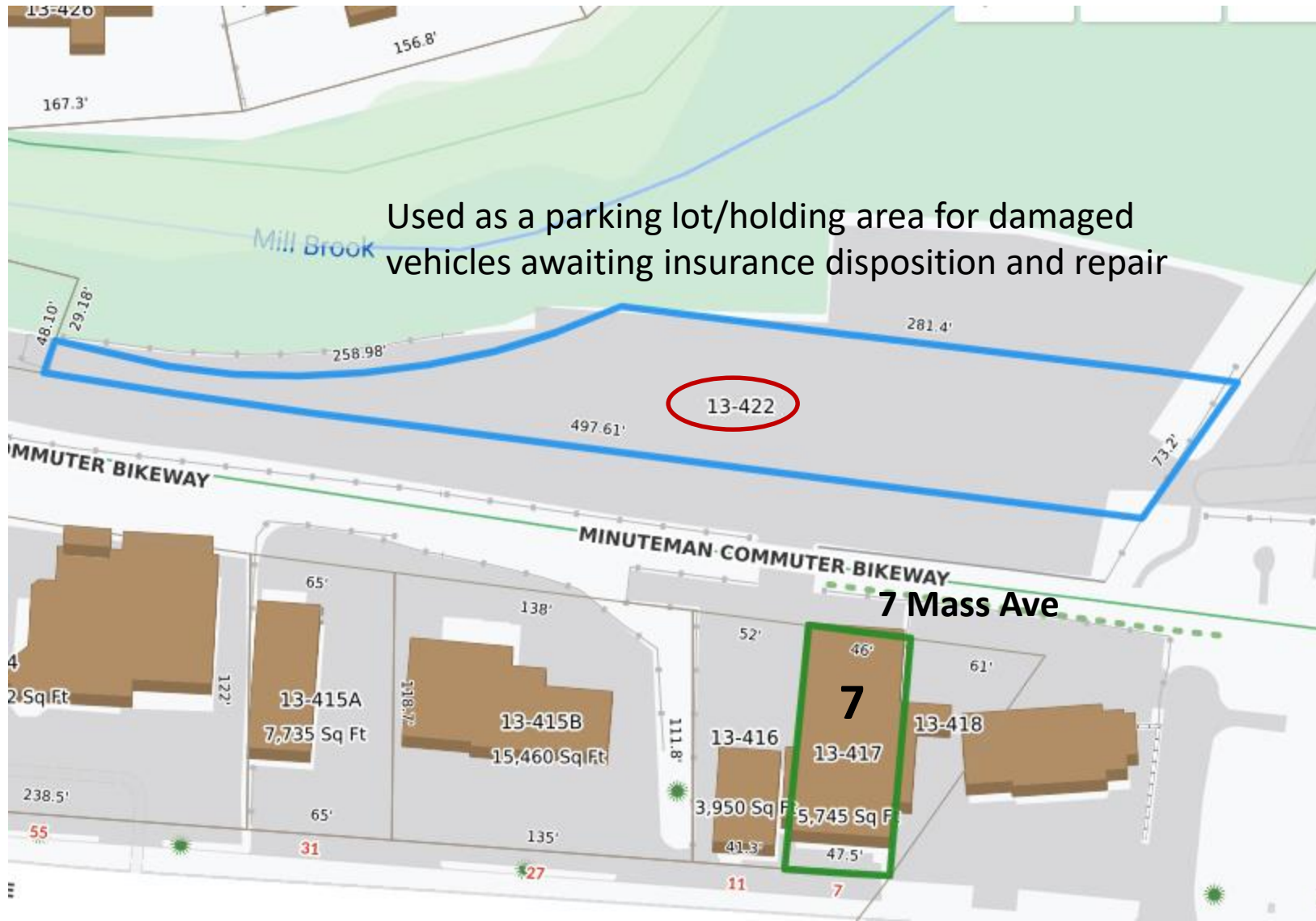


1

# VOD -1 East Lex north - Lot 13-422, 23776 sf

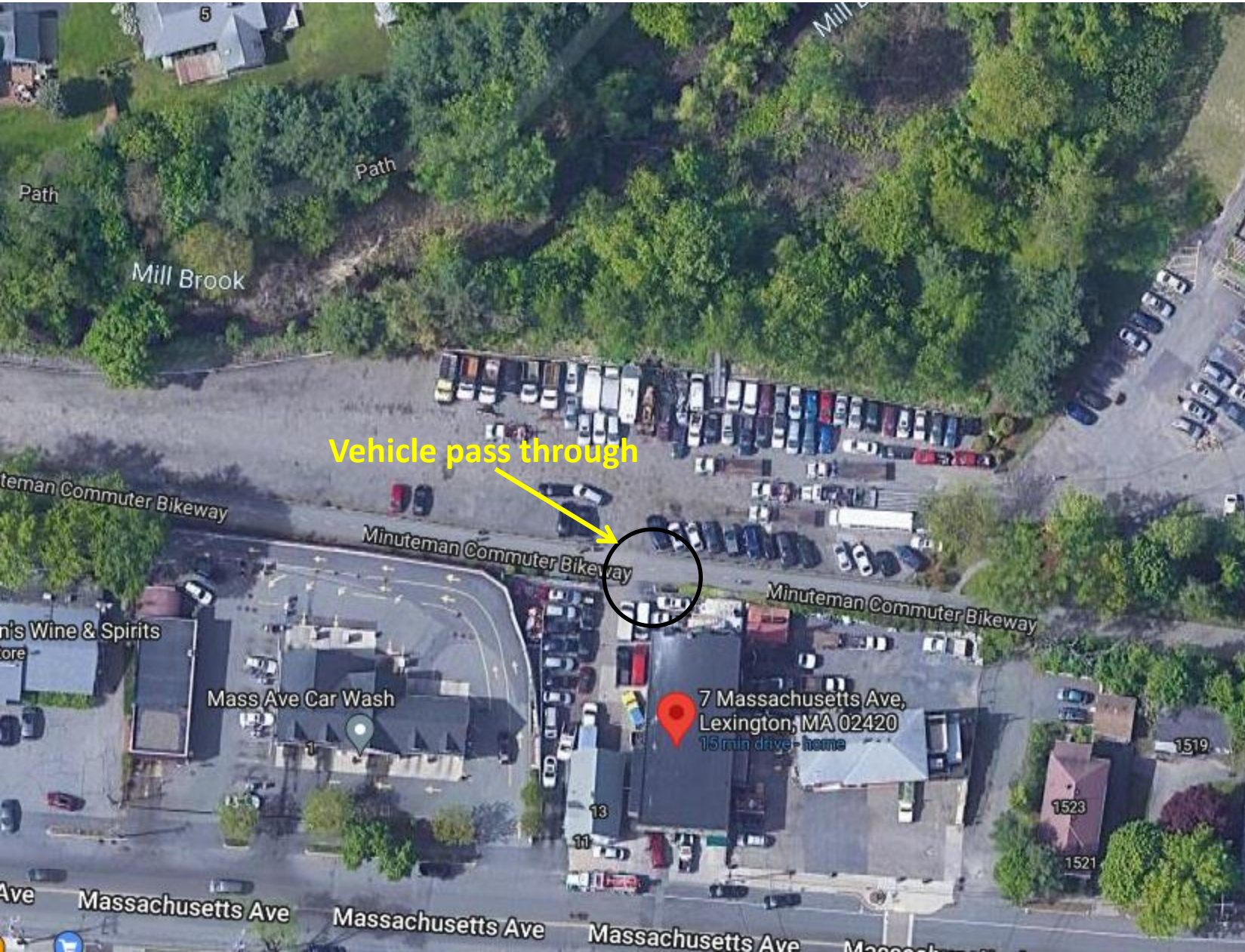
## Explanation of the use of this Lot



1

# VOD -1 East Lex North - Lot 13-422, 23776 sf

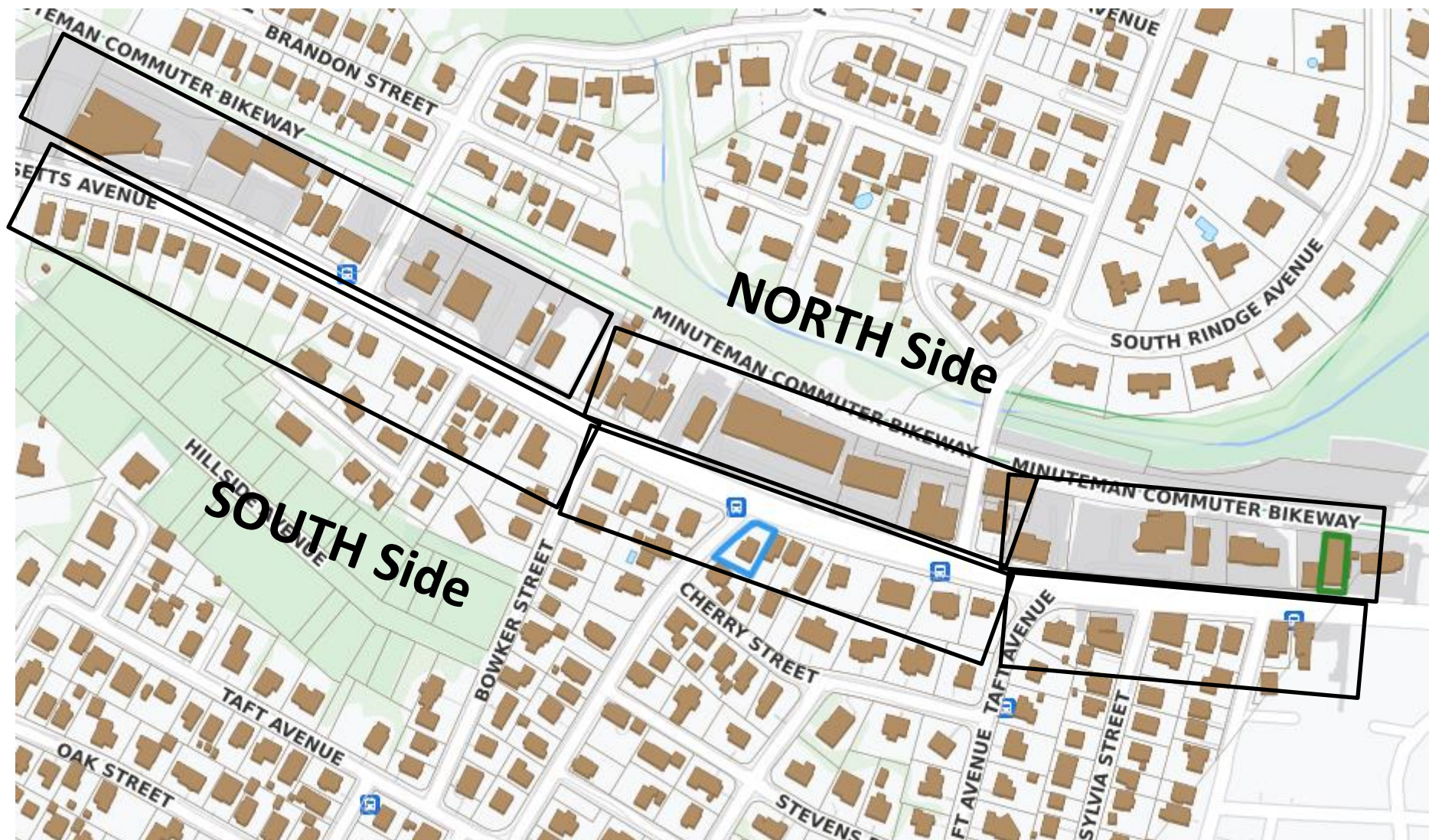
## Explanation of the use of this Lot





1

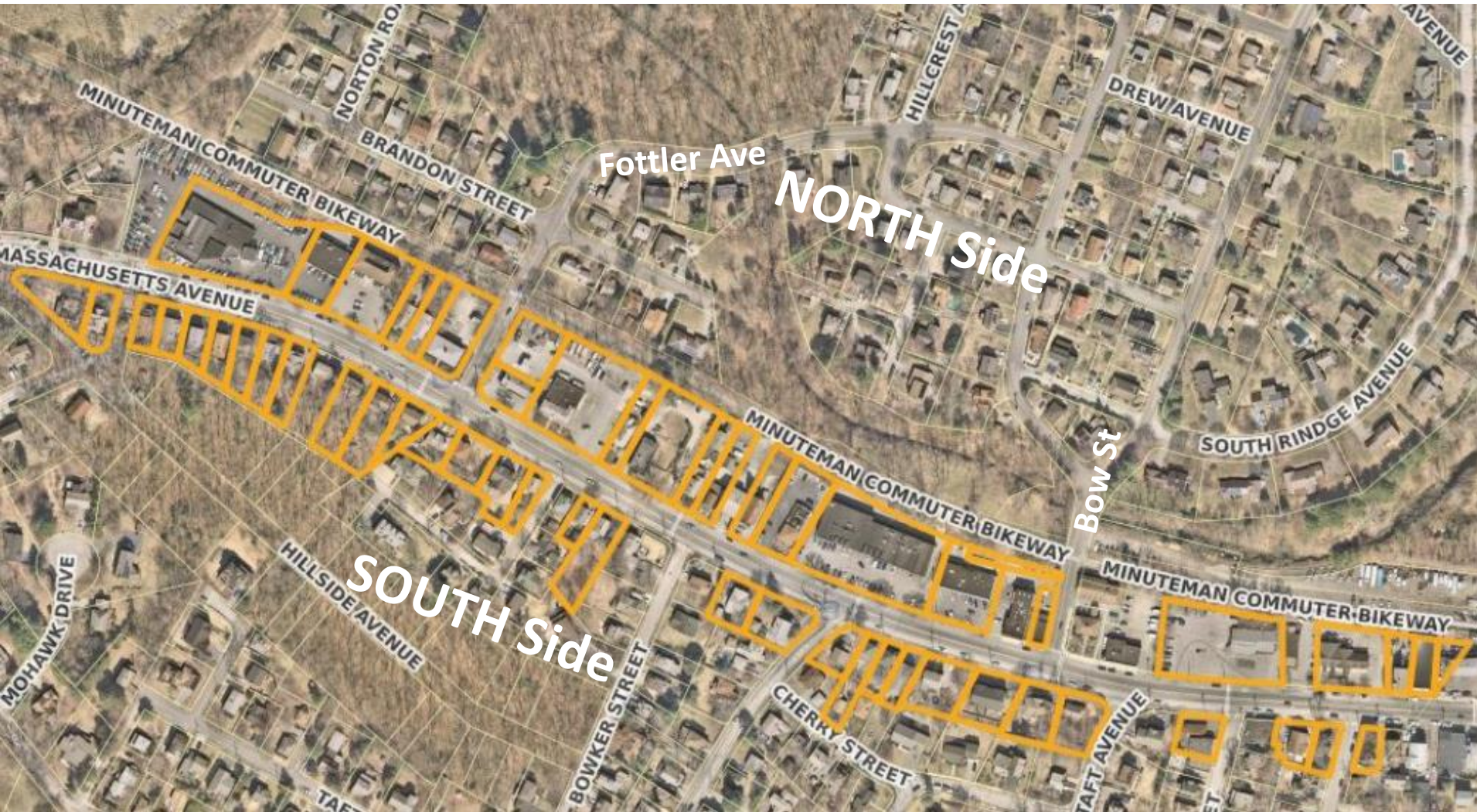
# VOD-1 East Lexington, South side





1

# VOD-1 East Lexington

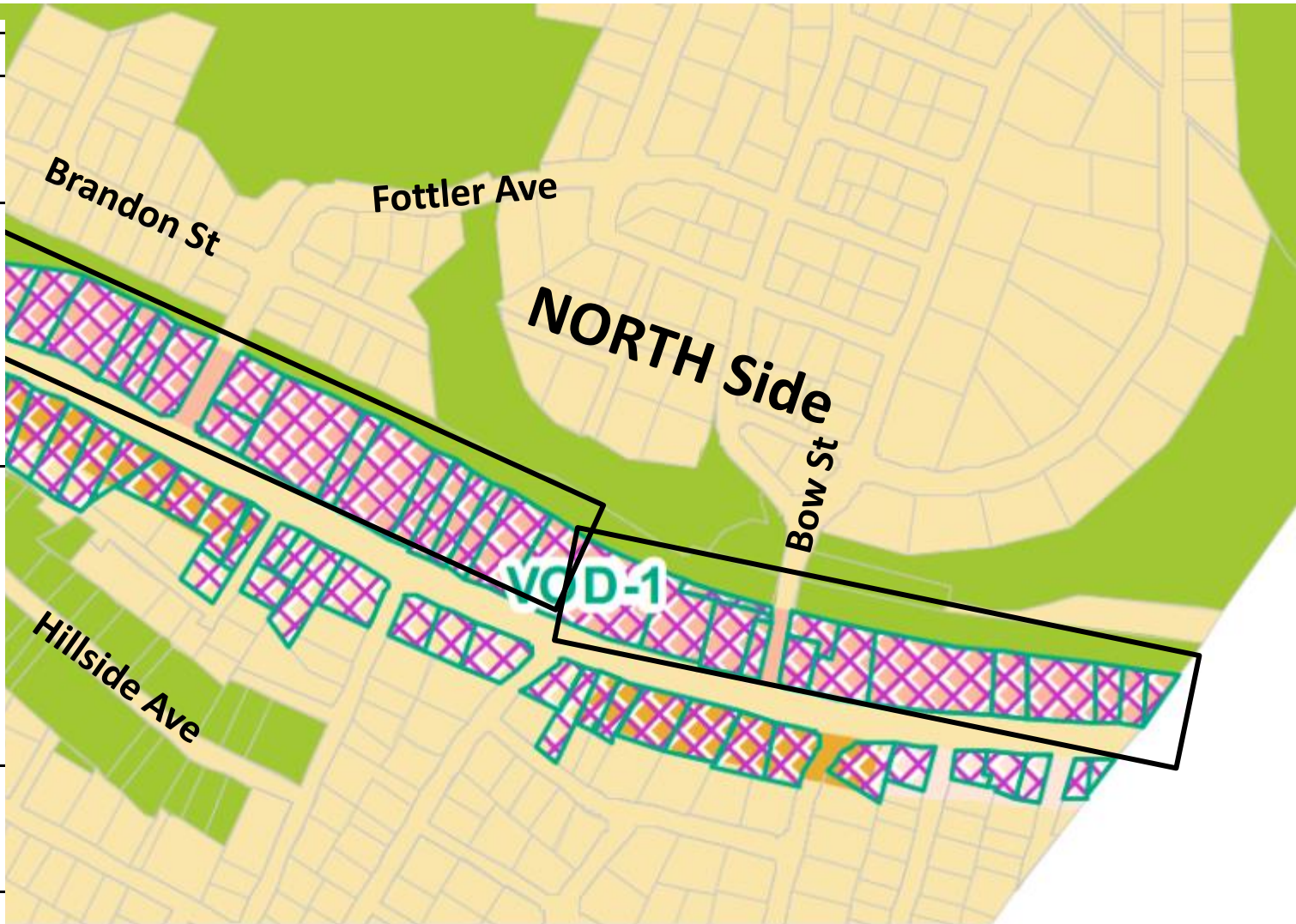




1

**VOD-1 East Lexington**  
**North side**

	<b><u>VOD 1</u></b>
<b>Minimum Lot Area</b>	4,000 SF
<b>Maximum Building Height</b>	100% Residential 40 ft. <sup>1</sup> ; Mixed with at least 25% of GFA Commercial 55 ft.
<b>Minimum Front Yard Setback</b>	15 ft. setback for first 1 <sup>st</sup> floor residential; first floor commercial NR
<b>Minimum Side Yard Setback</b>	10 ft.
<b>Minimum Rear Yard Setback</b>	10 ft.



# 1

## VOD-1 East Lexington, North side

### Pros

- Existing commercial
- Tired commercial
- On bus route and closer to Alewife
- Adjacent to MM bikeway
- Good buffer to Rindge Ave residential

### Cons

- Zoning rules cannot guarantee retention of commercial use
- Thoughts
  - Fottler/Bow neighborhood contains mostly modest homes
  - No need to expand into Fottler/Bow neighborhood
- Expansion
  - Do not expand into Bow St /Fottler Ave neighborhoods



1

**VOD-1** East Lexington,  
South side

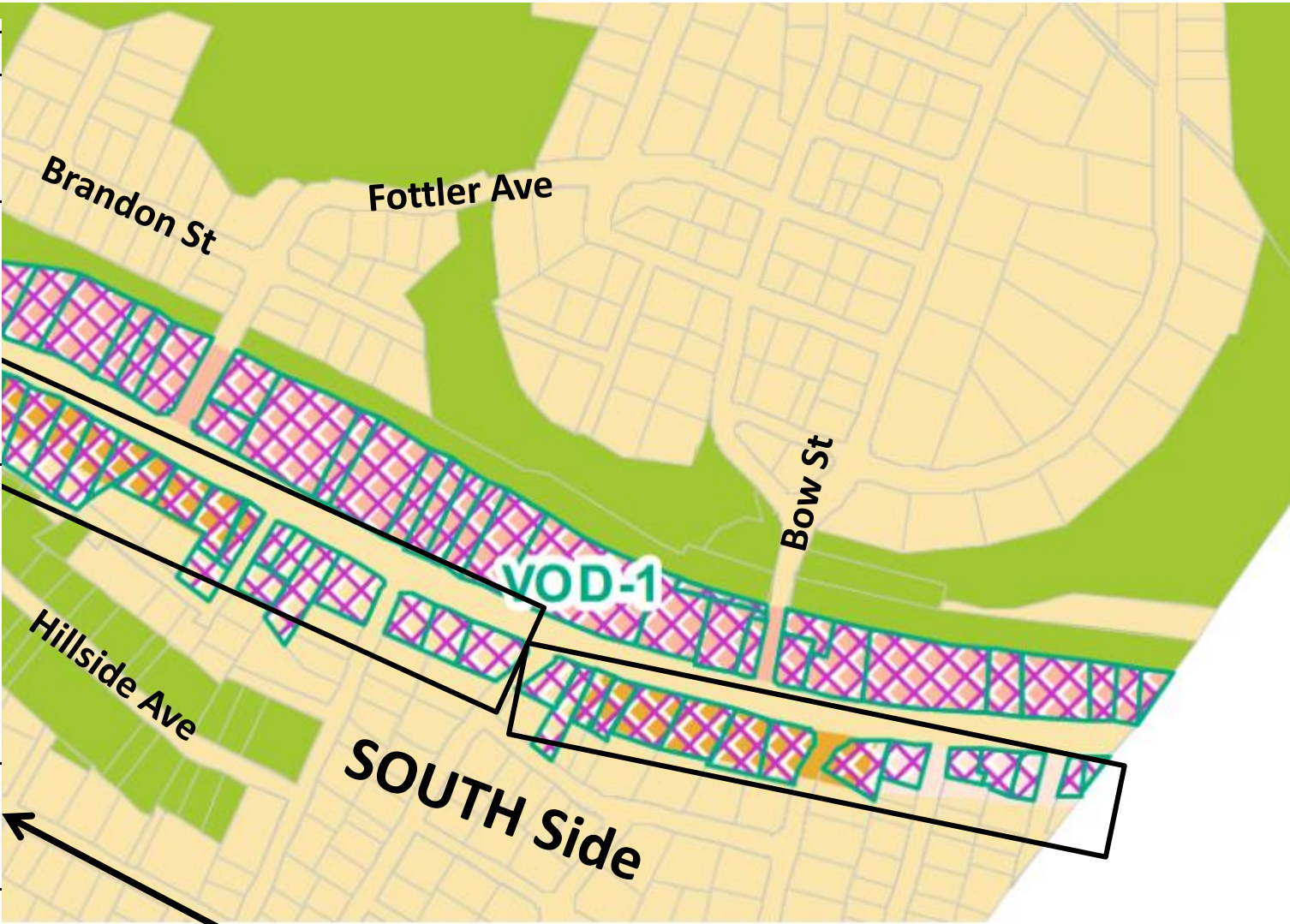




1

**VOD-1** East Lexington,  
South side

	<u><b>VOD 1</b></u>
<b>Minimum Lot Area</b>	4,000 SF
<b>Maximum Building Height</b>	100% Residential 40 ft. <sup>1</sup> ; Mixed with at least 25% of GFA Commercial 55 ft.
<b>Minimum Front Yard Setback</b>	15 ft. setback for first 1 <sup>st</sup> floor residential; first floor commercial NR
<b>Minimum Side Yard Setback</b>	10 ft.
<b>Minimum Rear Yard Setback</b>	10 ft.



Same dimensions on North and South sides



# 1

## VOD-1 East Lexington, South side

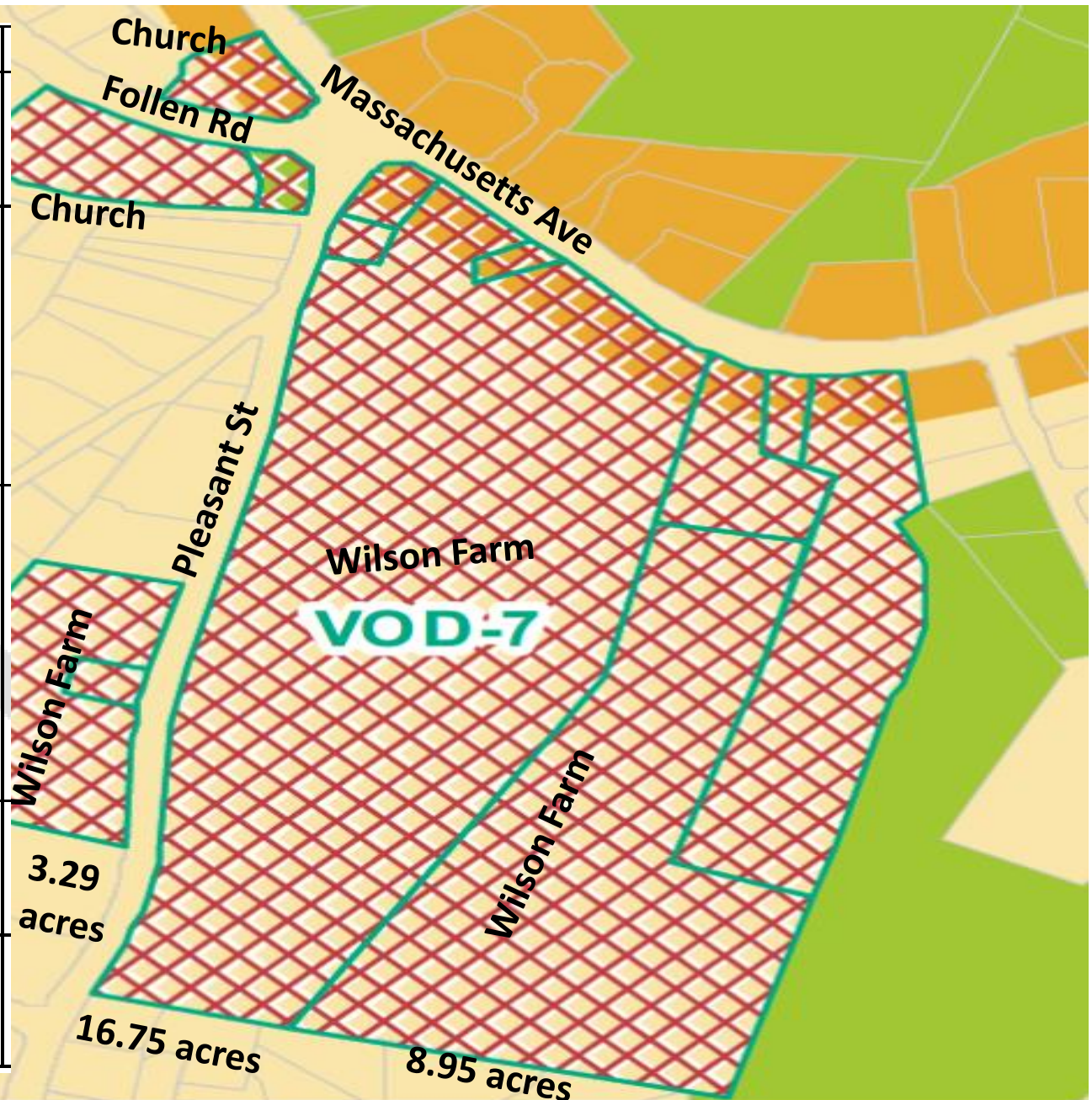
- Pros
  - On bus route and very close to Alewife
  - Close to MM bikeway
    - Access at Fottler ave and at Bow St
    - Useful commute in both directions
  - Near Sutherland playground
  - Residential already being reconstructed as 2FHs
  - Topography accommodates 40 feet height
- Cons
  - Loss of existing less unaffordable homes that enable varying income levels
- Thoughts
  - Expanding will produce high cost, market rate residences in place of less expensive, existing residences
- Expansion
  - Do not expand



7

## VOD-7 Massachusetts Ave @ Pleasant St

	<b><u>VOD 7</u></b>
<b>Minimum Lot Area</b>	7,000 SF
<b>Maximum Building Height</b>	100% Residential 40 ft. <sup>1</sup> ; Mixed with at least 25% GFA Commercial 55 ft.
<b>Minimum Front Yard Setback</b>	20 ft. setback for first 1 <sup>st</sup> floor residential; first floor commercial 10 ft.
<b>Minimum Side Yard Setback</b>	30 ft.
<b>Minimum Rear Yard Setback</b>	20 ft.





7

# VOD-7 Massachusetts Ave @ Pleasant St

2 Church  
properties

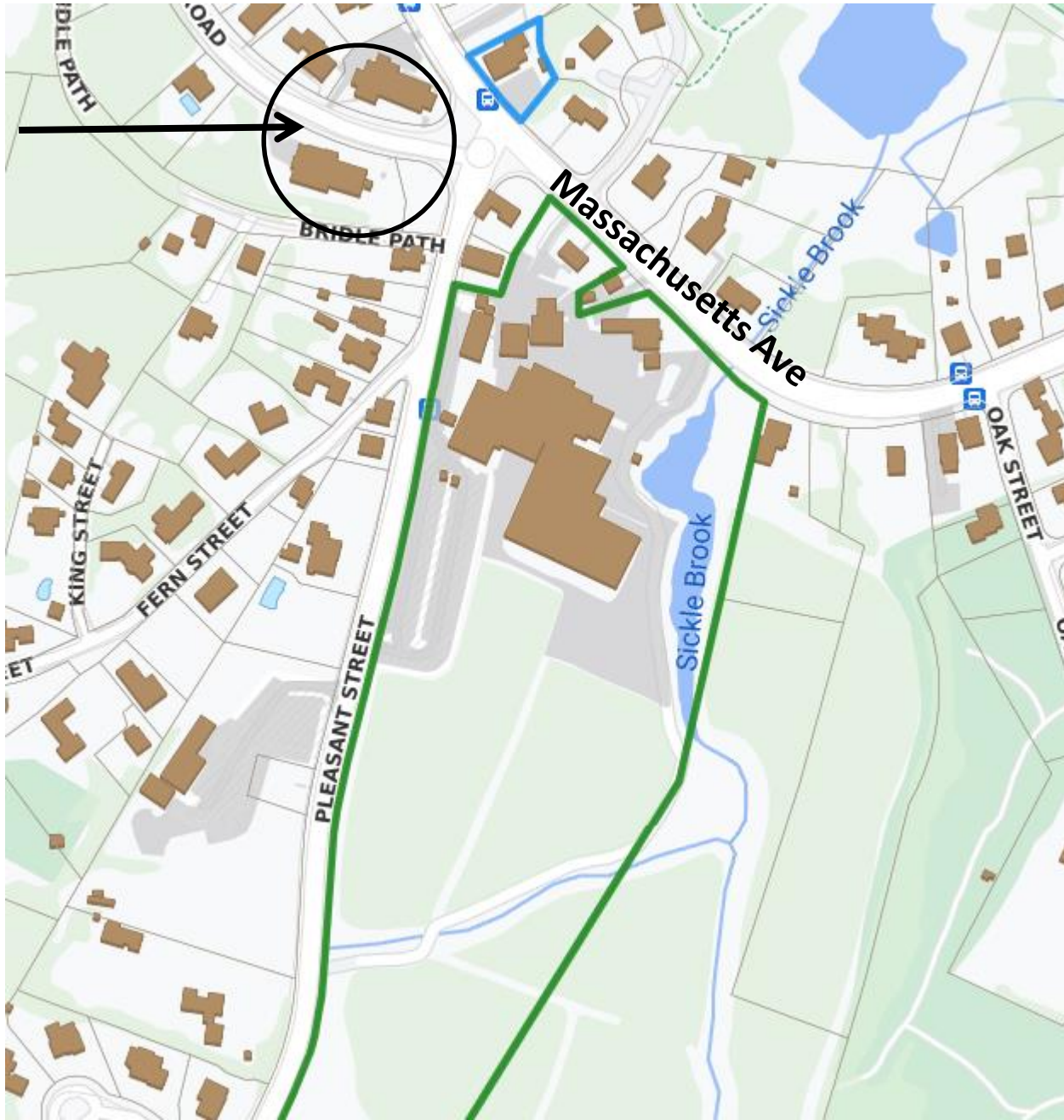




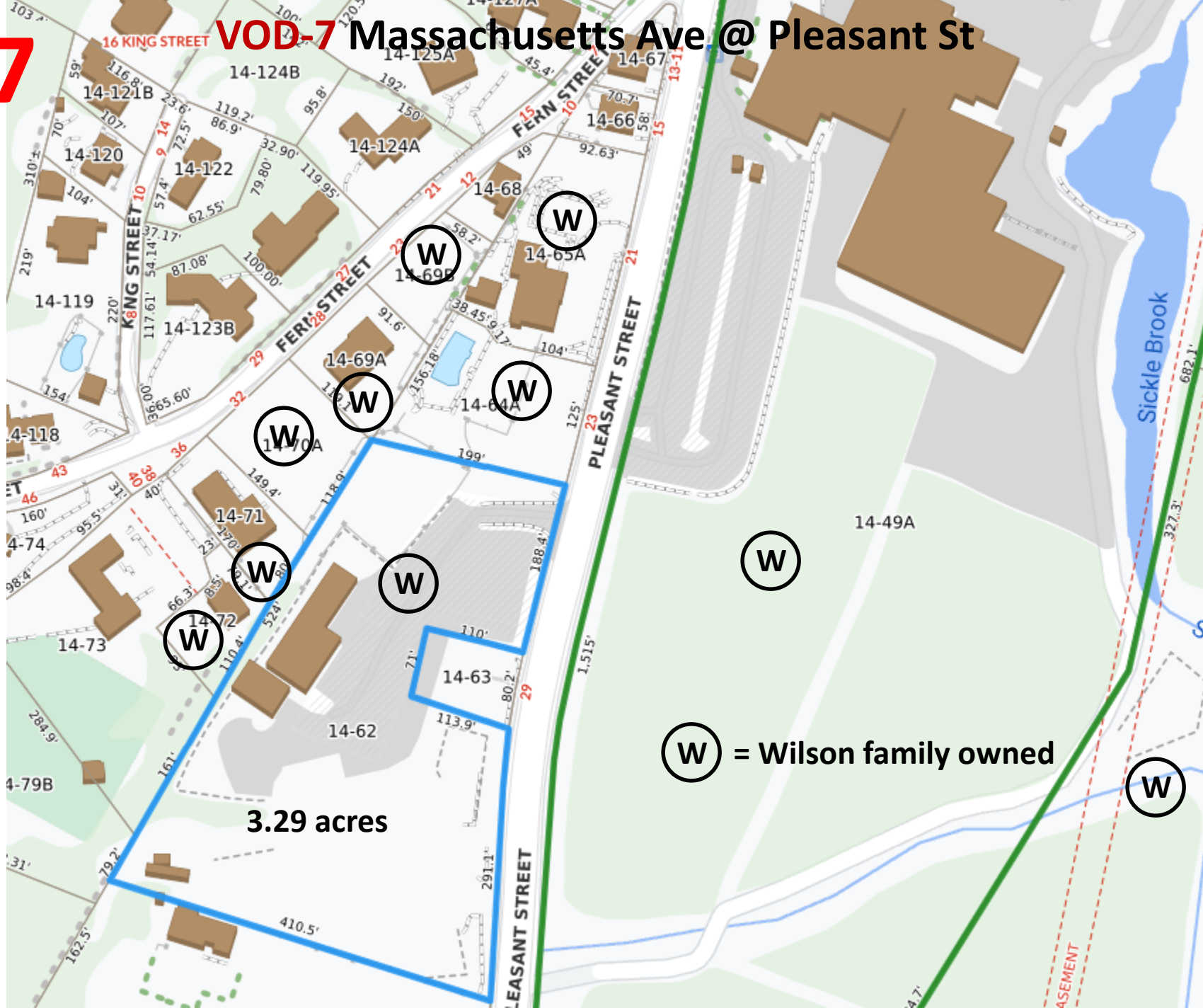
7

## VOD-7 Massachusetts Ave @ Pleasant St

2 Church  
properties



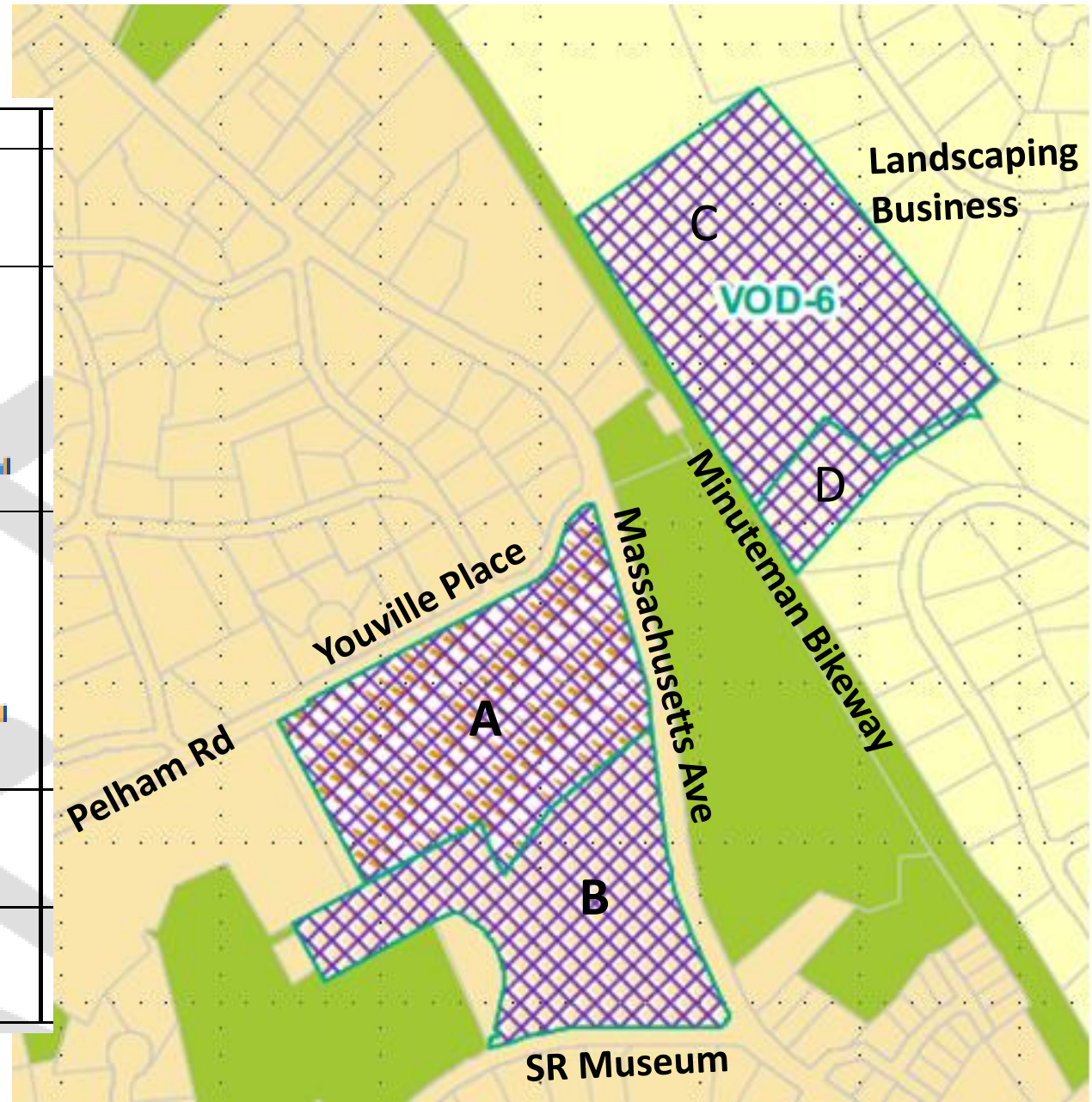
## VOD-7 Massachusetts Ave @ Pleasant St





- Pros
  - Near bus route
  - Close to Alewife
  - Close to MM bikeway
    - Apparently no convenient access
  - Short commute for Hayden Ave workers
  - Provide alternative to Conventional Subdivision in RS zone
- Cons
  - None
- Thoughts
  - Expanding beyond Wilson Farm (14-49A, 14-47) is unnecessary (25.7 acres)
  - Church for possible Stone building parking
  - Do we want mixed use here?
- Expansion
  - Do not expand beyond 2 main Wilson Farm properties

	<b><u>VOD 6</u></b>
<b>Minimum Lot Area</b>	15,000 SF
<b>Maximum Building Height</b>	100% Residential 40 ft. <sup>2</sup> ; Mixed with at least 25% GFA Commercial 55 ft.
<b>Minimum Front Yard Setback</b>	20 ft. setback for first 1 <sup>st</sup> floor residential; first floor commercial 10 ft.
<b>Minimum Side Yard Setback</b>	30 ft.
<b>Minimum Rear Yard Setback</b>	20 ft.





6

## VOD-6 Massachusetts Ave @ Marrett Rd



# 6

**VOD-6** Massachusetts Ave @ Marrett Rd  
Use Lots 39-80C & 39-92 only (15.7 acres)

- Pros

- On bus route
- On MM bikeway
  - Useful ride in both directions
- Short commute for Hayden Ave workers
- Provide alternative to Conventional Subdivision in RO zone
- One owner

- Cons

- Need a safe way past MM bikeway

- Thoughts

- Youville Place and Scottish Rights museum are unwanted expansion locations
- Do not encourage mixed use - residential only

- Expansion

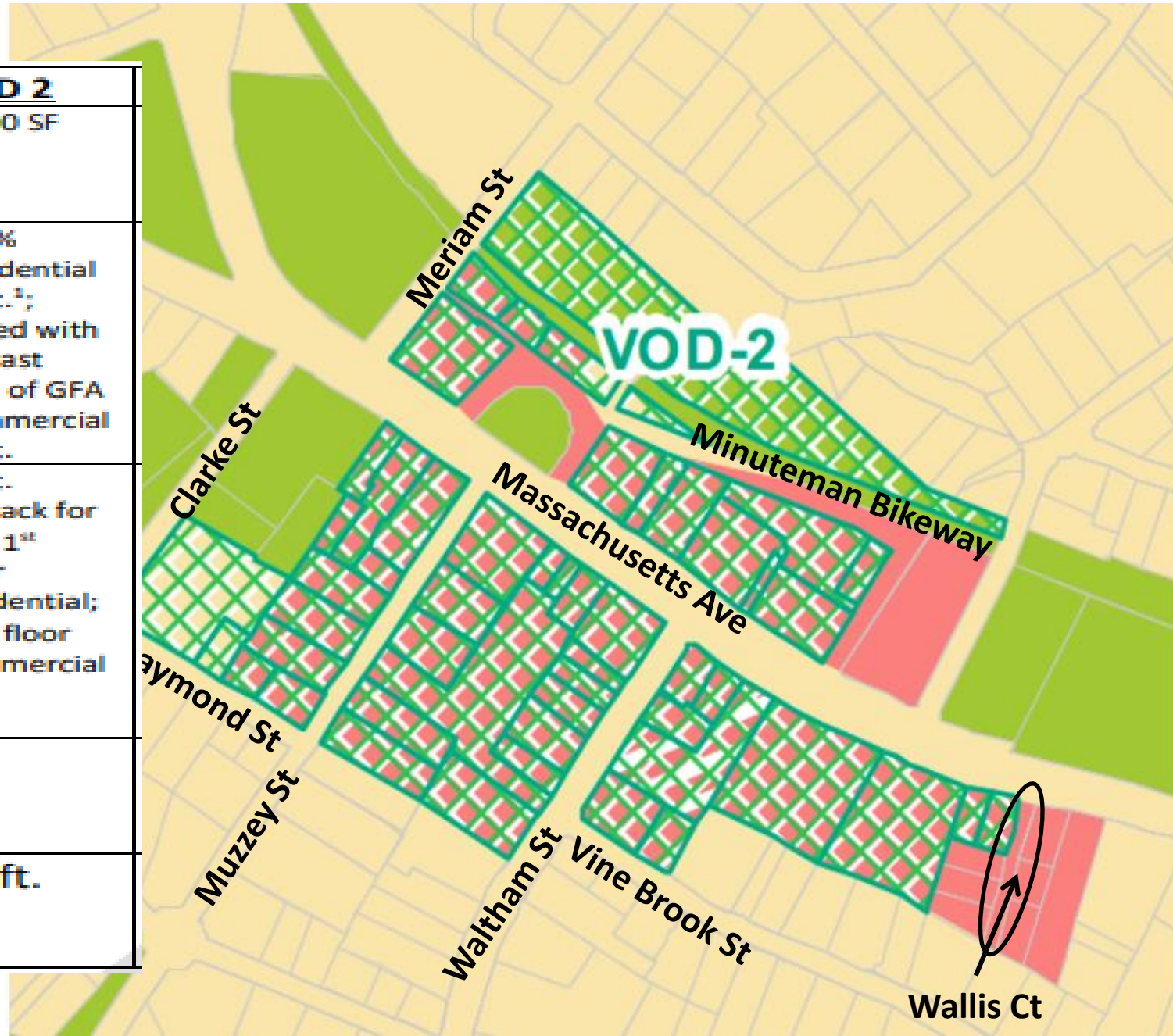
- Do not expand beyond nursery locations (39-80C & 39-92)



2

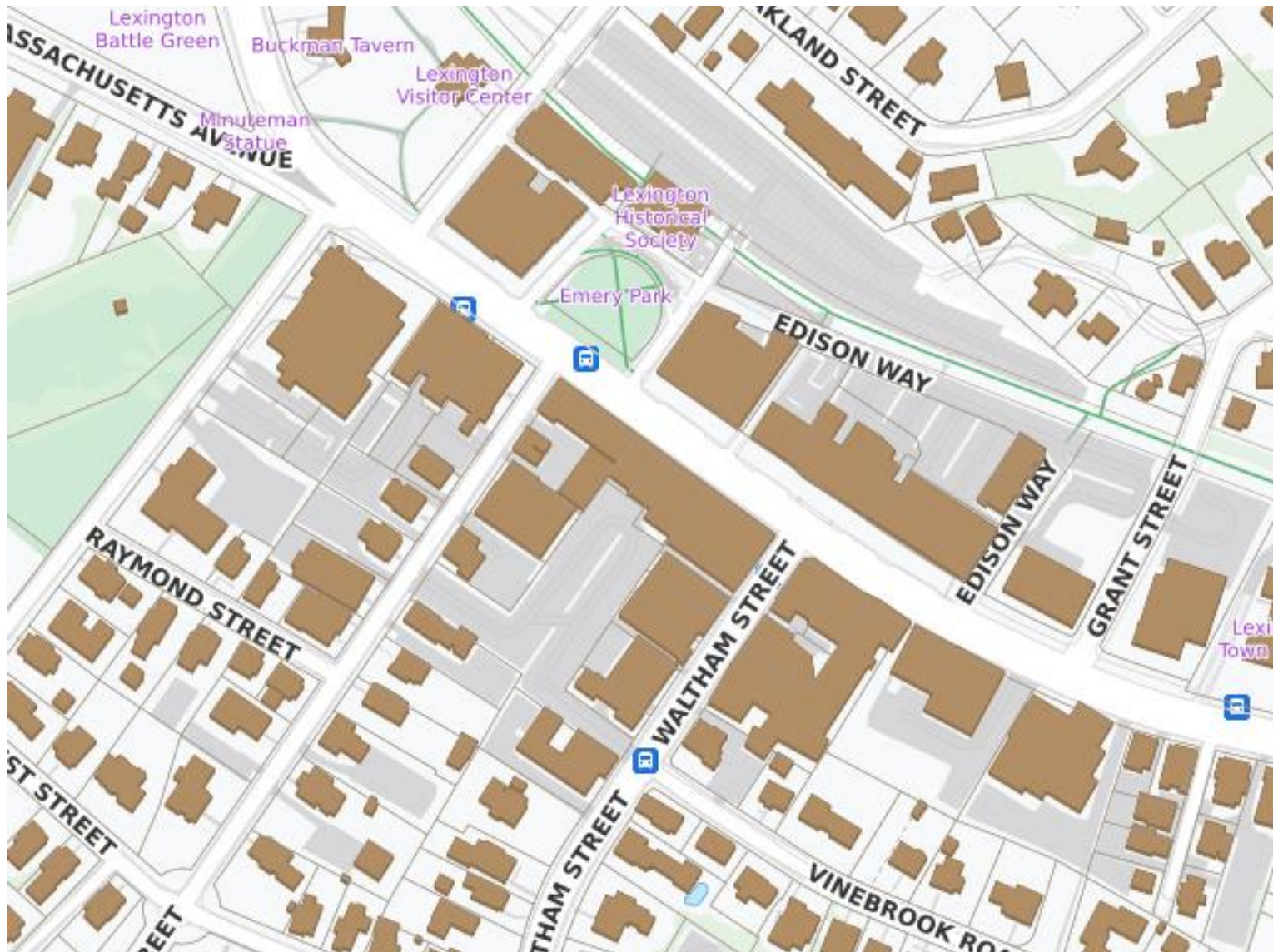
# VOD-2 Town Center

	<b><u>VOD 2</u></b>
<b>Minimum Lot Area</b>	4,000 SF
<b>Maximum Building Height</b>	100% Residential 40 ft. <sup>1</sup> ; Mixed with at least 25% of GFA Commercial 55 ft.
<b>Minimum Front Yard Setback</b>	15 ft. setback for first 1 <sup>st</sup> floor residential; first floor commercial NR
<b>Minimum Side Yard Setback</b>	NR
<b>Minimum Rear Yard Setback</b>	10 ft.



2

## VOD-2 Town Center





Search Select

2



# 2

## VOD-2 Town Center

- Pros

- On bus route
- On MM bikeway
  - Useful ride in both directions
- Short commute for Hayden Ave & Hartwell Ave workers
- May help Center economic activity

- Cons

- Traffic and parking
- Traffic to/from Bedford St, Mass Ave and Waltham St
- Mixed use not guaranteed

- Thoughts

- Moderate height(s) of buildings
  - seems that 45 feet will work well (Lexington Place)
  - unsure about 55 feet

- Expansion

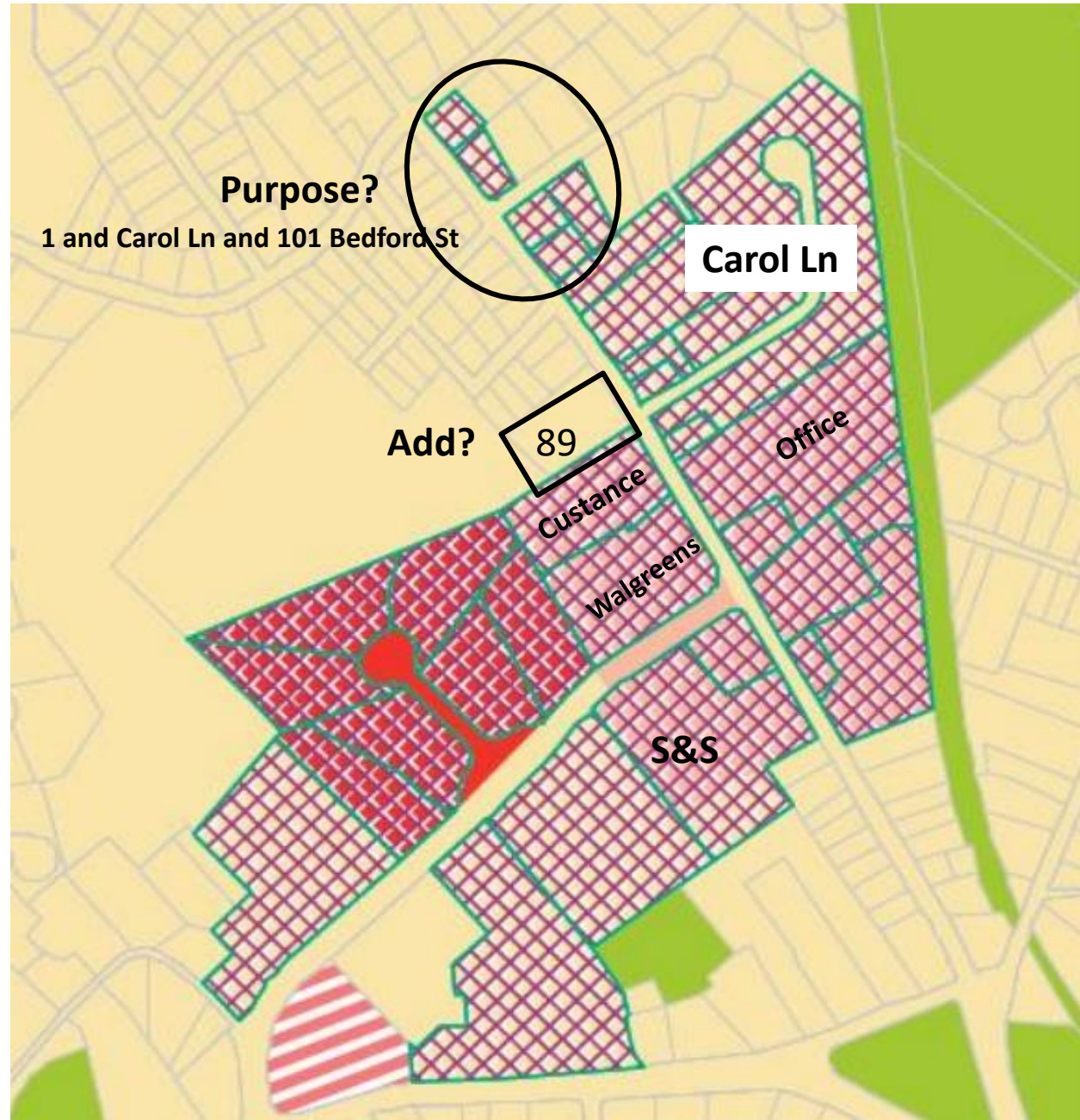
- As discussed on 12-14-22
  - Raymond St, Meriam Parking
  - Other?



3

# VOD-3 Bedford St and Worthen Rd

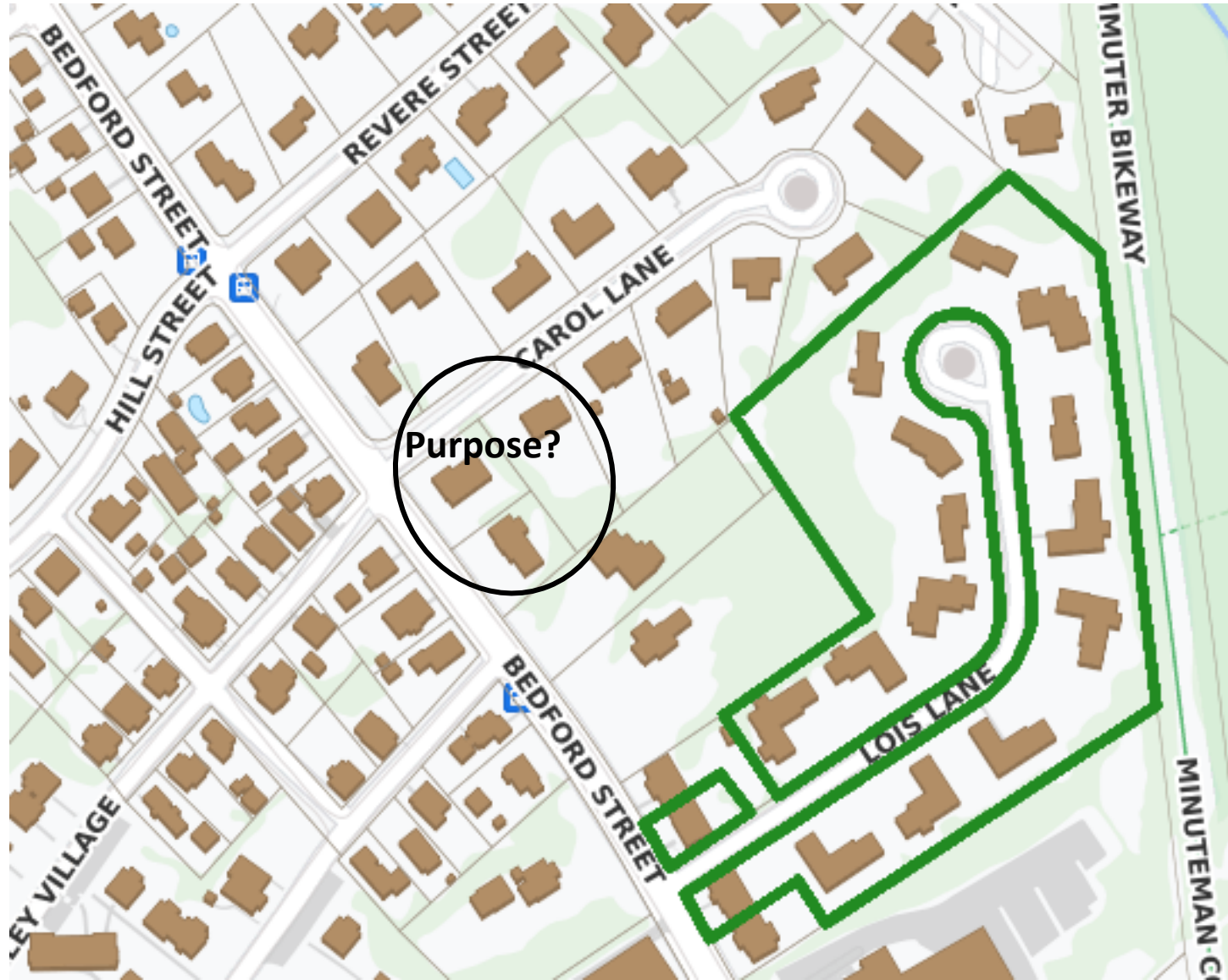
	<b><u>VOD 3</u></b>
<b>Minimum Lot Area</b>	30,000 SF
<b>Maximum Building Height</b>	100% Residential 40 ft. <sup>1</sup> ; Mixed with at least 25% GFA Commercial 55 ft.
<b>Minimum Front Yard Setback</b>	15 ft. setback for first 1 <sup>st</sup> floor residential; first floor commercial 5 ft.
<b>Minimum Side Yard Setback</b>	15 ft.
<b>Minimum Rear Yard Setback</b>	20 ft.



3

## VOD-3 Bedford St and Worthen Rd

Purpose of Lots 64-156, 64-157, 64-173 (1 and Carol Ln and 101 Bedford St.) ?





3

## VOD-3 Bedford St and Worthen Rd



- Pros

- On bus route
- Near MM bikeway
- Walk to Center
- Short commute for Hayden Ave & Hartwell Ave workers
- May help Center and other economic activity

- Cons

- Traffic and parking
- Traffic to/from Bedford St, Mass Ave and Waltham St

- Thoughts

- Is mixed use wanted in this location?
- 89 Bedford St lot size provides separation from tall buildings
- Unnecessary to add more properties

- Expansion

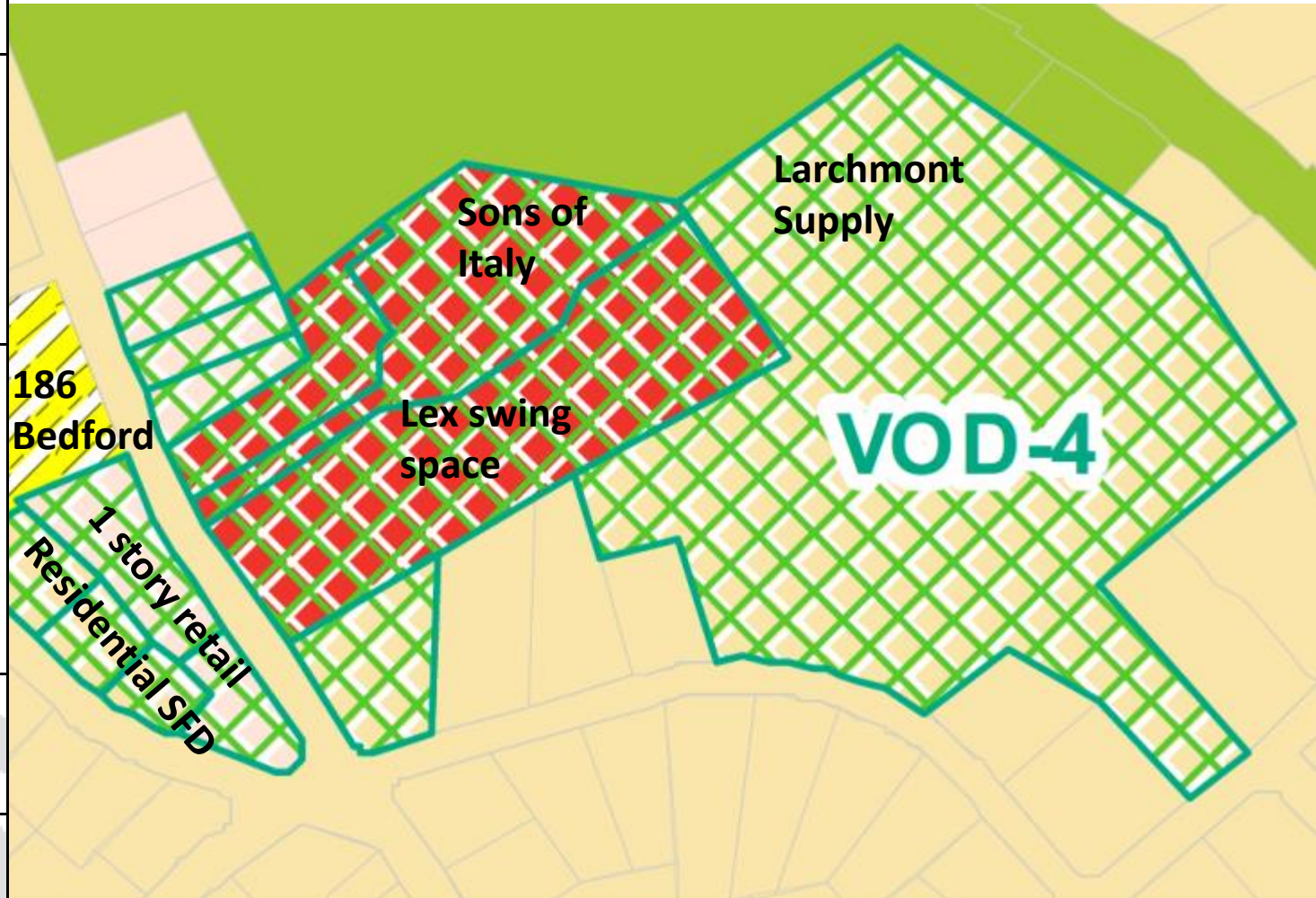
- Do not add 89 Bedford St
- Do not add Carol Ln



4

# VOD-4 Bedford St and Reed St

	<b><u>VOD 4</u></b>
<b>Minimum Lot Area</b>	10,000 SF
<b>Maximum Building Height</b>	100% Residential 40 ft. <sup>1</sup> ; Mixed with at least 25% GFA Commercial 55 ft.
<b>Minimum Front Yard Setback</b>	15 ft. setback for first 1 <sup>st</sup> floor residential; first floor commercial 5 ft.
<b>Minimum Side Yard Setback</b>	15. ft.
<b>Minimum Rear Yard Setback</b>	20 ft.



4

## VOD-4 Bedford St and Reed St





# 4

## VOD-4 Bedford St and Reed St

- Pros

- On bus route
- Near MM bikeway
- Walk to Center
- Short commute for Hayden Ave & Hartwell Ave workers
- May help Center and other economic activity

- Cons

- Traffic and parking
- Traffic to/from Bedford St, Mass Ave and Waltham St

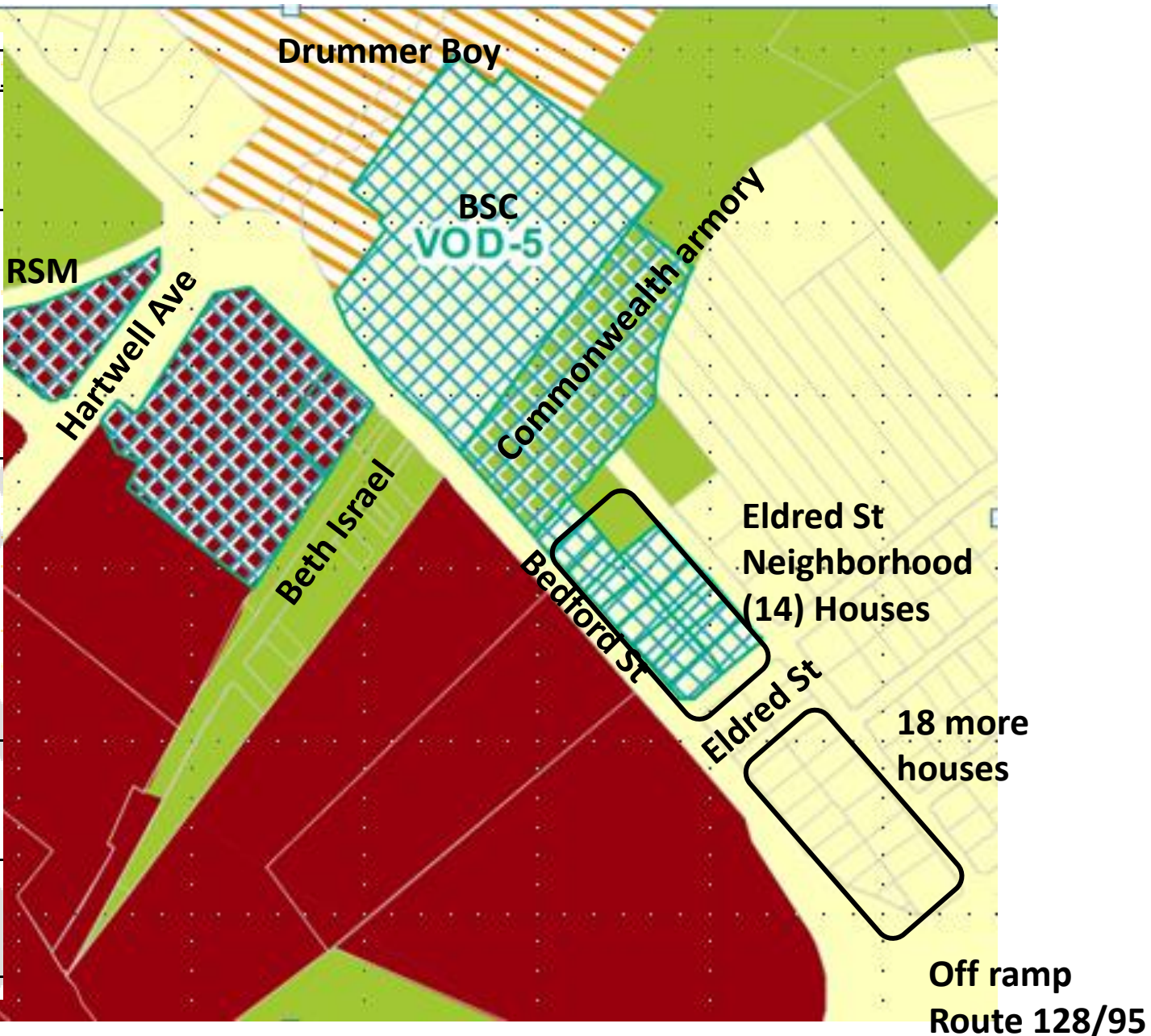
- Thoughts

- Is mixed use wanted in this location?
- Debate pros and cons of adding 15, 17, 21 Larchmont

- Expansion

- Diversity of housing types enhanced by leaving 15, 17 and 21 Larchmont as is

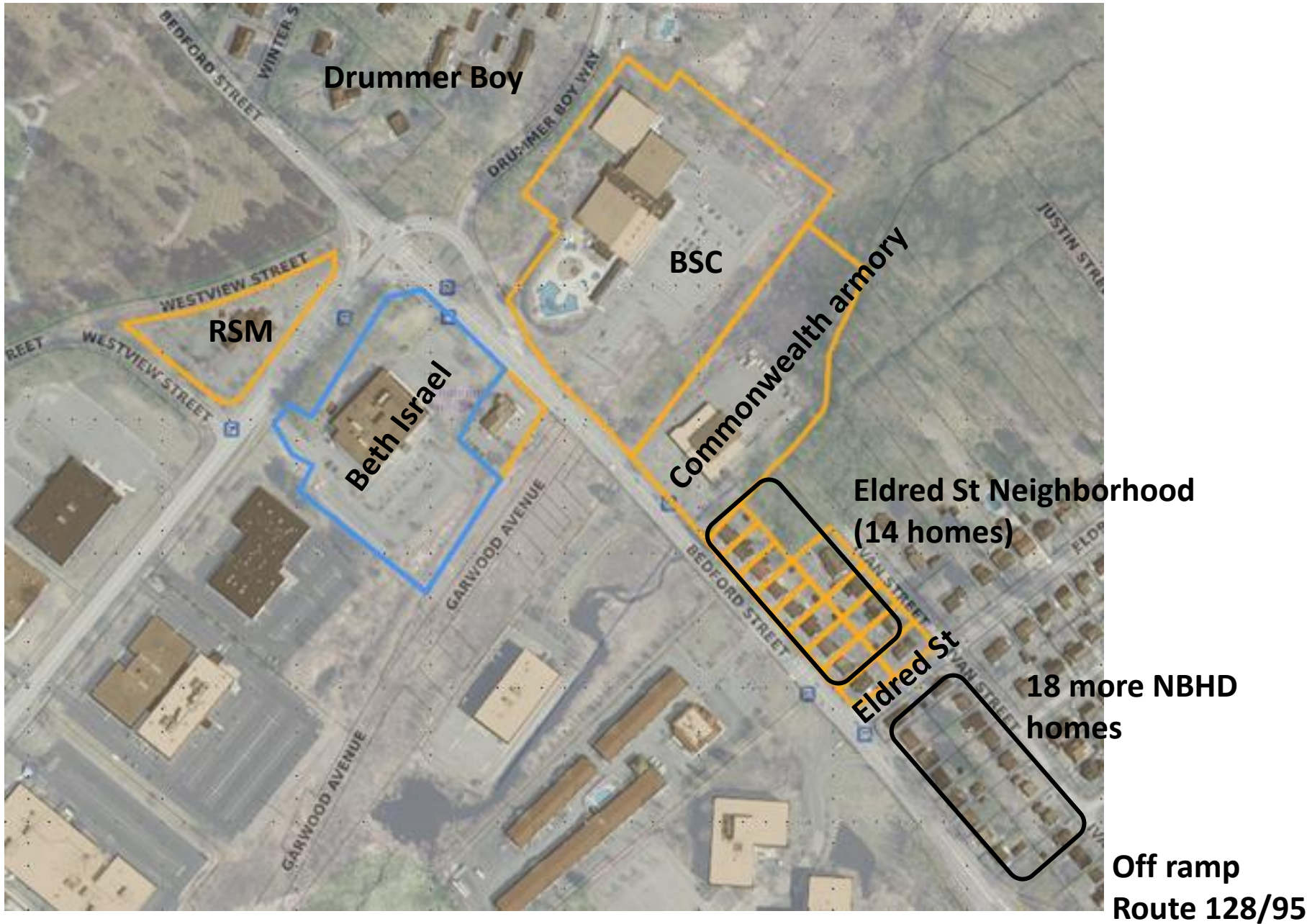
	<u>VOD 5</u>	
Minimum Lot Area	7,000 SF	
Maximum Building Height	100% Residential 40 ft. <sup>1</sup> ; Mixed with at least 30% GFA Commercial 72 ft.	
Minimum Front Yard Setback	15 ft. setback for first 1 <sup>st</sup> floor residential; first floor commercial 05 ft.	
Minimum Side Yard Setback	20 ft.	
Minimum Rear Yard Setback	20 ft.	





5

## VOD-5 North Lexington



# 5 VOD-5 North Lexington Residential/Commercial mix

## • Pros

- On bus route, close to bus stops
- Somewhat near MM bikeway
- Walk or bike to Hartwell and Bedford work
- Good housing/mixed use opportunity at 475 and 459 Bedford St
- VHB recommended adding residential to Hartwell to reduce project AM/PM congestion.

## • Cons

- Traffic from route 128
- Traffic from Bedford St
- Traffic from route 3 and NH
- Mixed use not good next to Eldred NBHD and Bedford St
- Tall buildings not good next to Eldred NBHD
- 72 feet may be too high in general

## • Thoughts

- Mixed use at 475 Bedford would be good
- Hartwell road/traffic redesign is in process; housing will help get \$ aid

## • Expansion

- Diverse housing exists in Eldred NBHD