging shall be provided to accommodate 25% of the long-term parking spaces.
15. Bicycle racks shall be the inverted-U-frame or similar to support the bicycle at two or more points above the center of gravity.
16. Whether indoors or outdoors, in no case shall bicycle parking require carrying bicycles up or down stairs.

9. Amend § 176-12.5.1 General as follows:

1. Residential developments under § 135-7.5 are encouraged to meet the Town's housing needs by containing a mix of unit sizes with a varied number of bedrooms and square footage, and units for families.

10. Amend § 176-12.5.3.5 Building Massing as follows:

5. Street-facing facades at ground level should be located at the minimum setback to reinforce the street line. When street-facing buildings are set back, the area between the facade and the street ~~should~~ shall be designed for pedestrian use, such as outdoor seating, dining, public art, or other similar gathering space. Buildings in a campus setting without a street-facing facade should have a people-oriented main façade.

11. Amend § 176-12.5.4 Façade Treatment as follows:

6. Where publicly oriented ground floor commercial uses are present, retractable storefront windows and moveable facades that open shall be considered to allow internal uses to visually spill out onto the sidewalks, activating them and enhancing the pedestrian experience. Ground level windows in commercial spaces facing publicly oriented areas shall be transparent and not have mirrored or reflective glass.
10. New buildings should break up vertical and horizontal building lines to reduce the overall massing appearance. This can be achieved through variations in depth, materials and architectural elements. Vertical divisions in the façade are encouraged to breakup long horizontal facades.

12. Amend § 176-12.6.1.6 Site Design

6. Projects shall ~~plant provide ample space for~~ canopy trees with ample space to grow to mature size and specify sufficient space for water penetration and root growth.

13. Amend § 176-12.6.4.4 Plant Selection as follows:

Shrubs and herbaceous vegetation planted in nonturf areas must include native species on the Lexington Preferred Planting List, or genotypes found in EPA Eco Region III sufficient to achieve 70% aerial coverage in 10 years. The sum of the DBHs of native trees on the Lexington Preferred Planting List, or genotypes found in EPA Eco Region III for newly planted trees must also comprise at least 70% of the total DBHs of all newly planted trees. Planting areas shall consist of stratified plantings of native material with tall and small trees, shrubs, and groundcovers.

14. Amend § 176-12.6.5 Parking Perimeter Buffers, Transition Areas, and Screening as follows:

2. If there are no street trees and room exists, tall deciduous shade trees shall be planted along the frontage and spaced so that the trees can grow. Tree spacing should be approximately every 30 feet and within 10 feet from the street line.

15. Amend § 176-12.6.9 Outdoor Gathering and Amenity Space as follows:

1. Residential amenity spaces are shared between residents of a building or residential development for common use. Residential amenity space may include the following: a courtyard, rooftop, pool area, yard or play area, playground, terrace or similar outdoor gathering space. The residential amenity space and required play area (where applicable) shall be at least 24 50 square feet per dwelling unit for all projects ~~with greater than 20 dwelling units~~. The A majority of the residential amenity space shall be contiguous and designed to be accessible for all residents of the development.
2. In addition to the residential amenity space, mixed-use developments shall include a shared amenity space available to nonresidential users adjacent to the non-residential uses and preferably adjacent to the public way. Shared amenity space may include features such as pedestrian walks, benches, landscaped areas, plazas, additional sidewalk circulation, or seating areas. In the case of a mixed-use development the total amenity space shall be at least 5% of the developable site area.

16. Amend § 176-8 Outdoor Lighting as follows:

- 12.8.5 Shall use top-mounted sign lighting with shields so that the light falls entirely on the sign and is positioned so that the light source (bulb) is not visible from any point of the property or the roadway.
- 12.8.6 Shall use full cut-off or fully shielded designated luminaires with an International Dark Sky Seal or equivalent.
- 12.8.7 Exterior lighting for surface parking lots shall not exceed an average of four-footcandles and the highest point of the light fixture shall not be greater than 12 feet for residential developments.

17. Amend § 176-12.9.5 Drainage and Stormwater Management as follows:

8. ~~Use-s~~ S stormwater harvesting systems, such as cisterns and ponds, for plant irrigation are encouraged.

18. Amend § 176-14.4 Payments in lieu as follows:

- 14.4.1 Amount. Where permitted by § 135-6.9.8.6, the payment to the Affordable Housing Trust shall be in the amount of \$400 ~~325~~ for each square foot of GFA required by § 135-6.9.8.1.a. The Board will review the amount on an regular annual basis and may make any necessary adjustments to the amount.

AGENDA ITEM SUMMARY

LEXINGTON PLANNING BOARD

AGENDA ITEM TITLE:

Housing Inventory

PRESENTER:

Board Discussion

ITEM NUMBER:

SUMMARY:

The Board will discuss Lexington's housing stock. Attached is some information about Lexington's housing statistics.

SUGGESTED MOTION:

FOLLOW-UP:

DATE AND APPROXIMATE TIME ON AGENDA:

6/25/2025

ATTACHMENTS:

Description	Type
<input type="checkbox"/> Lexington Housing Summary	Exhibit
<input type="checkbox"/> Housing Data	Exhibit
<input type="checkbox"/> Housing by Unit Type	Exhibit
<input type="checkbox"/> Housing by Bedrooms	Exhibit

LEXINGTON HOUSING KEY POINTS

June 20, 2025

12,310 total residential units (2020 Census), 12,672 units in [2023 Census](#)

- 82% are single family dwellings
 - Could be ~250 accessory apartments.
 - A 2016 Planning Board report to [Town Meeting](#) references ~200 from 1983-2016.
 - 64-68 accessory dwelling units since 2000 (*some are still in permitting & construction stage*)
- 2% are two-family
- 5% are multi-family with 3-9 units
- 11% are multi-family with 10+ units
- 81% of total units are owner-occupied (19% rental)

1,352 Units (11.03%) considered “affordable” by state; as follows:

- 657 market rate units
- 695 affordable units with sale/rental cost restrictions for people earning no more than 80% of Area Median Income (only 33 ownership).

Affordable Units include:

- 320 deed restricted units
- 262 Housing Authority Units
- 85 LexHAB units
- 65 individuals with development disabilities

Resources:

[Regional Housing Services Office – Housing Inventory](#)

[RHSO photo inventory and more statistics](#)

[Housing Inventory Appendix from the 2022 Comprehensive Plan](#) (housing characteristics page 24)

MA Housing Partnership has a [“Data Town” Housing Inventory](#)

[Assessor's Database](#)

[Town's Housing webpage](#)

Lexington quick facts [Census.gov](#)

[Census: American Community Survey 2023](#)

Planning Board [Recommendation Report to 2016 Annual Town Meeting](#) for
Article 40 to amend Accessory Apartment zoning bylaw.

2023: ACS 5-YEAR Selected Housing Characteristics		Lexington town, Middlesex County, Massachusetts		
Label	Estimate	Margin of Error	Percent	Percent Margin of Error
HOUSING OCCUPANCY				
Total housing units	12,672	±362	12,672	(X)
Occupied housing units	12,337	±321	97.40%	±1.4
Vacant housing units	335	±187	2.60%	±1.4
Homeowner vacancy rate	2	±1.5	(X)	(X)
Rental vacancy rate	3.2	±3.6	(X)	(X)
UNITS IN STRUCTURE				
Total housing units	12,672	±362	12,672	(X)
1-unit, detached	9,297	±458	73.40%	±2.6
1-unit, attached	1,086	±204	8.60%	±1.7
2 units	259	±104	2.00%	±0.8
3 or 4 units	375	±136	3.00%	±1.1
5 to 9 units	289	±117	2.30%	±0.9
10 to 19 units	440	±151	3.50%	±1.2
20 or more units	926	±196	7.30%	±1.5
Mobile home	0	±29	0.00%	±0.3
Boat, RV, van, etc.	0	±29	0.00%	±0.3
YEAR STRUCTURE BUILT				
Total housing units	12,672	±362	12,672	(X)
Built 2020 or later	299	±162	2.40%	±1.2
Built 2010 to 2019	1,133	±211	8.90%	±1.7
Built 2000 to 2009	1,220	±267	9.60%	±2.1
Built 1990 to 1999	760	±191	6.00%	±1.5
Built 1980 to 1989	895	±209	7.10%	±1.6
Built 1970 to 1979	904	±186	7.10%	±1.4
Built 1960 to 1969	1,894	±292	14.90%	±2.3
Built 1950 to 1959	2,178	±286	17.20%	±2.2
Built 1940 to 1949	689	±160	5.40%	±1.3
Built 1939 or earlier	2,700	±324	21.30%	±2.5
ROOMS				
Total housing units	12,672	±362	12,672	(X)
1 room	122	±66	1.00%	±0.5
2 rooms	282	±154	2.20%	±1.2
3 rooms	714	±162	5.60%	±1.3
4 rooms	961	±221	7.60%	±1.8
5 rooms	1,224	±206	9.70%	±1.6
6 rooms	1,562	±228	12.30%	±1.8
7 rooms	1,721	±283	13.60%	±2.2
8 rooms	1,948	±313	15.40%	±2.4
9 rooms or more	4,138	±382	32.70%	±2.9
Median rooms	7.4	±0.3	(X)	(X)
BEDROOMS				
Total housing units	12,672	±362	12,672	(X)

2023: ACS 5-YEAR Selected Housing Characteristics		Lexington town, Middlesex County, Massachusetts		
Label	Estimate	Margin of Error	Percent	Percent Margin of Error
No bedroom	132	±68	1.00%	±0.5
1 bedroom	919	±222	7.30%	±1.7
2 bedrooms	1,969	±292	15.50%	±2.3
3 bedrooms	3,654	±359	28.80%	±2.6
4 bedrooms	3,643	±379	28.70%	±3.1
5 or more bedrooms	2,355	±291	18.60%	±2.2
HOUSING TENURE				
Occupied housing units	12,337	±321	12,337	(X)
Owner-occupied	9,998	±342	81.00%	±2.2
Renter-occupied	2,339	±288	19.00%	±2.2
Average household size of owner-occupied unit	2.83	±0.08	(X)	(X)
Average household size of renter-occupied unit	2.33	±0.20	(X)	(X)
YEAR HOUSEHOLDER MOVED INTO UNIT				
Occupied housing units	12,337	±321	12,337	(X)
Moved in 2021 or later	1,083	±219	8.80%	±1.8
Moved in 2018 to 2020	1,901	±236	15.40%	±1.9
Moved in 2010 to 2017	3,655	±352	29.60%	±2.8
Moved in 2000 to 2009	2,217	±293	18.00%	±2.3
Moved in 1990 to 1999	1,887	±268	15.30%	±2.1
Moved in 1989 and earlier	1,594	±239	12.90%	±1.9
VEHICLES AVAILABLE				
Occupied housing units	12,337	±321	12,337	(X)
No vehicles available	590	±172	4.80%	±1.4
1 vehicle available	3,346	±387	27.10%	±2.9
2 vehicles available	6,486	±397	52.60%	±3.4
3 or more vehicles available	1,915	±267	15.50%	±2.1
HOUSE HEATING FUEL				
Occupied housing units	12,337	±321	12,337	(X)
Utility gas	6,070	±418	49.20%	±3.3
Bottled, tank, or LP gas	615	±151	5.00%	±1.2
Electricity	1,597	±269	12.90%	±2.1
Fuel oil, kerosene, etc.	3,925	±411	31.80%	±3.2
Coal or coke	0	±29	0.00%	±0.3
Wood	8	±13	0.10%	±0.1
Solar energy	60	±46	0.50%	±0.4
Other fuel	62	±40	0.50%	±0.3
No fuel used	0	±29	0.00%	±0.3
SELECTED CHARACTERISTICS				
Occupied housing units	12,337	±321	12,337	(X)

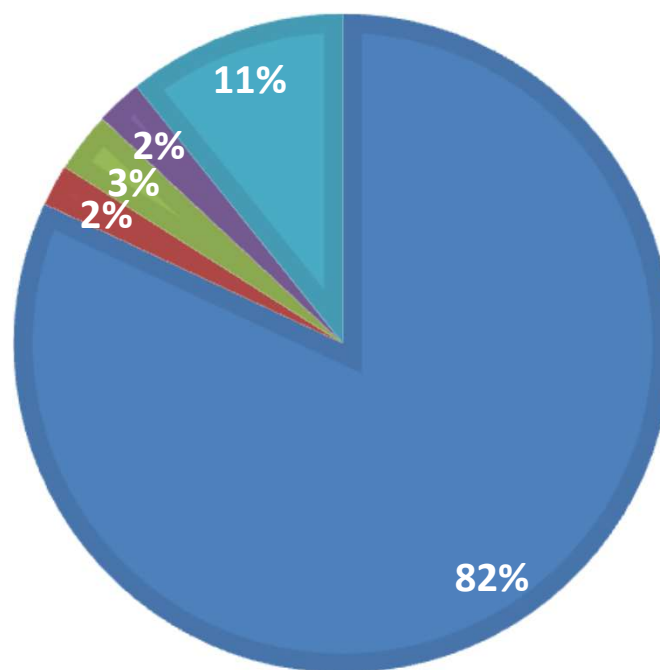
2023: ACS 5-YEAR Selected Housing Characteristics		Lexington town, Middlesex County, Massachusetts		
Label	Estimate	Margin of Error	Percent	Percent Margin of Error
Lacking complete plumbing facilities	70	±67	0.60%	±0.5
Lacking complete kitchen facilities	189	±86	1.50%	±0.7
No telephone service available	44	±45	0.40%	±0.4
OCCUPANTS PER ROOM				
Occupied housing units	12,337	±321	12,337	(X)
1.00 or less	12,112	±347	98.20%	±0.8
1.01 to 1.50	163	±95	1.30%	±0.8
1.51 or more	62	±49	0.50%	±0.4
VALUE				
Owner-occupied units	9,998	±342	9,998	(X)
Less than \$50,000	43	±33	0.40%	±0.3
\$50,000 to \$99,999	25	±23	0.30%	±0.2
\$100,000 to \$149,999	99	±56	1.00%	±0.6
\$150,000 to \$199,999	15	±23	0.20%	±0.2
\$200,000 to \$299,999	60	±39	0.60%	±0.4
\$300,000 to \$499,999	295	±140	3.00%	±1.4
\$500,000 to \$999,999	2,940	±356	29.40%	±3.3
\$1,000,000 or more	6,521	±402	65.20%	±3.6
Median (dollars)	1,147,900	±28,617	(X)	(X)
MORTGAGE STATUS				
Owner-occupied units	9,998	±342	9,998	(X)
Housing units with a mortgage	6,142	±379	61.40%	±3.4
Housing units without a mortgage	3,856	±374	38.60%	±3.4
SELECTED MONTHLY OWNER COSTS (\$MOC)				
Housing units with a mortgage	6,142	±379	6,142	(X)
Less than \$500	0	±29	0.00%	±0.7
\$500 to \$999	23	±26	0.40%	±0.4
\$1,000 to \$1,499	94	±73	1.50%	±1.2
\$1,500 to \$1,999	121	±58	2.00%	±0.9
\$2,000 to \$2,499	258	±135	4.20%	±2.1
\$2,500 to \$2,999	200	±107	3.30%	±1.7
\$3,000 or more	5,446	±334	88.70%	±3.0
Median (dollars)	4,000+	***	(X)	(X)
Housing units without a mortgage	3,856	±374	3,856	(X)
Less than \$250	56	±40	1.50%	±1.0
\$250 to \$399	22	±24	0.60%	±0.6

2023: ACS 5-YEAR Selected Housing Characteristics	Lexington town, Middlesex County, Massachusetts			
Label	Estimate	Margin of Error	Percent	Percent Margin of Error
\$400 to \$599	56	±43	1.50%	±1.1
\$600 to \$799	38	±31	1.00%	±0.8
\$800 to \$999	78	±47	2.00%	±1.2
\$1,000 or more	3,606	±369	93.50%	±2.1
Median (dollars)	1,500+	***	(X)	(X)
SELECTED MONTHLY OWNER COSTS AS A PERCENTAGE OF HOUSEHOLD INCOME (SMOCAPI)				
Housing units with a mortgage (excluding units where SMOCAPI cannot be computed)	6,142	±379	6,142	(X)
Less than 20.0 percent	2,979	±396	48.50%	±5.8
20.0 to 24.9 percent	1,115	±238	18.20%	±3.9
25.0 to 29.9 percent	605	±207	9.90%	±3.3
30.0 to 34.9 percent	402	±176	6.50%	±2.8
35.0 percent or more	1,041	±242	16.90%	±3.7
Not computed	0	±29	(X)	(X)
Housing unit without a mortgage (excluding units where SMOCAPI cannot be computed)	3,810	±372	3,810	(X)
Less than 10.0 percent	1,648	±215	43.30%	±4.7
10.0 to 14.9 percent	703	±158	18.50%	±3.9
15.0 to 19.9 percent	403	±107	10.60%	±2.7
20.0 to 24.9 percent	171	±76	4.50%	±2.0
25.0 to 29.9 percent	189	±91	5.00%	±2.3
30.0 to 34.9 percent	53	±36	1.40%	±0.9
35.0 percent or more	643	±193	16.90%	±4.4
Not computed	46	±43	(X)	(X)
GROSS RENT				
Occupied units paying rent	2,257	±277	2,257	(X)
Less than \$500	318	±119	14.10%	±5.0
\$500 to \$999	128	±66	5.70%	±2.9
\$1,000 to \$1,499	202	±84	8.90%	±3.5
\$1,500 to \$1,999	54	±53	2.40%	±2.4
\$2,000 to \$2,499	200	±83	8.90%	±3.5
\$2,500 to \$2,999	358	±135	15.90%	±5.5
\$3,000 or more	997	±192	44.20%	±6.6
Median (dollars)	2,816	±189	(X)	(X)
No rent paid	82	±59	(X)	(X)

2023: ACS 5-YEAR Selected Housing Characteristics	Lexington town, Middlesex County, Massachusetts			
Label	Estimate	Margin of Error	Percent	Percent Margin of Error
GROSS RENT AS A PERCENTAGE OF HOUSEHOLD INCOME (GRAPI)				
Occupied units paying rent (excluding units where GRAPI cannot be computed)	2,231	±275	2,231	(X)
Less than 15.0 percent	409	±116	18.30%	±5.1
15.0 to 19.9 percent	149	±90	6.70%	±3.9
20.0 to 24.9 percent	257	±94	11.50%	±4.2
25.0 to 29.9 percent	318	±132	14.30%	±5.5
30.0 to 34.9 percent	123	±95	5.50%	±4.1
35.0 percent or more	975	±213	43.70%	±7.7
Not computed	108	±74	(X)	(X)

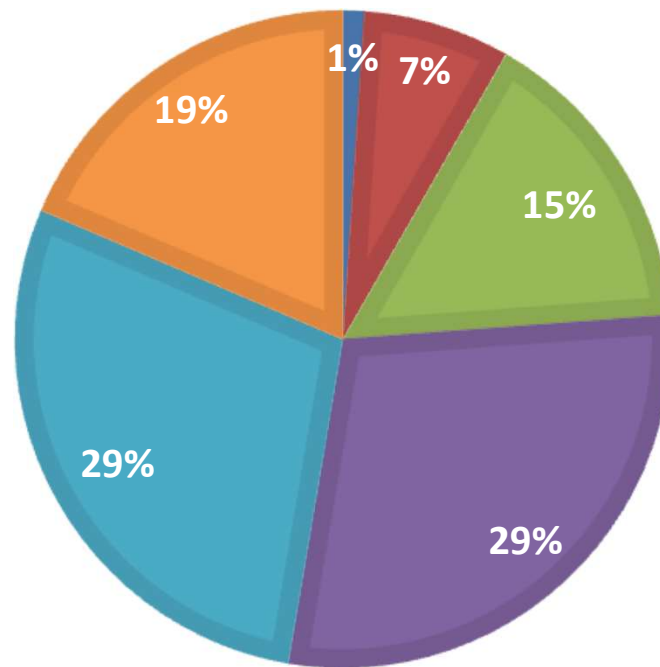
LEXINGTON HOUSING BY TYPE OF UNIT

■ Single Family ■ Duplex ■ 3 - 4 Units ■ 5 - 9 Units ■ 10+ Units



LEXINGTON HOUSING BY # OF BEDROOMS

■ Studio ■ 1 Bedroom ■ 2 Bedrooms ■ 3 Bedrooms ■ 4 Bedrooms ■ 5+ Bedrooms



AGENDA ITEM SUMMARY

LEXINGTON PLANNING BOARD

AGENDA ITEM TITLE:

Board Member & Staff Updates

PRESENTER:

**ITEM
NUMBER:**

SUMMARY:

SUGGESTED MOTION:

FOLLOW-UP:

DATE AND APPROXIMATE TIME ON AGENDA:

6/25/2025

AGENDA ITEM SUMMARY

LEXINGTON PLANNING BOARD

AGENDA ITEM TITLE:

Review of Draft Meeting Minutes: 6/16

PRESENTER:

ITEM NUMBER:

SUMMARY:

Draft meeting minutes from the June 16, 2025 meeting with the Select Board. Draft minutes from the June 11, 2025 Planning Board meeting are pending.

SUGGESTED MOTION:

Move to approve the draft June 16, 2025 meeting minutes as presented.

FOLLOW-UP:

DATE AND APPROXIMATE TIME ON AGENDA:

6/25/2025

AGENDA ITEM SUMMARY

LEXINGTON PLANNING BOARD

AGENDA ITEM TITLE:

Upcoming Meetings

PRESENTER:

**ITEM
NUMBER:**

SUMMARY:

SUGGESTED MOTION:

FOLLOW-UP:

DATE AND APPROXIMATE TIME ON AGENDA:

6/25/2025

AGENDA ITEM SUMMARY

LEXINGTON PLANNING BOARD

AGENDA ITEM TITLE:

Adjourn – The meeting will continue until all items are finished. The estimated adjournment time is 8:00 pm.

PRESENTER:

**ITEM
NUMBER:**

SUMMARY:

SUGGESTED MOTION:

FOLLOW-UP:

DATE AND APPROXIMATE TIME ON AGENDA:

6/25/2025

AGENDA ITEM SUMMARY

LEXINGTON PLANNING BOARD

AGENDA ITEM TITLE:

Zoom Details - <https://www.lexingtonma.gov/377/Access-Virtual-Meetings>

PRESENTER:

ITEM NUMBER:

SUMMARY:

SUGGESTED MOTION:

FOLLOW-UP:

DATE AND APPROXIMATE TIME ON AGENDA:

6/25/2025